



**CITY OF SURPRISE  
Planning & Zoning Commission  
16000 N. Civic Center Plaza  
Surprise, AZ 85374**

Thursday, October 16, 2025 @ 6:00 PM  
COUNCIL CHAMBERS

- A. Call To Order
- B. Roll Call
- C. Pledge of Allegiance
- D. Current Events and Reports
- E. Staff Reports
- F. Planning and Zoning Commission Agenda:

CONSENT AGENDA:

- 1. Internal Consideration and action to approve or disapprove the October 2, 2025 Planning and Zoning Commission Meeting Minutes. Community Development

REGULAR AGENDA ITEM - PUBLIC HEARING:

- 2. District 5 Consideration and action pertaining to an amendment to the Surprise City Center Comprehensive Sign Program, generally located at the southeast corner of Bell Road and Bullard Avenue. Case #FS25-0170. Community Development
- 3. Citywide Consideration and action regarding a Zoning Text Amendment (ZTA) to the Surprise Land Development Ordinance (LDO) to modify residential development standards. Case FS24-1275 Community Development

REGULAR AGENDA ITEM - NON-PUBLIC HEARING:

CALL TO THE PUBLIC:

INSTRUCTIONS: In order to address the Board\Commission, you will need to fill out a Call to the Public Form available at the front counter, and then turn it in to the Secretary before the meeting begins.

Note: A.R.S. 38-431.01(H) - During this time members of the public may address the Board\Commission only on issues within the jurisdiction of the Board\Commission which are not an item on the agenda. At the conclusion of the open call, the Board\Commission may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

- G. Other Business and Future Agenda Items
- H. Executive Session

For information purposes: Upon a public majority vote of a quorum ("Commission"), the Commission may hold an executive session, which will not be open to the public, but for only the following purposes: discussion or consideration of records exempt by law from public inspection (A.R.S. §38-431.03(A)(2));

or discussion or consultation for legal advice with the attorney or attorneys of the public body (A.R.S. §38-431.03(A)(3)).

Confidentiality Requirements: Pursuant to A.R.S. §38-431.03(C)(D), any person receiving executive session information pursuant to A.R.S. §38-431.02 shall not disclose that information except to the Attorney General or County Attorney or by agreement of the Commission, or as otherwise ordered by a court of competent jurisdiction.

The Commission may vote to hold an executive session for the purpose of obtaining legal advice from the Commission's attorney on any matter listed on the agenda pursuant to A.R.S. § 38-431.03(A)(3).

I. Adjournment

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KRISTI PASSARELLI, CITY CLERK

POSTED: Wednesday, October 15th, 2025 @ 9:00 AM

**SPECIAL NOTE: PERSONS WITH SPECIAL ACCESSIBILITY NEEDS, INCLUDING LARGE PRINT MATERIALS OR INTERPRETER, SHOULD CONTACT THE CITY CLERK'S OFFICE @ 623.222.1200 OR CLERK@SURPRISEAZ.GOV, BY NO LATER THAN 24 HOURS IN ADVANCE OF THE REGULAR SCHEDULED MEETING TIME.**



**CITY OF SURPRISE  
Planning & Zoning Commission**

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Council Meeting Date: October 16, 2025      Contact Person:  
Submitting Department: Community Development      District: Internal  
Staff Recommendations:

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Consent: Yes      Regular: No      Public Hearing: No      Report/Discussion: No

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**Agenda Wording:**

Consideration and action to approve or disapprove the October 2, 2025 Planning and Zoning Commission Meeting Minutes.

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**Motion:**

I move to approve/disapprove the October 2, 2025 Planning and Zoning Commission Regular Meeting Minutes.

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**Background:**

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**Objective Analysis:**

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**Policy Compliant:**

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**Financial Impact:**

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**Budget Impact:**

**FTE Impact:**

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**ATTACHMENTS:**

1. 10-2-2025 MINS
-

**CITY OF SURPRISE  
PLANNING AND ZONING COMMISSION**

**MEETING MINUTES**

**October 2, 2025 / 6:00 PM**

**COUNCIL CHAMBERS  
16000 North Civic Center Plaza  
Surprise, AZ 85374**

**CALL TO ORDER:**

Chair Chapman called the Planning and Zoning Commission Meeting to order at 6:00 p.m. at Surprise City Hall, 16000 North Civic Center Plaza, Surprise, Arizona 85374, on October 2, 2025.

**A. ROLL CALL**

In attendance were, Commissioner Kevin Perry, Commissioner Jared Holland, Commissioner Jay Leonard, Chair Ken Chapman, and Vice Chair Anthony Spata. Commissioner Matthew Keating and Commissioner Dennis Bash had an excused absence.

**STAFF PRESENT:**

Bianca Cortez, Assistant City Attorney; Lloyd Abrams, Director of Community Development; Mindy Davis, Assistant Director; Carl Montgomery, Chief Building Official; Trevor Fleetham, Planning Manager; Chris Sexton, Planner - Senior; Keith Tanner, Fire Marshall, Steven Faraclas, Fire Inspector; and Renee Puig-Hink, Administrative Specialist, Sr.

**COUNCIL MEMBERS PRESENT:**

- None

**B. PLEDGE OF ALLEGIANCE**

**C. CURRENT EVENTS REPORT**

- None

**D. STAFF REPORT**

- Director Abrams acknowledged Commissioner Keating for his 10 years of dedication and service to the Commission, the City and residents.

**CALL TO THE PUBLIC:**

Chair Chapman opened the call to the public to discuss any items not listed on the agenda.

- Lyle Michelson, Surprise, AZ – Addressed the safety of the residents and guests who exit the single-story bungalows located on the corner of Perryville Rd and Cactus Rd.

Chair Chapman closed the call to the public.

## CONSENT AGENDA:

### **Item 1 – Consideration and action to approve or disapprove the September 18, 2025, Planning and Zoning Commission Regular Meeting Minutes.**

Commissioner Leonard made a motion to approve the September 18, 2025, Planning and Zoning Commission Regular Meeting Minutes as presented. Commissioner Holland seconded the motion. Motion passed with 5 votes in favor.

## REGULAR AGENDA ITEM – PUBLIC HEARING:

### **Item 2 – Consideration and action regarding a Conditional Use Permit (CUP) with Site Plan for a credit union with a drive-through facility zoned Sycamore Farms Planned Area Development (PAD), located near the southwest corner of Cactus Road and Sarival Avenue. Case# FS24-1468.**

Chris Sexton, Planner - Senior, presented item 2 to the Commission.

Chair Chapman opened the public hearing.

- None

Hearing no further requests, Chair Chapman closed the public hearing.

The Commission discussed the following:

- Type of ATM that will be installed at this branch

Commissioner Perry moved to approve the Conditional Use Permit with Site Plan for a drive-through facility known as OneAZ Credit Union, Case# FS24-1468, subject to stipulations 'a' through 'e' as outlined in the staff report. Commissioner Leonard seconded the motion. Motion passed with 5 votes in favor.

### **Item 3 – Consideration and action pertaining to a proposed Zoning Text Amendment (ZTA) to update the Surprise Municipal Code related to recent legislative updates regarding administrative approvals. Case # FS25-0479.**

Mindy Davis, Assistant Director and Trever Fleetham, Planning Manager, presented item 3 to the Commission. This presentation also included agenda items 4 and 5.

Chair Chapman opened the public hearing.

- None

Hearing no further requests, Chair Chapman closed the public hearing.

The Commission discussed the following:

- None

Commissioner Holland moved to recommend approval of the Zoning Text Amendment for administrative approvals, Case # FS25-0479. Commissioner Leonard seconded the motion. Motion passed with 5 votes in favor.

**Item 4 – Consideration and action pertaining to a proposed Zoning Text Amendment (ZTA) to update the Surprise Municipal Code related to recent legislative updates regarding noise and construction start times. Case # FS25-0482.**

Chair Chapman opened the public hearing.

- None

Hearing no further requests, Chair Chapman closed the public hearing.

The Commission discussed the following:

- None

Commissioner Perry moved to recommend approval of the Zoning Text Amendment for noise and construction start times, Case # FS25-0482. Commissioner Leonard seconded the motion. Motion passed with 5 votes in favor.

**Item 5 – Consideration and action pertaining to a proposed Zoning Text Amendment (ZTA) to update the Surprise Municipal Code related to recent legislative updates regarding middle housing. Case # FS25-0481.**

Chair Chapman opened the public hearing.

- None

Hearing no further requests, Chair Chapman closed the public hearing.

The Commission discussed the following:

- None

Commissioner Leonard moved to recommend approval of the Zoning Text Amendment for middle housing, Case #FS25-0481. Commissioner Holland seconded the motion. Motion passed with 5 votes in favor.

**REGULAR AGENDA ITEM – PUBLIC HEARING:**

**Item 6 – Presentation and discussion of the 2024 International Building and Fire Codes Adoption Process.**

Mindy Davis, Assistant Director; Carl Montgomery, Chief Building Official; and Keith Tanner, Fire Marshall, presented item 6 to the Commission.

**OTHER BUSINESS AND FUTURE AGENDA ITEMS:**

- None

**ADJOURNMENT:**

Hearing no further business, Chair Chapman called for a motion to adjourn. Commissioner Holland made a motion to adjourn. Commissioner Leonard seconded the motion. All voted in favor.

Meeting adjourned at 6:36 pm.

\_\_\_\_\_  
Ken Chapman  
Planning and Zoning Commission Chair

The foregoing instrument is a full, true, and correct copy of the original document on file in the office of the City Clerk, City of Surprise, Arizona.

ATTEST BY: \_\_\_\_\_  
Renee Puig-Hink, Secretary

DATE: \_\_\_\_\_



CITY OF SURPRISE
Planning & Zoning Commission

Council Meeting Date: October 16, 2025 Contact Person:
Submitting Department: Community Development District: District 5
Staff Recommendations:

Consent: No Regular: No Public Hearing: Yes Report/Discussion: No

Agenda Wording:

Consideration and action pertaining to an amendment to the Surprise City Center Comprehensive Sign Program, generally located at the southeast corner of Bell Road and Bullard Avenue. Case #FS25-0170.

Motion:

I move to approve the amendment to the Surprise City Center Comprehensive Sign Program, Case #FS25-0170, subject to stipulations 'a' and 'b' as outlined in the staff report.

I move to deny the amendment to the Surprise City Center Comprehensive Sign Program, Case #FS25-0170, because insert reason.

Background:

Kimberly Euers of Yesco, LLC, on behalf of City Center Simon Surprise, LLC, requests an amendment to the Comprehensive Sign Program (CSP) for the Surprise City Center to add two additional sign types. This project is generally located at the southeast corner of Bell Road and Bullard Avenue.

Objective Analysis:

Policy Compliant:

Financial Impact:

While this item does not have an immediate or direct financial impact, ongoing development activity in the City will inevitably have a future financial impact as additional resources are needed to provide city services.

Budget Impact:

FTE Impact:

ATTACHMENTS:

- 1. 00 - FS25-0170 Surprise City Center CSP - Staff Report
2. 01 - FS25-0170 Surprise City Center CSP - Vicinity Map

3. 02 - FS25-0170 Surprise City Center CSP - Zoning Map
  4. 03 - FS25-0170 Surprise City Center CSP - CSP Document
  5. 04 - FS25-0170 Surprise City Center CSP - Citizen Participation Report
  6. 05 - FS25-0170 Surprise City Center CSP - Affidavit of Posting
  7. FS25-0170 Surprise City Center CSP - PZ Presentation
-

# Comprehensive Sign Program

REPORT TO THE PLANNING AND ZONING COMMISSION

1    **Case:**                                **FS25-0170**  
2  
3    **Project Name:**                    **Surprise City Center – Comprehensive Sign Program Amendment**  
4  
5    **Council District:**                **5 – Palm**  
6  
7    **Planning and Zoning**  
8    **Commission Date:**                **October 16, 2025**  
9  
10   **Planner:**                            **Tanner Wessel, Planner II**  
11  

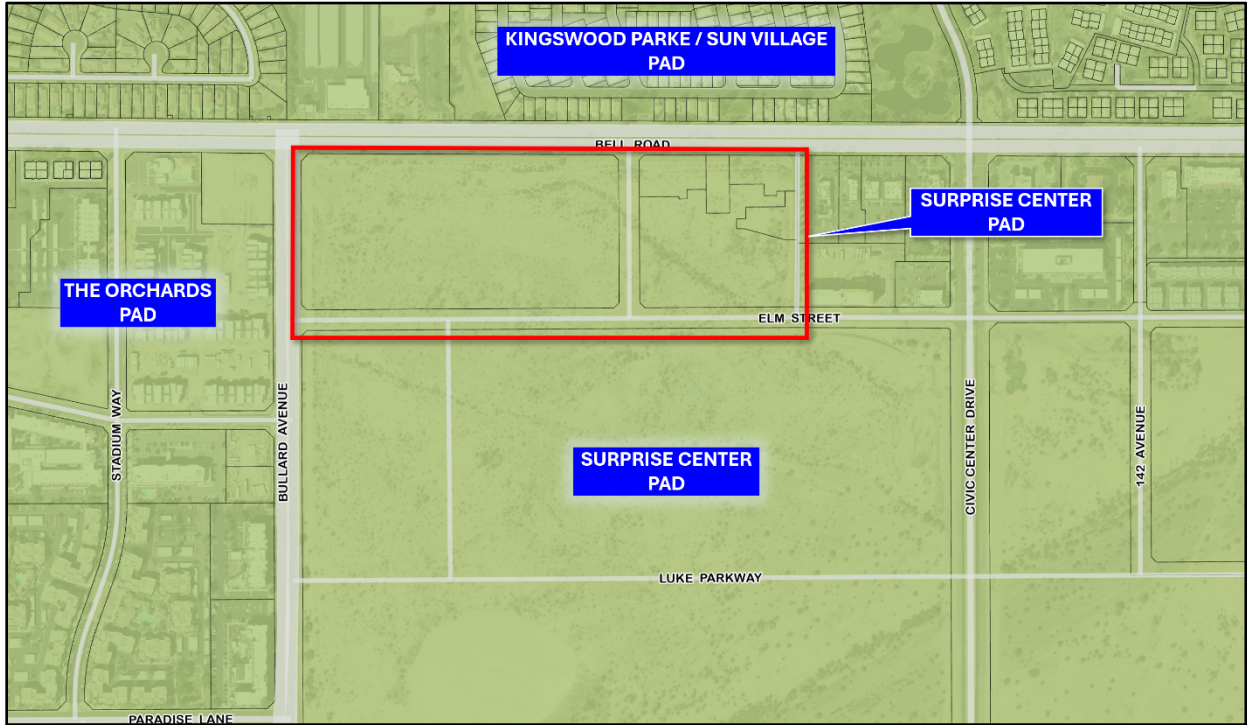
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12  
13   **Owner:**                                **City Center Simon Surprise, LLC**  
14  
15   **Applicant:**                         **Kimberly Euers with Yesco, LLC**  
16  
17   **Request:**                             **Comprehensive Sign Program (CSP) amendment for the Surprise**  
18    **City Center development**  
19  
20   **Site Location:**                    **Generally located on the southeast corner of Bell Road and**  
21    **Bullard Avenue**  
22  
23   **Site Size:**                             **25 acres (approx.)**  
24  
25   **General Plan**  
26   **Conformance:**                        **The proposal is consistent with the Surprise General Plan 2040**  
27  
28   **Support/Opposition:**                **None known**  
29  
30   **Staff Recommendation:**            **Recommend approval, subject to stipulations ‘a’ and ‘b’**

31   **Project Description:**

32 Kimberly Euers with Yesco, LLC on behalf of City Center Simon Surprise, LLC, requests an  
 33 amendment to the sign program for the Surprise City Center, a project generally located at the  
 34 southeast corner of Bell Road and Bullard Avenue.  
 35

36 **EXISTING ZONING:**  
 37



Kingswood Parke/Sun Village PAD (Residential)	Kingswood Parke/Sun Village PAD (Residential)	Kingswood Parke/Sun Village PAD (Residential)
The Orchards PAD (Mixed Use)	<b>Surprise Center PAD (Mixed Use)</b>	Surprise Center PAD (Mixed Use)
The Orchards PAD (Mixed Use)	Surprise Center PAD (Mixed Use)	Surprise Center PAD (Mixed Use)

38  
 39 **History:**  
 40 **June 12, 1980:** The subject property was annexed into the City of Surprise under Ordinance  
 41 #80-03.  
 42

43 **January 25, 2001:** The Mayor and City Council approved a PAD for Surprise Center under  
 44 case PAD00-105.  
 45

46 **September 21, 2023:** The Master Site Plan for the subject site, case number FS22-1606, was  
47 administratively approved.

48  
49 **March 21, 2024:** The original Surprise City Center Comprehensive Sign Program was  
50 approved by the Planning & Zoning Commission, under case number FS23-0421.

51  
52 **October 3, 2024:** A Concept Review meeting was held to discuss the proposed amendment  
53 to the Surprise City Center Comprehensive Sign Program, under case number CR24-1288.

54  
55 **February 11, 2025:** The applicant submitted the Comprehensive Sign Program (CSP)  
56 application for the subject case.

57  
58 **August 27, 2025:** The applicant held a neighborhood outreach meeting at Surprise Regional  
59 Library. A summary of this meeting is included in the Citizen Participation Report attached to  
60 the staff report.

61  
62 **Analysis and Discussion:**

63 Kimberly Euers with Yesco, LLC requests approval of an amendment to the Comprehensive Sign  
64 Program (CSP) for a portion of the Surprise Center Planned Area Development (PAD),  
65 encompassing approximately 25 acres generally bounded by Bell Road to the north, Elm Street  
66 to the South, Bullard Avenue to the west and 144<sup>th</sup> Avenue to the east. The original Surprise City  
67 Center CSP was approved by the Planning & Zoning Commission on March 21, 2024. The original  
68 CSP was developed under a Master Sign Program (MSP) pursuant to Title 15 of the Surprise  
69 Municipal Code to provide consistency of signage as well as the opportunity for creative private  
70 identification within a controlled environment. Title 15 states that Master Sign Programs shall  
71 be acted upon by the Planning and Zoning Commission as a Conditional Use Permit.

72  
73 ***Summary of Sign Program***

74 The proposed sign program includes specific standards for a multitude of sign types across  
75 the development site, as well as standards for flag poles. The program proposes two (2)  
76 types of freestanding signs: illuminated area identification monument sign structure and  
77 illuminated letter display.

78  
79 The details of this sign program were evaluated against, and found to be in compliance with,  
80 the following criteria for Master Sign Programs outlined in Title 15.

81  
82 ***Title 15 Master Sign Program Criteria (Sec. 15.24.210)(C)(3)***

83 **a. Placement**

- 84 **i.** All signs shall be placed where they are sufficiently visible and readable for  
85 their function. Factors to be considered shall include the purpose of the sign,  
86 its location relative to traffic movement and access points, site features,  
87 structures and sign orientation relative to viewing distances and viewing  
88 angles.

- 89 b. Quantity
- 90 i. The number of signs that may be approved within any planned area
- 91 development or multiple tenant complex shall be no greater than that
- 92 required to provide project identification and entry signs, internal circulation
- 93 and directional information to destinations and development sub-areas, and
- 94 business identification. Factors to be considered shall include the size of the
- 95 development, the number of development sub-areas, and the division or
- 96 integration of sign functions.
- 97 c. Size
- 98 i. All signs shall be no larger than necessary for visibility and readability. Factors
- 99 to be considered in determining appropriate size shall include topography,
- 100 volume of traffic, speed of traffic, visibility range, proximity of adjacent uses,
- 101 amount of sign copy, placement of display (location and height), lettering style
- 102 and presence of distractive influences. In no event shall a plan contain a
- 103 freestanding or wall sign which exceeds by more than fifty percent any
- 104 maximum height standard.
- 105 d. Materials
- 106 i. Sign materials shall be compatible with architectural and/or natural features
- 107 of the project. This may be accomplished through similarity of materials for
- 108 sign structures and faces, the use of complementary colors, similarity of
- 109 architectural style, and/or the use of a consistent lettering style or copy.
- 110 e. Illumination
- 111 i. Illumination shall be in accordance with Section 15.24.090: Illuminated signs
- 112 and flagpoles are permitted by this article unless otherwise specified.
- 113 Illumination may be either by direct, internal or internal direct as allowed
- 114 herein, and it is unlawful for any person to install illumination which creates
- 115 any glare or reflection onto any adjacent property, or onto a street or alley, or
- 116 so as to create a traffic hazard.

117  
118 ***Additional Evaluative Criteria***

119 With the absence of specific standards per sign type in Title 15, the details of the proposed  
120 sign program were evaluated against the sign standards of the current Land Development  
121 Ordinance (LDO) to determine compliance and deviations. All signs included within the sign  
122 program meet the standards of the LDO.

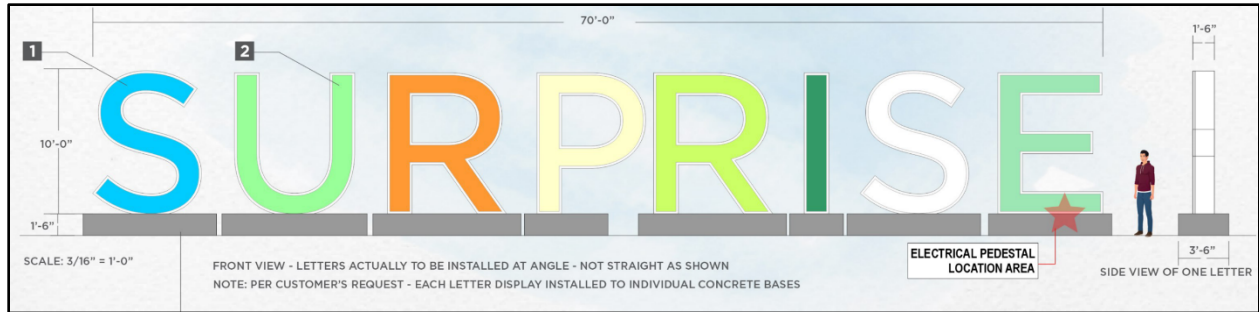
123  
124 ***Illuminated Area Identification Monument Sign Structure (Sign Type I)***

126 This amendment proposes an “Illuminated Area Identification Monument Sign Structure” (also  
 127 referred to as “Sign Type I” in the amended sign program) located at the northeast corner of  
 128 Bullard Avenue and Elm Street. The proposed sign measures 9-feet, 6-inches in total height, and  
 129 16-feet, 10-inches in total width. The sign is comprised of aluminum, vinyl, and acrylic panels  
 130 set atop a black and grey polished concrete base. The sign also incorporates similar decorative  
 131 column designs which are featured in the previously approved signage under the original sign  
 132 program and on the approved building elevations of the City Center development. The sign uses  
 133 a mixture of channel letters, 3-inch recessed lettering, and flat cut out (FCO) letters. The  
 134 channel letters are proposed to be halo illuminated and the 3-inch recessed letting is proposed  
 135 to be internally illuminated.  
 136



137  
 138  
 139 ***Illuminated Letter Display (Sign Type J)***

141 This amendment also proposes an “Illuminated Letter Display” (also referred to as “Sign Type  
 142 J” in the amended sign program). This sign is proposed to be located at the southeast corner of  
 143 145<sup>th</sup> Avenue and Elm Street. The proposed sign measures 11-feet, 6-inches in total height, and  
 144 70 feet in total width. The sign is comprised of 8 individual letters made up of aluminum and  
 145 acrylic panels each set atop a concrete base. The letters will be internally illuminated with color  
 146 changing LEDs that have the capability to be reprogrammed for special events and holidays.  
 147 Pursuant to Section 109-1.10 of the LDO the lighting shall not create excessive glare to  
 148 pedestrians and/or motorists and the lighting shall not be programed in a “flashing”, “blinking”,  
 149 or “chasing” lights manner.  
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This amendment is currently only proposing the letters at the southeast corner of 145<sup>th</sup> Avenue and Elm Street. However, the letters are designed so that they will be anchored when stationary and can be unanchored and relocated to other locations within the City Center development. A future amendment to the City Center sign program will be required if any new location is desired by the developer.

**Conformance with Adopted Plans:**

**Surprise General Plan 2040:** The Surprise General Plan 2040 shows the subject property as lying within the Commerce & Office Character Area, as well as the Surprise Center District sub-area, which support a variety of land uses, including commercial. The proposed sign program supports the commercial development within its area while acting as an aesthetic enhancement to the area. In that regard, the proposal is consistent with the Surprise General Plan 2040.

**Summary:**

The proposed amendment to the previously approved Surprise City Center sign program is designed to complement both the original sign program and the associated development. The proposed signage meets the requirements of Title 15 with respect to Master Sign Programs as well as the Surprise Center PAD, and applicable codes.

**Citizen Outreach:**

The applicant held a Neighborhood Outreach Meeting on August 27, 2025 at the Surprise Regional Library located at 16089 N Bullard Ave, Surprise, AZ 85374. The request was posted and advertised in accordance with city code and state statute. There were four (4) residents in attendance who had general questions regarding the request for the CSP. Staff has not received any support or opposition to the CSP request.

**Findings:**

- The proposed Comprehensive Sign Program is consistent with the Surprise General Plan 2040.
- The proposed sign program is consistent with the Surprise Center PAD.
- The proposed sign program is consistent with the applicable Surprise Municipal Code.
- The reviewing agencies indicated no objects.

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**Recommendation:**

Based on the findings noted above, staff recommends the Commission **approve** case **FS25-0170**, subject to stipulations ‘a’ and ‘b’ as follows:

- a. Development and use of the site shall be consistent with the Comprehensive Sign Program entitled “Surprise City Center”, prepared by Yesco and received July 14, 2025.
- b. Non-compliance with the stipulations of approval of this case will be treated as a violation in accordance with the applicable provisions of the Surprise Municipal Code.

However, should the Commission wish to recommend denial of the request, the Commission should make its own findings and base its decision on those alternative findings.

*Recommended Motions:*

I move to recommend approval of the amendment to the Surprise City Center Comprehensive Sign Program, Case #FS25-0170, subject to stipulations ‘a’ and ‘b’ as outlined in the staff report.

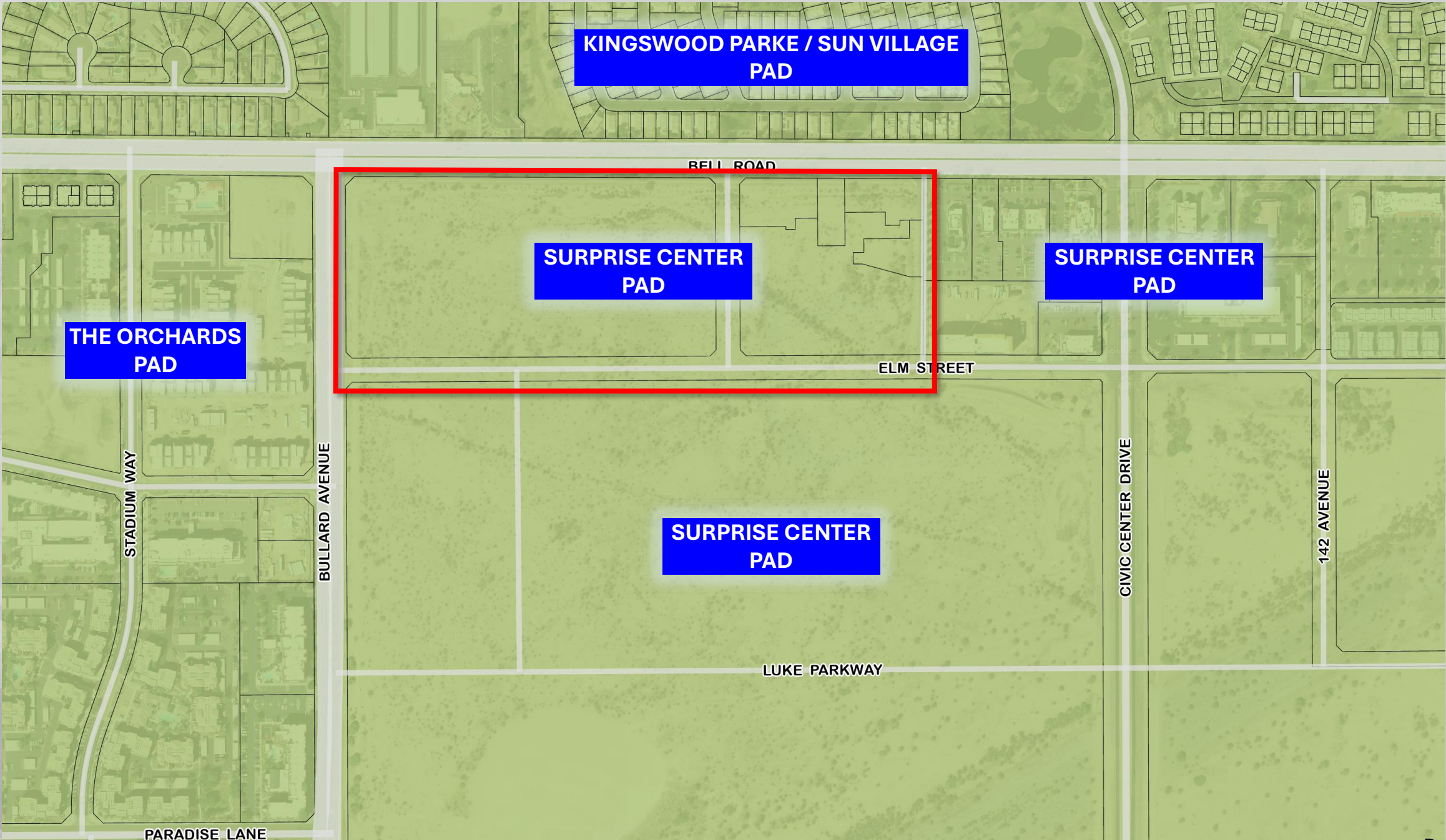
I move to recommend denial of the amendment to the Surprise City Center Comprehensive Sign Program, Case #FS25-0170, because insert reason.

**Attachments:**

- 01 Vicinity Map
- 02 Zoning Map
- 03 Comprehensive Sign Program Document
- 04 Citizen Participation Report
- 05 Affidavit of Posting
- PPT



# FS25-0170 VICINITY MAP





# Surprise City Center Comprehensive Sign Program

Bullard Avenue and Bell Road  
Surprise, Arizona

March 6th, 2024

**Amendment: May 27, 2025**  
**Case Number FS25-0170**

 **YESCO**  
Custom Electric Signs™

Crystal Helgeson  
Account Executive  
480.698.3062

 **SIGNS PLUS**

Sarah Spradlin  
C - 480-262-0412  
O - 623.780.1544  
2507 W. Villa Rita Dr.  
Phoenix, AZ 85023  
R7

- Project Description
- Site Plan
- Site Plan for Block 3 City Center CSP
- Sign Matrix
- Monument Sign
- Non-Illum. Double Sided Vehicular Dir.
- Illum. Double Sided Pedestrian Dir.
- Sign Criteria
- Wall Sign Fabrication Details
- Building Elevations
- Pad Tenant Non-Illum. Vehicular Dir.
- Area Identifier Monument
- Letter Display

**Project:**  
Surprise City Center

**Owner:**  
City Center Simon Surprise, LLC

**Parcel Information:**  
Zoning: - PAD  
Parcel Number: 501-18-690 & 501-18-689  
Net Site Area: 1,090,844 sf

**Governing Agent:**  
Surprise, Arizona

**Signage Consultant:**  
**Signs Plus**  
2507 West Villa Rita Drive  
Phoenix, AZ 85023  
623.238.1099  
Gary Johnson  
gary@arizonasignsplus.com

**Narrative:**  
These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout the area for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the development, regulations through Surprise, Arizona Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval through Surprise, Arizona as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved through Surprise, Arizona the latter shall prevail.

**Design Concepts:**  
Freestanding signs are “excerpts” of architectural components of the building theme and materials. Instead of mini buildings, the freestanding monuments become statements in the environment. Architectural and textured walls that create simple expression for the project identification. Accent elements and materials are used for tenant identification areas for both retail. Each combination of wall and accent is integrated into the site with simple, yet formal landscaped areas and lighting features. All signage elements focus on a simple vocabulary of materials – rock, steel, mass of materials, planting, lighting and colors. Combined with the graphic materials of aluminum, dimensional lettering and logo treatments, signage becomes representative of established brands within the overall design theme and palettes. Variations in design distinguish the different uses on the site – through simplicity – not over designed or cluttered with details.

**Functional Requirements:**  
As a local retail center, signage for identification and recognition to customers is inter-dependant on high profile signage to support high sales volumes.  
  
The sign package has been designed to provide a hierarchy of elements to meet the spectrum of functional signage needs, from identification to the pedestrian experience approaching the front door, as follows:

**Signage Types**

**Street-level Identity**  
Six (6) multi-tenant identification monument signs will be provided along Bell Road. This will serve to identify the various tenants inside of the development.

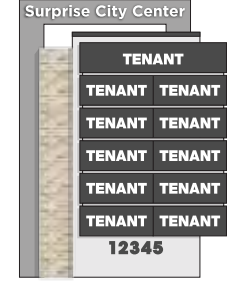
**Tenant Identification Signs**  
Illuminated building signage will be allowed on all elevations of the buildings.

**Area Identification Signs**  
Illuminated s/f monument display  
Illuminated Individual letters display

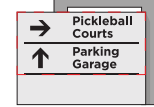
# Site Plan

## Legend

**A1 - A6** Monuments



**B1 - B4** Vehicular Directional  
Qty. TBD



**C1 - C4** Pedestrian Directional  
Qty. TBD



**D** Wall Signs  
Qty. & Locations TBD

**E** Blade Signs  
Qty. & Locations TBD

**F** Window Signs  
Qty. & Locations TBD

**G** Pad Dir. Signs  
Qty. & Locations TBD

**H1 - H2** Flag Poles

**I** Monument



**J** Letter Display  
**SURPRISE**

NOTE: Overall City Center View.



Signs 141'-0"  
141.00' from residential

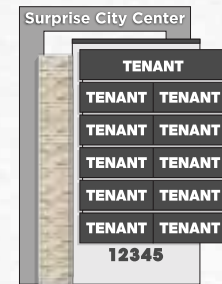
Scale: 1"=200'-0"



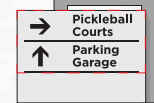
# Site Plan for Block 3 City Center CSP

## Legend

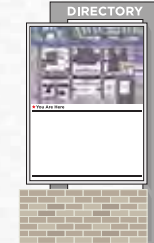
**A1 - A6** Monuments



**B1 - B4** Vehicular Directional Qty. TBD



**C1 - C4** Pedestrian Directional Qty. TBD



**D** Wall Signs Qty. & Locations TBD

**E** Blade Signs Qty. & Locations TBD

**F** Window Signs Qty. & Locations TBD

**G** Pad Dir. Signs Qty. & Locations TBD

**H1 - H2** Flag Poles

--- Property Line

▲ Sight Visibility Triangles (SVT)



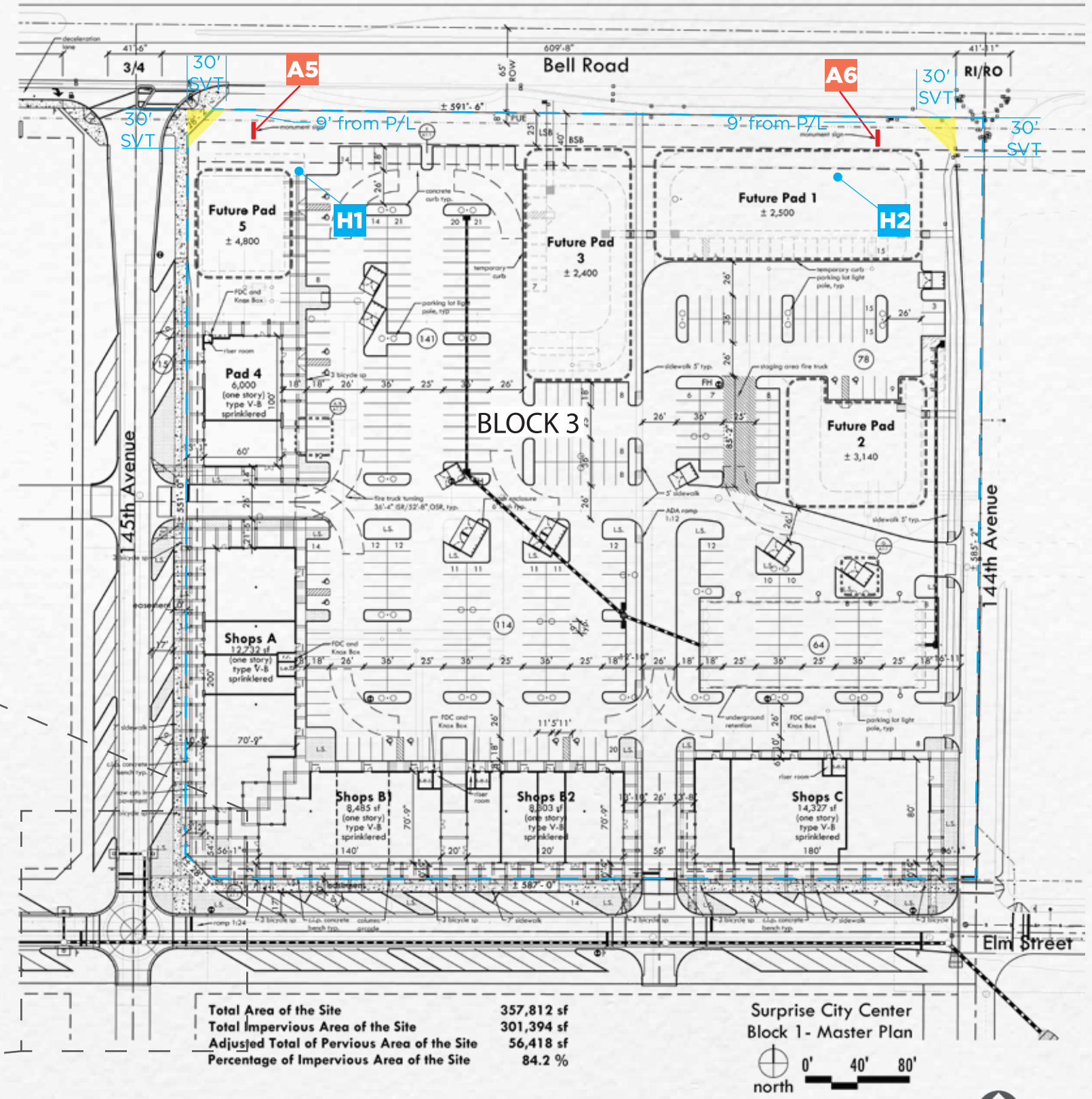
**WEST INTERSECTION - SEE PAGE 03**

Scale: 1"=60'-0"



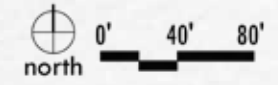
**EAST INTERSECTION**

Scale: 1"=60'-0"



Total Area of the Site	357,812 sf
Total Impervious Area of the Site	301,394 sf
Adjusted Total of Pervious Area of the Site	56,418 sf
Percentage of Impervious Area of the Site	84.2 %

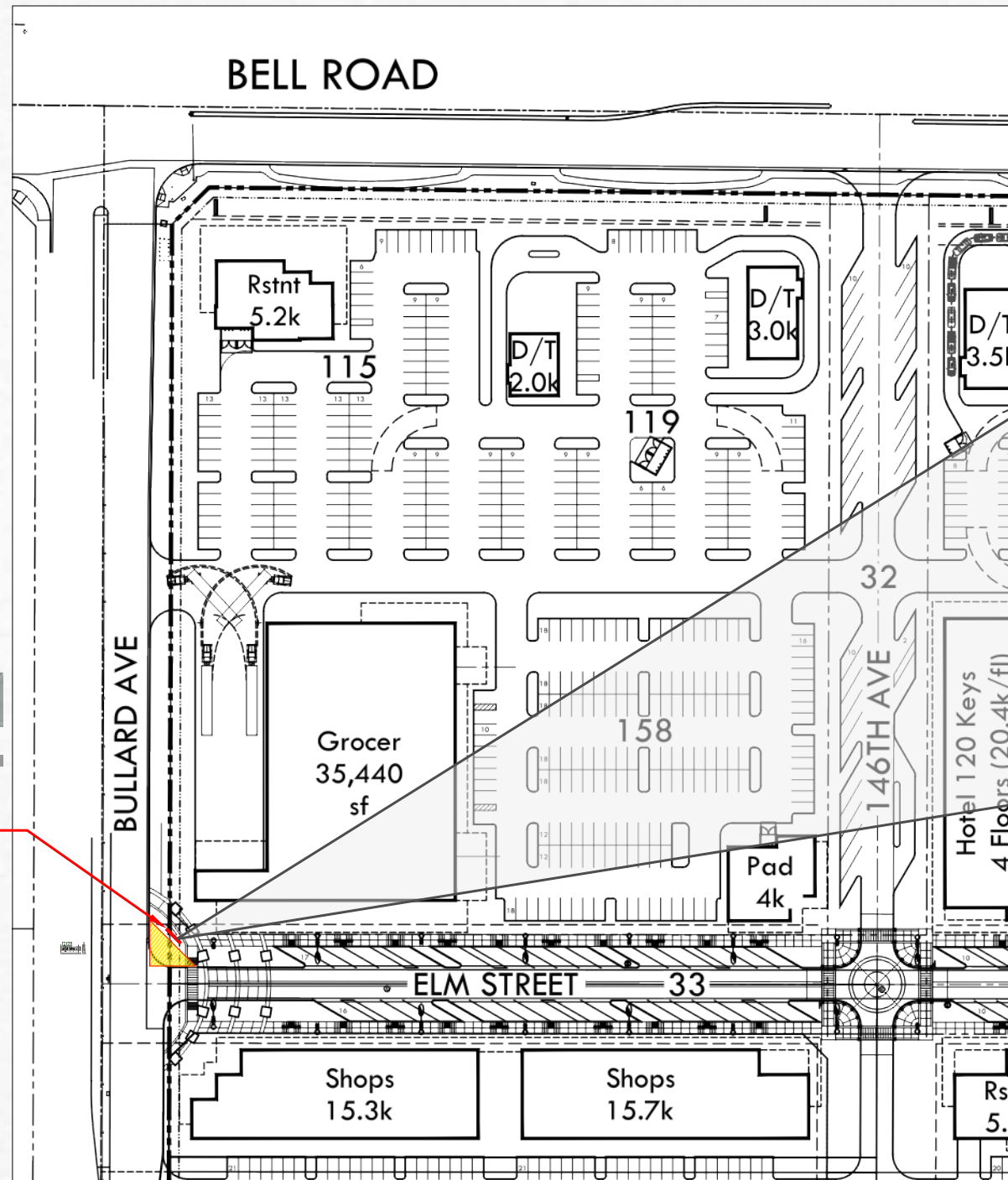
Surprise City Center Block 1 - Master Plan



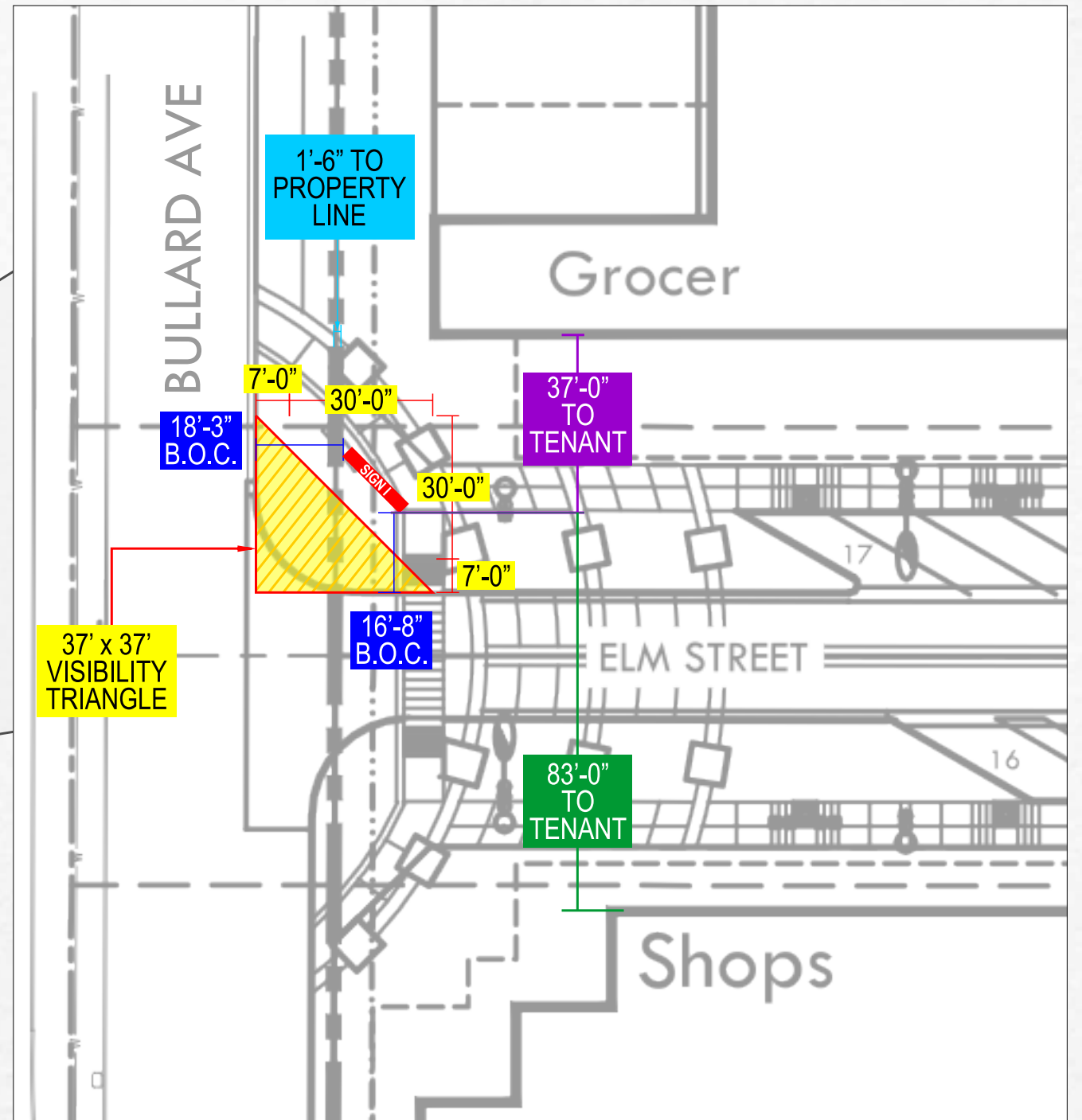
**BLOCK 3 ENLARGED VIEW**

Scale: 1"=100'-0"



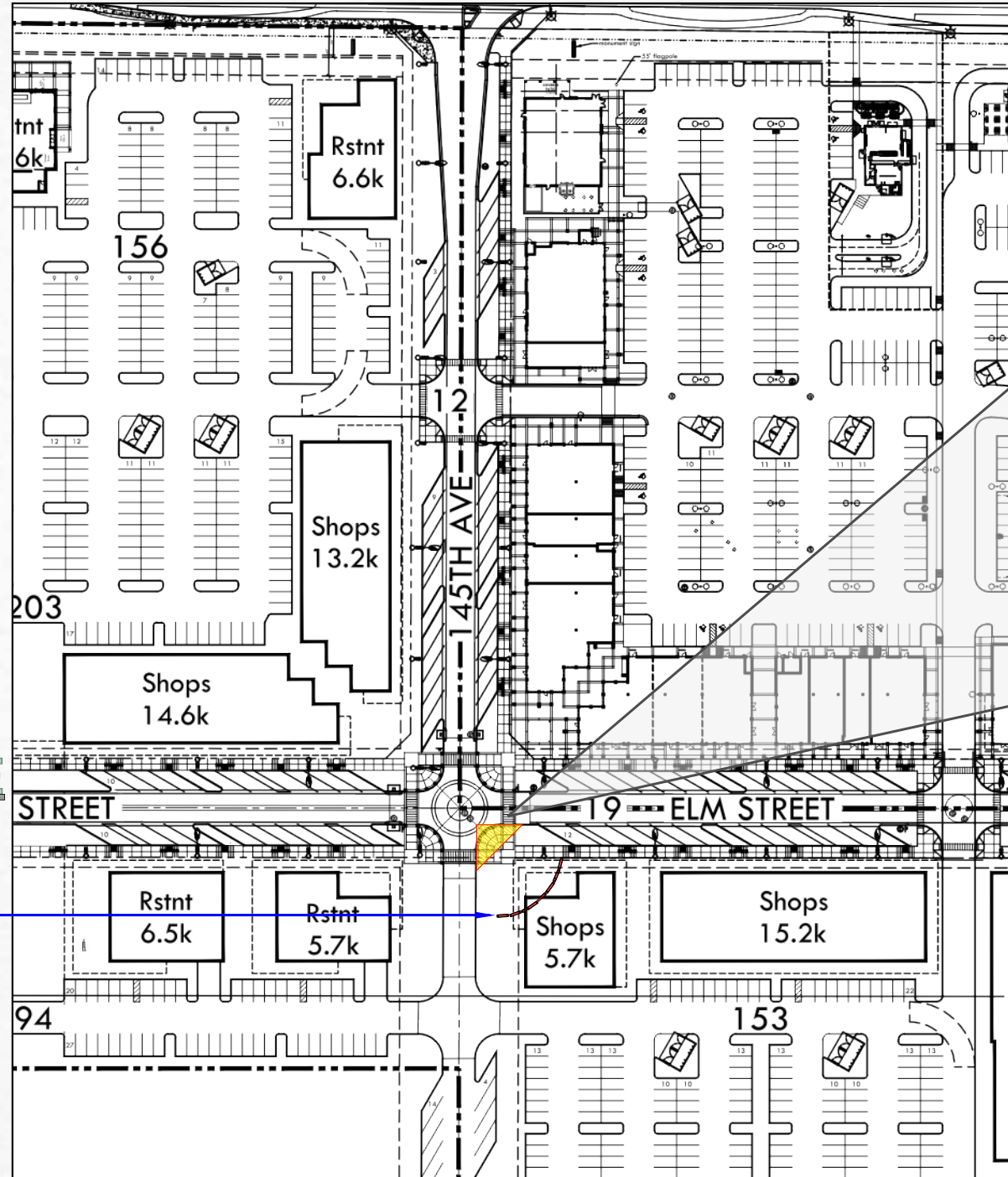


Overall Site Plan  
Approx. Scale: 1"=128'-0"

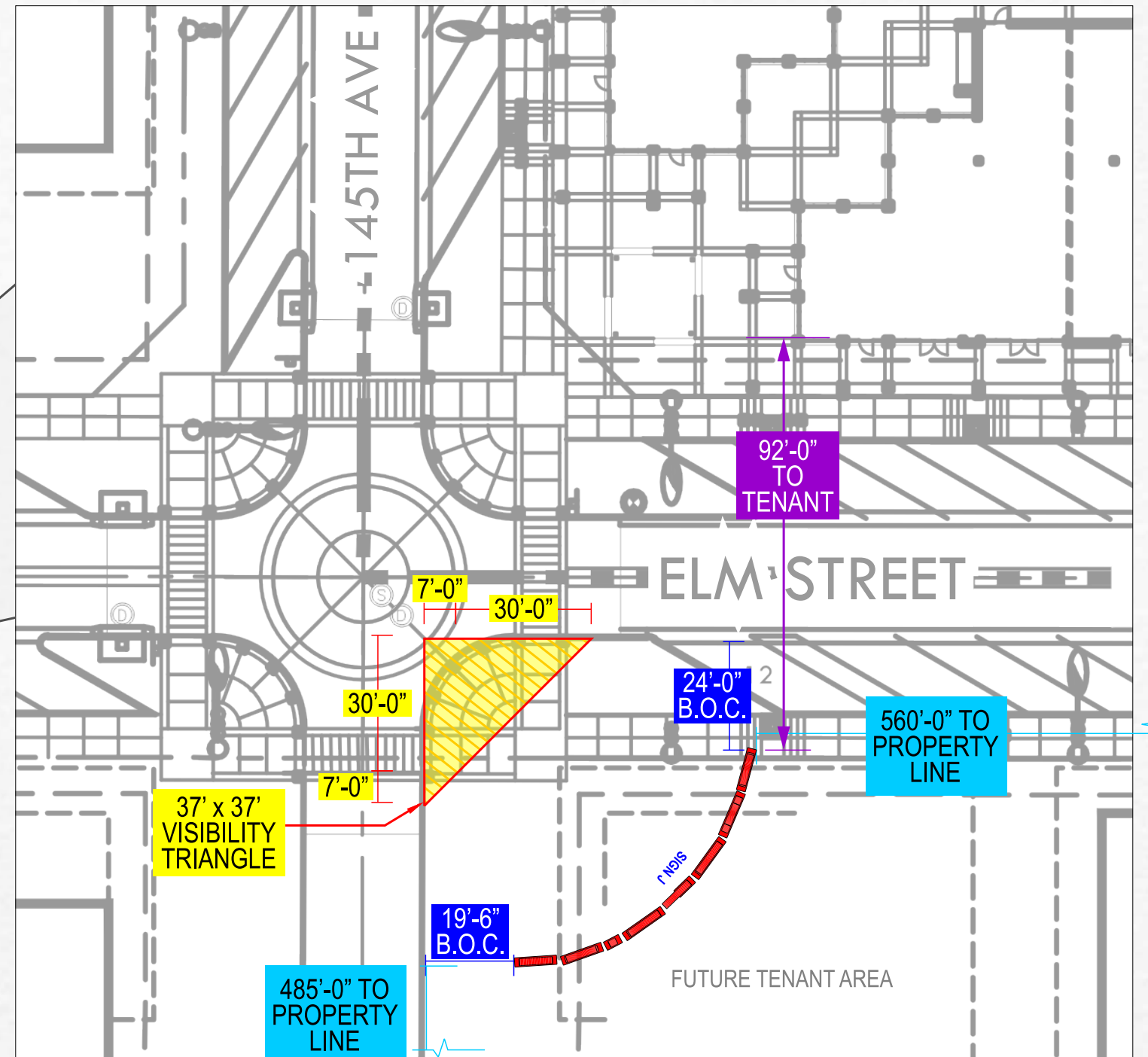


Install Location **ENLARGED** View  
Approx. Scale: 1"=32'-0"





Overall Site Plan  
Approx. Scale: 1"=128'-0"



Install Location **ENLARGED** View  
Approx. Scale: 1"=32'-0"



**SURPRISE**  
Letter Display

**J**

# Sign Matrix



Sign Type	Sign Description	Function	Sign Location	Quantity	Size	Materials	Illumination
<b>A1 - A6</b> Multi-Tenant LED Illuminated Monument Signs	Freestanding sign with 11 tenant panels for tenant identification.	Tenant Identification	Located on Bell Road	Six (6)	17'-0" tall. 12'-8 1/2" wide Overall Area: 216.07 SQFT Copy Area: 113.29 SQFT	Aluminum, Vinyl, Acrylic and stone	Internally LED Illuminated
<b>B1 - B4</b> Non-Illuminated Double Sided Vehicular Directional	Freestanding signs with direction of tenants & activities on the property.	Oriented for Vehicular Trac	Exact locations to be determined.	Four (4) Exact Qty. to be determined.	2'-0" tall. 2'-6" wide Overall Area: 5 SQFT Copy Area: 3.89 SQFT	Aluminum, Reflective Vinyl	Non-Illuminated
<b>C1 - C4</b> Illuminated Double Sided Pedestrian Directional	Freestanding signs with direction of tenants & activities on the property.	Oriented for Pedestrian Trac	Exact locations to be determined.	Four (4) Exact Qty. to be determined.	6'-0" tall. 3'-6" wide Overall Area: 21 SQFT Copy Area: 12.41 SQFT	Aluminum, Vinyl, Acrylic and stone	Option 1 - Internally LED Illuminated Option 2 - EMC

Sign Type	Building / Tenant Type	Location	Quantity / Sign Area	Maximum Letter or Logo Heights	Materials	Illumination Style
<b>D</b> Wall Signs	Standard Shop Tenant (Between 10,000-24,999 s.f. leased area).	All signage must be located within the Tenant's leased frontage.	One & one half (1.5 s.f.) square foot per each lineal foot of elevation occupied by the tenant.	60" Max letter height exclusive of logos.  No sign shall exceed a maximum of 80% vertical height and 80% horizontal width of the architectural space on which it is installed.	Individual pan-channel, reverse pan-channel letters/Logos or custom 3D sign cabinets on elevations facing roadway or parking "lot" trac.  Interior/pedestrian oriented for mainstreet areas, flag mounted, or custom 3D sign cabinets.	LED Internally, halo or indirect illumination.  Illumination colors per Corporate Standards.  No exposed raceways unless made part of an architectural feature subject to approval of the Developer.
	Small Shop Tenants (Less than 10,000 s.f. leased area).		One & one half (1.5 s.f.) square foot per each lineal foot of elevation occupied by the tenant. Maximum of 100 s.f.	36" Max letter height exclusive of logos.  No sign shall exceed a maximum of 80% vertical height and 80% horizontal width of the architectural space on which it is installed.		
	Freestanding Pad Buildings Outparcel / Restaurant (Adjacent to Roadways)	Can be located on all sides with readability	One and one half (1.5 s.f.) square foot per each lineal foot of frontage for which a sign is placed on.	Colors to be per Tenant's corporate standards.		
<b>E</b> Blade Signs	All Tenant all buildings	Perpendicular to store front with a minimum clearance height of 8' from floor	One per major public entry Minimum clearance shall be 8 feet for pedestrian areas and 15' for vehicular areas	Shall not extend above the building on which it is mounted and in no case should the sign be higher than 40' above grade and project no more than 36" from the wall	Colors to be per Tenant's corporate standards.	Shall not be externally illuminated except by ambient lighting.
<b>F</b> Window Signs	All Tenant all buildings	First surface, interior surface of all storefront glass.	25% of each (overall) windows	Within allowed per square footage standards	Per Tenant's design standards. All layouts shall be approved by Developer.	None

Sign Type	Sign Description	Function	Sign Location	Quantity	Size	Materials	Illumination
<b>G</b> Non-Illum. D/S Pad Tenant Dir.	Freestanding signs with dir. to pad tenants drive thru	Oriented for Vehicular Trac	Exact locations to be determined.	Exact Qty. to be determined.	1'-1" x 2'-5" Copy Area: 2.61 SQFT	Aluminum, Reflective Vinyl	Non-Illuminated

Structure Type	Location	Quantity	Description	Illumination Style
<b>H1 - H2</b> Flag Poles	G1-corner Bell Rd. & 145th Ave. G2-corner Bell Rd. & 144th Ave.	Two (2)	<ul style="list-style-type: none"> <li>Only one of each flag with a maximum of three flags on any one lot or parcel shall be allowed.</li> <li>No flag pole shall exceed the following heights per specified zone:                             <ul style="list-style-type: none"> <li>Parcels zoned C-1, C-2 &amp; C-3 shall not exceed thirty-five feet.</li> <li>Parcels zoned industrial shall not exceed thirty-five feet.</li> </ul> </li> <li>Flag poles shall not be placed except within a landscaped setting of not less than two hundred square feet.</li> <li>Illumination of any flag or flagpole shall be in accordance with Sec. 15.24.090 of this chapter.</li> <li>Nothing in this section shall apply to any flag or flagpole located on any parcel owned or operated by any federal, state or local government for a governmental purpose. (Ord. 97-06 § 2 Exh. A (part), 1997)</li> </ul>	TBD

Sign Type	Sign Description	Function	Sign Location	Quantity	Size	Materials	Illumination
<b>I</b> Area Identifier LED Illuminated Monument Sign Single Sided	Freestanding sign for branding of surrounding area	Area Identification	Located on North corner of Bullard Avenue and Elm Street	One (1)	9'-6" tall. 16'-10" wide Overall Area: 159.9 SQFT Copy Area: 99.4 SQFT	Aluminum, Vinyl, Acrylic and concrete base	Internally LED Illuminated
<b>J</b> Letter Display. LED Illuminated  Single Sided	Freestanding Letters for branding of surrounding area	Area Identification	Initial Location: South East corner of Elm Street and 145th. Permits will be required if moved to new location	One (1)	11'-6" tall. 70'-0" wide Overall Area: 700.0 SQFT Copy Area: 700.0 SQFT	Aluminum, Acrylic and concrete base	Internally LED Illuminated

# Sign A1-A6 - Illuminated Monument Sign Structure

## Materials

- 1** (.125) Grade Alum. construction main cabinet painted P1 w/ 1" clear acrylic push through copy w/ V1 vinyl overlay
- 2** (.125) Grade Alum. tenant panels painted P2 with 3/16" white acrylic back up. Tenant copy w/ 1st surface 3M translucent vinyl graphic overlay to allow corporate branding.
- 3** (.125) Grade Alum. construction cabinet painted P1, P3 w/ flat cut out address number painted P2.
- 4** (.125) Grade Alum. construction relevel painted P4
- 5** Masonry pillar to match building

## Paint Colors

- P1** DE6376 Looking Glass
- P2** DE6385 Black Bean
- P3** DE6218 Antique Paper

## Vinyl Colors

- V1** White 3M 3630-20

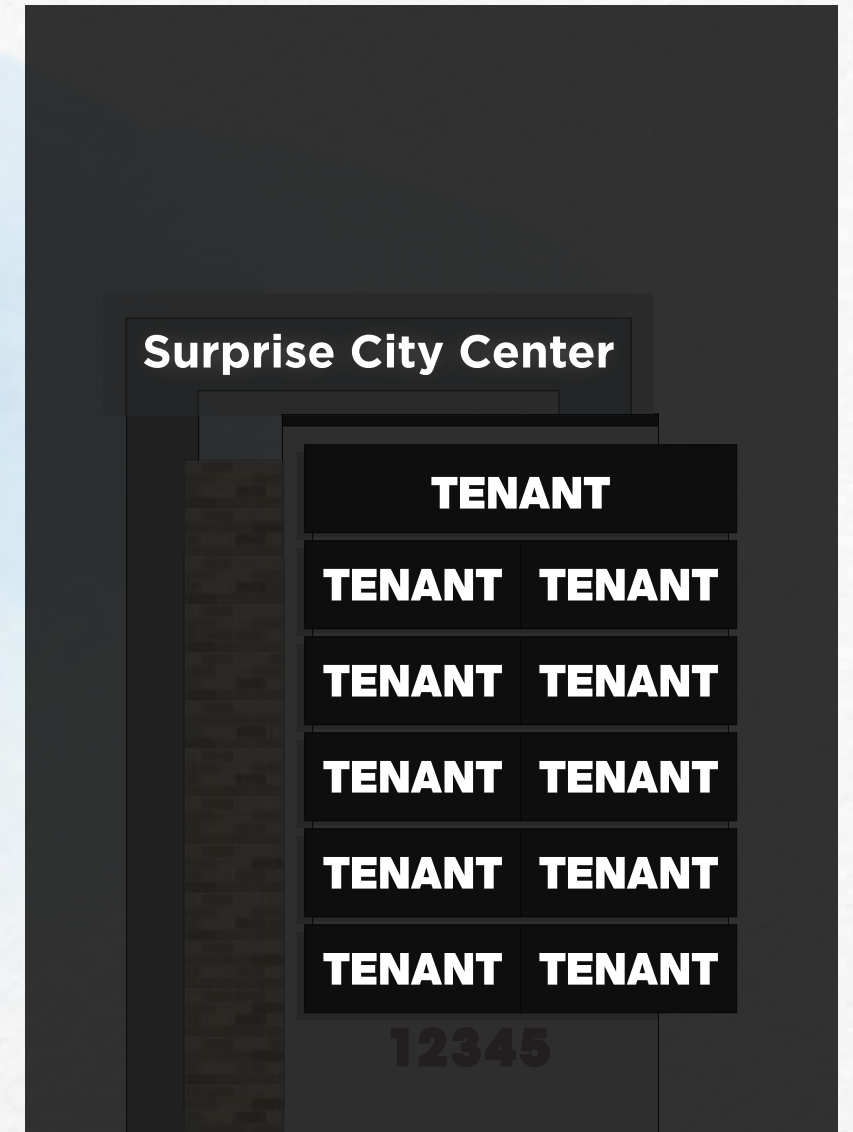
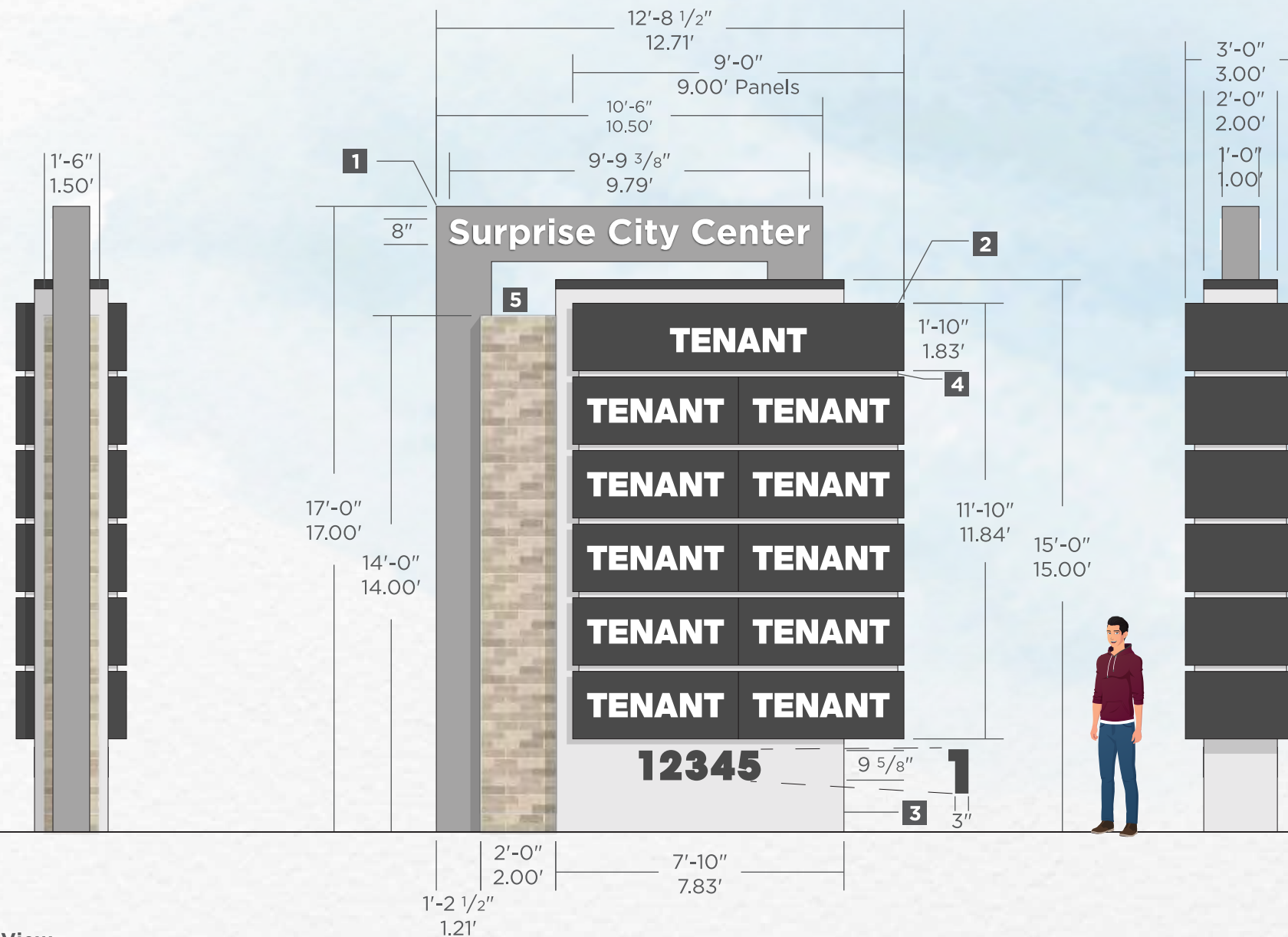
## Stone

- S1** Eldorado Stone Tundra Brick "Latigo"

**FINDINGS:** 1.5 feet for every additional 10 feet of horizontal distance from the single-family residential property line up to a maximum height of 17 feet, provided however that any height in excess of 15 feet shall be limited to architectural embellishments. Distance from property line to property line is 141 feet. 61 extra feet x 1.5 for every 10 feet (6 x 1.5 = 9 feet tall for the monument).

**NOTE:** Type A signs shall be setback not less than 2 feet from the right-of-way line or easement.

**STREET SIDE** →



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs. The location of the disconnect switch after installation shall comply with article 600.6(A) (1) of the National Electrical Code.

2018 IBC, 2011 NEC, 2012 IBC



# Sign Type B1-B4 - Non-Illuminated Double Sided Vehicular Directional

## Materials

### 1 Alum. Fin

- 1/4" alum. plate painted P1

### 2 Cabinet

- .125 alum.
- alum. angle frame
- painted P2

### 3 Vinyl Copy

- V1

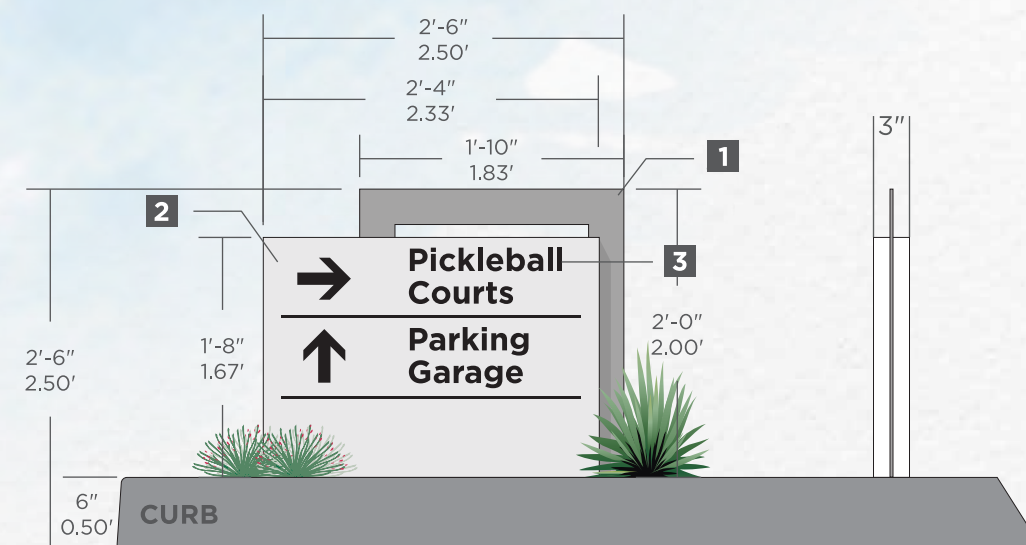
## Paint Colors

**P1** DE6376 Looking Glass

**P2** DE6218 Antique Paper

## Vinyl Colors

**V1** Black Ref. (5100-85)



Side View

### Face View

Scale: 3/4"=1'-0"

### Qty. 4

Copy Area: 1.67x2.33=3.89 SQFT  
Overall Sign Area: 2x2.5=5 SQFT

# Sign Type C1-C4 - Illuminated Double Sided Pedestrian Directional

## Materials

### 1 Alum. Fin

- .125" alum. w/ routed copy backed with 1/8" white acrylic and illum. w/ white LEDs.
- painted P1

### 2 Cabinet

- .125 alum.
- alum. angle frame w/ retainers
- map
- option 1 - static illum. w/ white LEDs
- option 2 - EMC
- painted P2

### 3 Base

- Stone S1

## Paint Colors

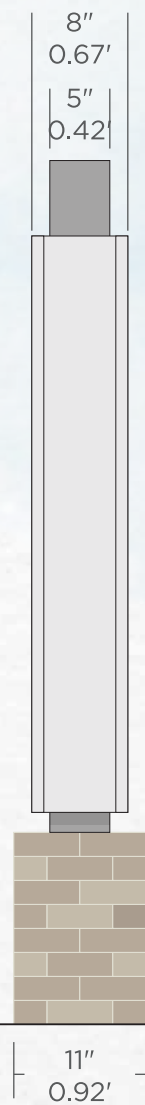
**P1** DE6376 Looking Glass

**P2** DE6218 Antique Paper

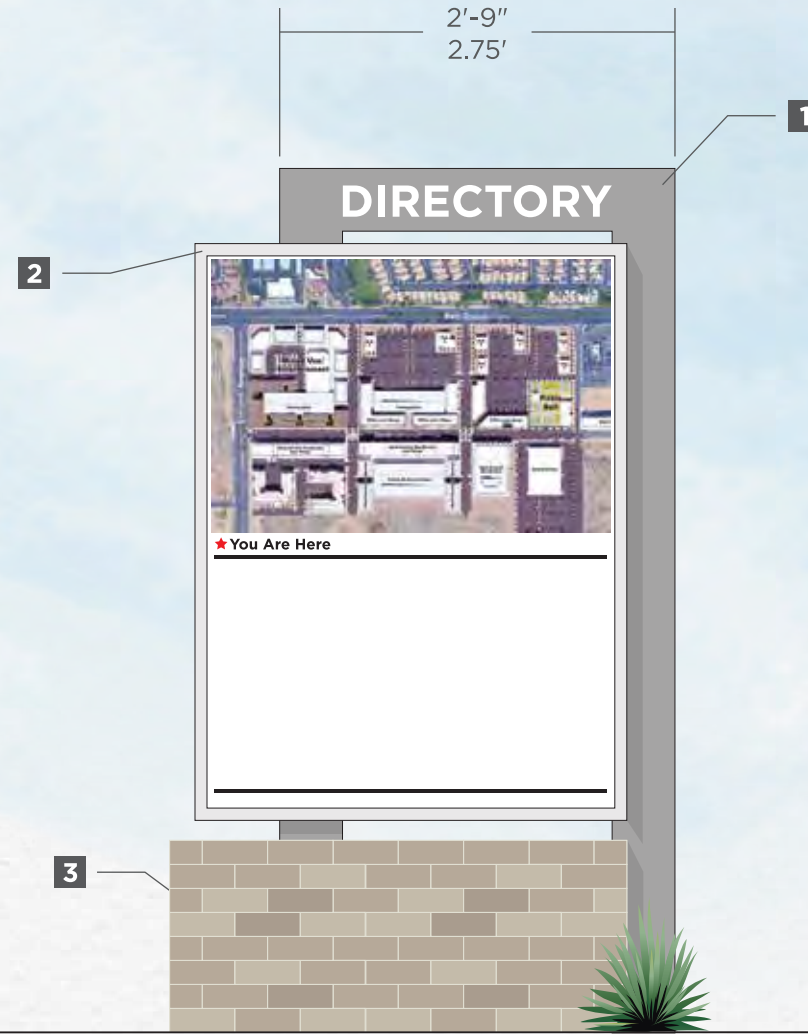
## Vinyl Colors

## Stone

**S1**  
Eldorado Stone  
Tundra Brick  
"Latigo"



Side View



Face View

Scale: 3/4"=1'-0"

Qty. 4

DIRECTORY: .22x1.87=.41 SQFT  
MAP: 3x4=12 SQFT  
Overall Sign Area: 6x3.5=21 SQFT

# Sign Type I - S/F Illuminated Area Identification Monument Sign Structure

## Materials

- 1** aluminum backer cabinet with painted green finish to match logo
- 2** aluminum reverse pan channel letters with finish and white led halo illumination
- 3** aluminum cabinet painted to match concrete finish
- 4** 3" deep recessed routed out copy with interior returns, backed with white acrylic with black perf. vinyl overlay illuminated with white leds
- 5** fco letters with black finish flush mounted to base
- 6** aluminum cabinet with painted finish
- 7** polished concrete base
- 8** aluminum cabinet accents with painted finish
- 9** white vinyl yesco logo

## Paint Colors

- P1** (Green - Pending)
- P2** (Brown - Pending)

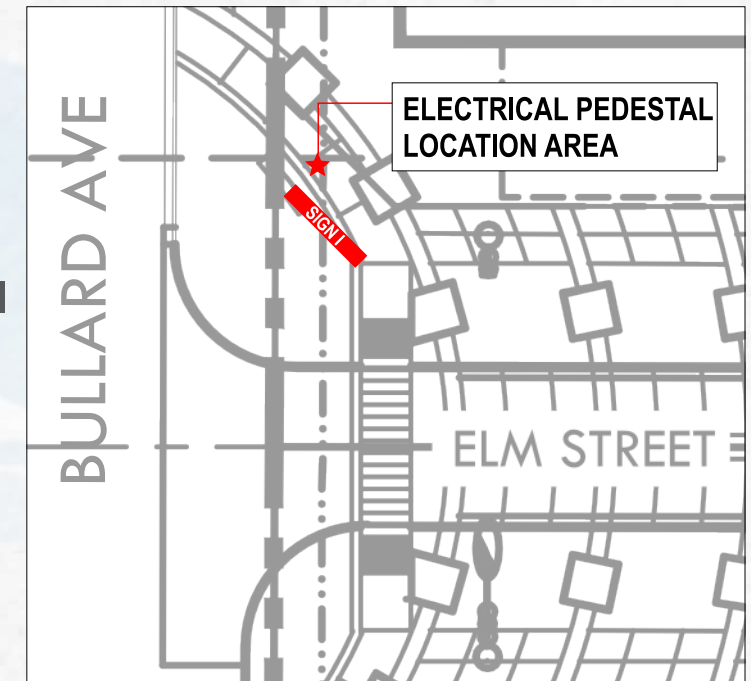
## Vinyl Colors

- V1** Black perforated vinyl



SCALE: 3/8" = 1'-0"

DISCONNECT SWITCH INSTALLED TO FREE-STANDING ELECTRICAL PEDESTAL LOCATED WITHIN 10'-0" OF DISPLAY



Night View

nts.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs. The location of the disconnect switch after installation shall comply with article 600.6(A)(1) of the National Electrical Code.



2018 IBC, 2017 NEC

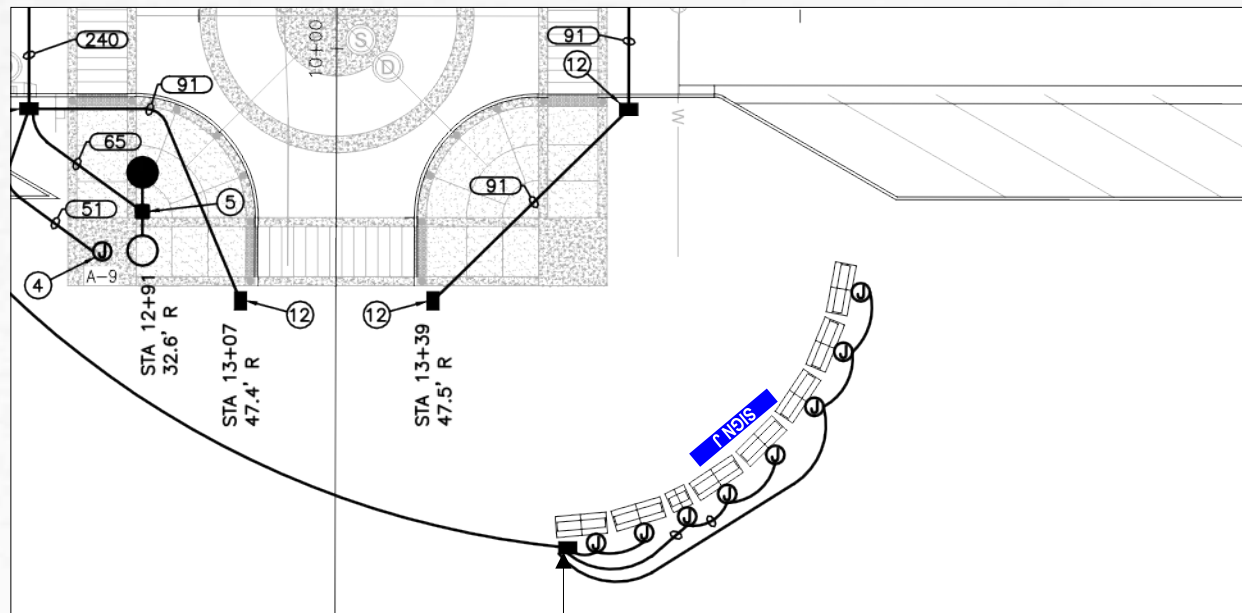
# Sign Type J - Illuminated Letter Display

## Materials

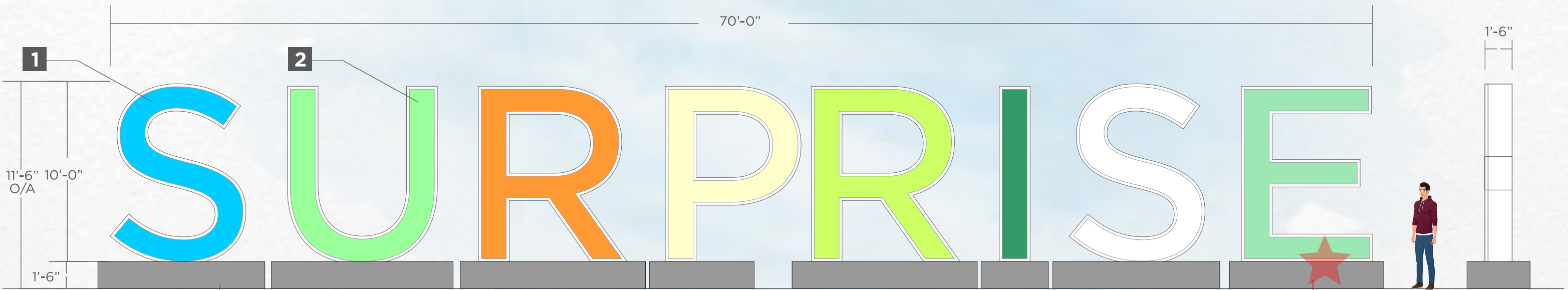
- 1 Alum. Fin**
  - aluminum cabinets with white returns / white retainers
- 2 Cabinet**
  - white polycarbonate faces illuminated with color changing leds
- 3 Base**
  - cabinets installed to individual support concrete bases with painted finish

## Paint Colors

- P1** (White - Pending)
- P2** (Gray - Pending)



CONCRETE PULL BOX, LABELED "POWER".  
ALL POWER CONDUITS & CONDUCTORS SHALL BE INSTALLED THROUGH THIS BOX.  
EACH LETTER WILL HAVE DISCONNECT SWITCH



11'-6" 10'-0"  
O/A

1'-6"

70'-0"

1'-6"

SCALE: 3/16" = 1'-0"

FRONT VIEW - LETTERS ACTUALLY TO BE INSTALLED AT ANGLE - NOT STRAIGHT AS SHOWN  
NOTE: PER CUSTOMER'S REQUEST - EACH LETTER DISPLAY INSTALLED TO INDIVIDUAL CONCRETE BASES

ELECTRICAL PEDESTAL  
LOCATION AREA

SIDE VIEW OF ONE LETTER

3'-6"

3

## The Landlord is Responsible For:

- Providing a standard base building design and construction package to the Tenant's Design Consultant.
- Convey and communicate the criteria that will be used to value Tenant store front and identity signs.
- The review, revision, and approval of the Tenant sign submittal prior to permit submittal to the City.

## Tenant is Responsible For:

- Providing a facade sign, a blade sign, and prior to permit submittal to the city above facade openings where not provided by the Landlord as part of the base building.
- Design, approval submittal, fabrication, permitting and installation of signs, including any electrical service and/or structural support. Any special installation conditions requiring modification to the shell building must be approved by the Landlord. The Tenant must provide a store front elevation of each sign proposed as well as detailed shop drawing elevation and section through the sign indicating sign makeup, dimensions, materials and colors.
- The Tenant shall employ sign fabricators and installers approved by the Landlord. Demonstrated experience and qualifications in the techniques and procedures required to implement the sign's approved design intent are mandatory. All Landlord requirements for damage deposit and certificates must be met by sign contractors.
- The Tenant and Tenant's design consultant will abide by all provisions, guidelines and criteria contained within the Surprise City Center guidelines, these sign criteria and local codes.
- Only those sign types, and approved quantities, provided for and specifically approved by the Landlord in Tenant sign submission documents will be allowed. The Landlord may, at the Landlord's discretion and at the Tenant's expense, correct, replace or remove any sign is installed without Landlord's written consent, or that is not executed in conformance with the approved submission.
- The Tenant must supply the Landlord with a copy of all sign fabrication and installation permits prior to installation, including those temporary in nature.

## Sign Submittal Requirements:

- All signage is to be submitted as a complete package for review and approval. Incomplete submittal shall not be approved.
- Shop drawings to include: a storefront elevation indicating location of each sign proposed, as well as a section through the sign indicating sign makeup, dimensions, material.

## General Signage Design Criteria

Project and retail signage are paramount in developing the overall design quality and character of Surprise City Center. Following are guidelines that will be followed to ensure a pedestrian friendly and inviting atmosphere.

## Number of Signs:

- Each store is allowed a maximum of one integral sign and one blade sign for each storefront. Secondary transom signage is permitted when the primary sign cannot be viewed by pedestrians because of awning or overhang.
- The Landlord encourages the use of facade signs, blade and grand blade signs. The Landlord does not provide a sign band.
- Service doors to tenant areas throughout the project shall have a standard identification (Tenant name and suite number only). This signage shall be in accordance with Fire Marshall and / or Landlord requirements and install by the Tenant.
- Additional signs on each storefront may be permitted at the landlord's and the Surprise Center Development LLC discretion.

## Content on Signs:

- Signage shall be limited to Trade Name (or logo as approved). Minimum letter height shall not be less than 80% of the maximum allowable letter height without prior written approval.
- Non Trade Name or Logo signage may be permitted at the landlord and Surprise Center Development LLC discretion.

## Mounting of Signs:

- Signs attached to buildings shall be integral with the storefronts. No exterior sign will be permitted to extend above any parapet line.

All sign bolts, fastenings and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass or bronze. They should be concealed, if possible. Threaded rods or anchor bolts shall be used to mount sign letters, which are spaced out from the building face. Angle dips attached to letter sides will not be permitted. All mounting attachments shall be sleeved, painted and concealed.

All metal letters shall be fabricated using full-welded construction, with all welds not visible. Acrylic or trim cap retainers used at the perimeter of sign letter faces shall match in color and finish the face or the sides of the sign.

Signage shall be pin-mounted on building facade or edge-mounted, 3-dimensional signage mounted to a canopy edge or continuous eyebrow feature. Halo-illuminated signage shall be pin-mounted a minimum of 2" from building facade. Direct or internally illuminated signage shall be pin-mounted a minimum of 1/2" and maximum of 1" from building face.

All main signs shall be centered in the sign block or over the premises.

Tenants are required to provide a concealed access panel from within the Tenant's leaseable area to service and install exterior building signage as needed. Transformers to be concealed.

## Lighting of Signs:

The lighting to Tenant's signage shall be controlled by a 24-hours time clock set in accordance to the Landlord's specified hours.

Sign illumination shall be internal and self contained.

All electric signs and installation methods must meet UL standards and contain a UL label. Required UL stickers not to be visible.

## Sign Treatment Not Permitted:

- poor quality materials, i.e. plastic applique letters, non-fade resistant materials, etc.
- light boxes, cabinet signs or formed plastic, injection molded signs
- flashing, moving, audible or odor making signs
- cluttered signs
- banners, pennants, inflatable displays or sandwich boards (banners and temporary signage for grand openings/special events are to be reviewed and allowed at Landlord's discretion).
- 2nd story signs above the parapet
- rooftop signage
- awnings with printed letters
- window decals such as credit card acceptability
- advertising or promotional signs on parked vehicles
- exposed neon or any other exposed light source

- no sign marker labels or other identification shall be permitted on the exposed surface of signs.
- no exposed conduit or tubing, conductors, transformers and other equipment will be permitted.
- no pre-manufactured signs, such as franchise signs, that have not been modified to meet these criteria.
- no cloth, paper, cardboard or similar stickers or decals around or on surfaces on the storefront or within the Design Control Zone, without prior written approval. Professionally prepared interior window signs advertising special sales, small door stickers indicating hours of business, or emergency telephone will be considered.
- No box sign cabinets or box backers boards allowed.

## Facade Signage

Facade signs are intended for immediate recognition of the Tenant's Premises by the public. It is recommended that the signage be designed for day and night-time visibility.

Signs are mounted on the facade of the store, above Tenant's awnings or on Landlord's canopy or designated eyebrow feature, with raceways as needed. The signage is limited to the Trade Name only.

One sign is permitted on each exterior face of the building. Signage limited to individual pan-channel, reverse pan-channel letters/logos, or custom 3D sign cabinets on elevations facing roadways or parking lot traffic.

## Canopy Top Signage

This signage type consists of illuminated signage that sits on top of the Landlord-provided canopy that occurs at specific locations in this project.

The finish and color of the lettering is ultimately subject to the landlord's approval to ensure only the highest quality for the projects.

The maximum allowable height for each sign shall be as outlined for facade signage.

All tenants with frontage along Elm St are required to place signage along the abutting canopy.

## Facade-Mounted Blade

The Tenant is required to erect one blade sign at the facade of the Premises. Tenants at corner locations are permitted to install a sign at each face of the building. The blade sign may not be the primary store identification sign.

Facade-mounted blade signs are intended to be fixed to the facade of the building at suitable locations within lease lines. They may be mounted to a neutral pier at a level of 8.5' above the sidewalk. The maximum projection is 4' from the building.

Blade signs are intended as much for their decorative value to the buildings and street scape as for their advertisement of the Tenant's Premises. Letter height shall be 6" max.

Though they are referred to as blade signs, their projection may occur as spheres, boxes, cylinders or any other combination of 3-dimensional objects and shapes. They must be double sided.

The mounting location should be selected to avoid being obscured by the awning, awning frame, other signage, or base building design elements.

### Suspended Canopy Signage

In locations where the Landlord has provided sidewalk canopies, the Tenant is permitted to suspend blade signs.

The image on the sign is limited to the Tenant's Trade Name and logo only.

Generally, one suspended blade sign is permitted for each Tenant, but where a Tenant has a corner location, one sign for each face of the storefront is permitted.

The minimum dimension from the sidewalk to the underside of the sign is 8.5'. The maximum size of the signage panel is 8 square feet. The sign shall be centered on the centerline of the canopy. The edge of the sign may not project beyond the outer edge of the Landlord's canopy overhead.

Signs may be internally and externally illuminated.

Facade mounted blade and suspended canopy signage may not include chains and/or S hooks as to allow movement of the sign.

### Grand Blade Signs

Grand blade signs (instead of facade signs) are permissible after review and approval by the Landlord.

The Tenant has wide latitude in the design of these signs, to stimulate the creativity of their designs. However, it must be noted that, due to the prominent position of these signs, the Landlord reserves the right to exert control over submittal to ensure the overall suitability of the designs for this project.

Signs may be affixed to the corner of the building on the diagonal, thereby giving visibility from two directions. Bottom of sign must be a minimum of 9' above the sidewalk.

Signs must allow for nighttime illumination. Electrical supply conduit/wiring and transformers must be concealed.

### Signage on Glass

Tenants may apply signs to the interior glass portion of the storefront. Acceptable materials include: painted gold or silver leaf; silk-screened logo; cut out polished metal veneers applied to glass; etched glass. Designs must be approved by Landlord. Unacceptable materials: paper or poster card taped to glass, etc. Signage must not obscure view through glass, and shall be limited to Trade Name and/or logo. The maximum signage height is 6'.

### Awning Design Criteria

Tenants are required to provide awnings with their storefronts, except where the Landlord's canopies are already provided, or where a storefront faces onto a roofed public passage.

Awnings are generally fabric, metal or glass. Generally, consistent shape and color of the awnings is at the discretion of the Tenant, but are subject to approval by the Landlord.

Minimum projection of awning from facade of building is 5', except where otherwise noted.

Minimum height from sidewalk to bottom of awning is 8.5'.

Awnings may not be supported from the sidewalk. The Tenant is responsible for structural stability of the awnings, and must ensure that storefronts, transoms, and other fixings are required.

The widespread occurrence of awnings in this project, and their required projection, means that all shoppers will be aware of the underside of the awnings. Therefore, the structure of the awnings should be attractive, as well as functional, and it must have a suitable finish (unfinished galvanized pipe is unacceptable).

### Temporary/Promotional Signage

All Freestanding Pad Buildings (Restaurant/Outparcel), Major and Sub-Major Tenants will be allowed one panel on project temporary construction sign. No temporary or promotional signage can be taped in the windows. With the exception of Banners and Temporary signage for grand openings/special events are to be reviewed and allowed at Landlord's discretion.

Poster/sale cases may be set back 24" in windows as a part of window displays, subject to Landlord review and approval.

For certain uses, such as restaurants, a single permanently affixed exterior menu board is appropriate. Permanently affixed menu boards should not exceed six square feet and must be integrated into the building's architectural theme, near the entrance. In addition, temporary menu boards for outdoor courtyards or a sidewalk cafe are allowable with the approval of the Landlord. Temporary menu boards must not obstruct pedestrian movement on public walks. They must be removed during non-business hours.

### Tenant Sign Parameters

- Standard Shop Tenant (Between 10,000-24,999 s.f. leased area). 60" Max letter height exclusive of logos.
- Small Shop Tenants (Less than 10,000 s.f. leased area). 36" Max letter height exclusive of logos.
- Signs shall not extend more than 8" beyond the face of the surface to which the sign is mounted.
- All signs must be illuminated and shall derive light from a concealed source.
- A colored opaque face is required. No exposed lamps, globes, tubes, etc. will be permitted. Direct illuminated signs shall be considered on an individual basis and are subject to Landlord approval.
- Double stacked lettering shall be considered on an individual basis only and are subject to Landlord approval. Double stacked letters shall be a maximum of 24" high individual letters and shall comfortably fit within the sign area as determined by the Landlord.
- Tag lines shall be allowed on an individual basis only and are subject to Landlord approval. Any allowed tag lines shall be individual illuminated letters (no box signs) and shall not exceed 10" in height. The width of the tag line, if approved, shall not exceed the width established for the primary signage.
- Marquee Signage: Allowed one per storefront in lieu of Facade sign - 15 s.f. maximum, letters shall be 16" maximum with a maximum of two. Sign shall be individually illuminated letters, pin mounted to existing projected metal marquees. All exposed conduit shall be concealed from public view and painted to match marquee structure or inside a waterproof raceway painted to match the wall color.

• Blade Signs: Required one per storefront 8 s.f. maximum, letters shall be 6" maximum. Blade sign design shall be submitted for review and approval. The blade sign shall be located on an elevation and clear height to bottom of sign shall be indicated. Decorative brackets and sign design are to reflect the qualities of the Tenant and the Shopping Center in a greater entirety.

• One additional over door transom with a maximum letter height of 8" per storefront elevation.

• No logos will be allowed on Tenant storefronts without prior written approval.

### Freestanding Pad Buildings - Restaurant/Outparcel:

• Can be located on all sides with readability, subject to Landlord approval.

• Maximum height of letters within the sign block shall be 36".

• Signs shall not extend more than 8" beyond the face of the surface to which the sign is mounted.

• All signs must be illuminated and shall derive light from a concealed source.

• A colored opaque face is required. No exposed lamps, globes, tubes, etc. will be permitted. Direct illuminated signs shall be considered on an individual basis and are subject to Landlord approval.

• Double stacked lettering shall be considered on an individual basis only and are subject to Landlord approval. Double stacked letters shall be a maximum of 36" high individual letters and shall comfortably fit within the sign area as a determined by the Landlord.

• Tag lines shall be allowed on an individual basis only and are subject to Landlord approval. Any allowable taglines shall have individually illuminated dimensional lettering (no flat box signs) and shall not exceed 10" in letter height. The width of the tag line, if approved, shall not exceed the width established for the primary signage.

• Marquee Signage: Allowed one per storefront in lieu of Facade sign - 15 s.f. maximum, letters shall be 16" maximum with a maximum of two total. Sign shall be individually illuminated letters, pin mounted to existing projected metal marquees. All exposed conduit shall be concealed from public view and painted to match marquee structure or inside a waterproof raceway painted to match the wall color.

• Blade Signs: Required one per storefront, 8 s.f. maximum, letters shall be 6" maximum. Blade sign design shall be submitted with Tenant package for review and approval. The blade sign shall be located on an elevation and clear height to bottom of sign shall be indicated. Decorative brackets and sign design are to reflect the qualities of the Tenant and the Shopping Center in a greater entirety. No logos will be allowed on Tenant storefronts without prior written approval.

### Murals

Murals and other noncommercial displays painted or applied to a building may be permitted at the Landlord and Surprise City Center discretion and do not count as a sign or against the calculated sign area for the building/tenant.

### Monument Signs

• There will be six (6) permanent monument signs on Bell Road.

• Tenant copy will be rout out back up / push thru acrylic.

• Panels will be opaque.

• Signs will reflect architecture and color of the buildings

• Permits will be required if any signs are relocated

### Menu Boards Signs For Drive Thru Restaurant

• One (1) preview menu board and one (1) ordering menu board is allowed per business such signs may be freestanding or wall mounted.

• The maximum aggregate area for a preview menu board and an ordering board per business, shall not exceed forty-five (45) square feet.

• The maximum sign height shall not exceed six (6) feet for freestanding signs.

• Signs will reflect architecture and color of the buildings.



Illuminated Pan Channel Letters - Face View



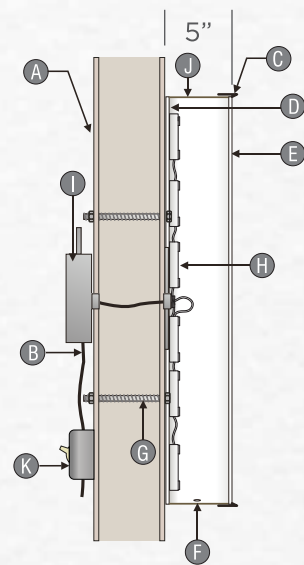
Halo-Illuminated Reverse Pan Channel Letters - Face View



Illuminated Pan Channel Letters - Night View

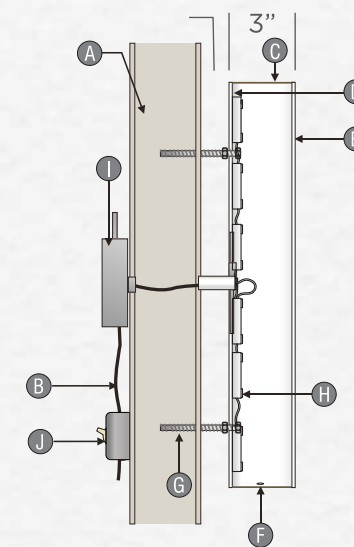


Halo-Illuminated Reverse Pan Channel Letters - Night View



A	wall
B	low voltage wiring
C	trim cap
D	aluminum back
E	acrylic Face
F	weep holes
G	mounting varies
H	LED lights
I	LED power supply
J	aluminum return
K	disconnect switch

Illuminated Pan Channel Letters - Cross Section View



A	wall
B	low voltage wiring
C	aluminum return welded
D	lexan back
E	aluminum face
F	weep holes
G	stud mounting
H	LED lights
I	remote low voltage trans.
J	disconnect switch

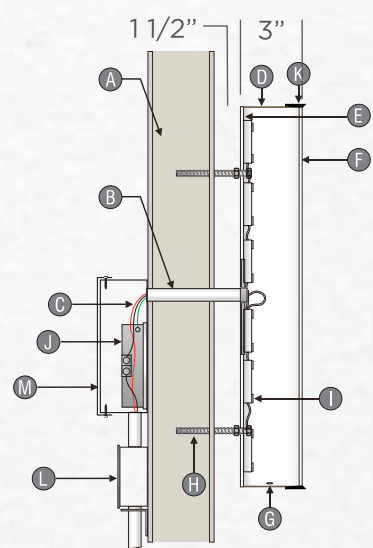
Halo-Illuminated Reverse Pan Channel Letters - Cross Section View



Halo and Face Illuminated Pan Channel Letters - Face View



Halo and Face Illuminated Pan Channel Letters - Night View



A	wall
B	1/2" EMT rigid conduit
C	low voltage wiring
D	.040 alum. rtn.
E	clear .177 lexan back
F	3/16" white plex
G	weep holes
H	stud mounting / 1 1/2" stand offs
I	LED lights
J	remote low voltage transformer
K	3/4" trimcap
L	J-Box
M	raceway behind wall with removable cap

Halo and Face Illuminated Pan Channel Letters - Cross Section View



Acrylic Formed Illuminated Pan Channel Letters - Face View



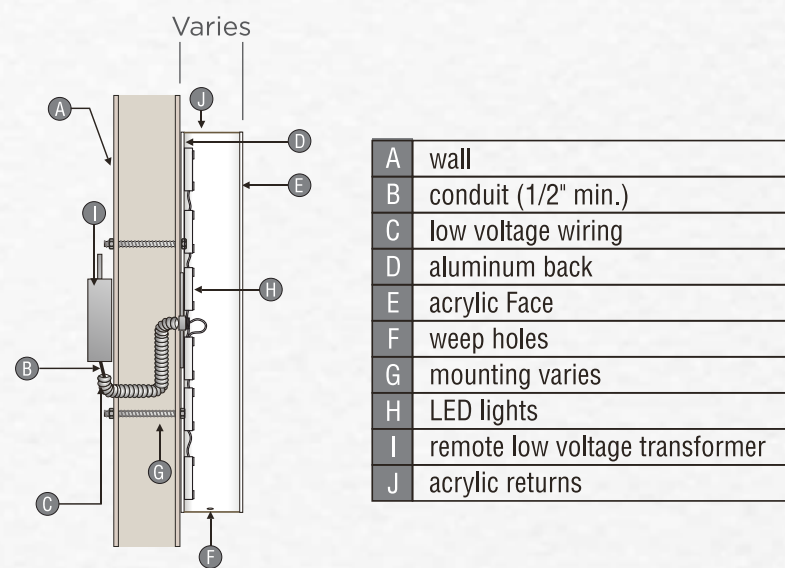
Raceway Mounted Illuminated Pan Channel Letters on Canopy - Face View



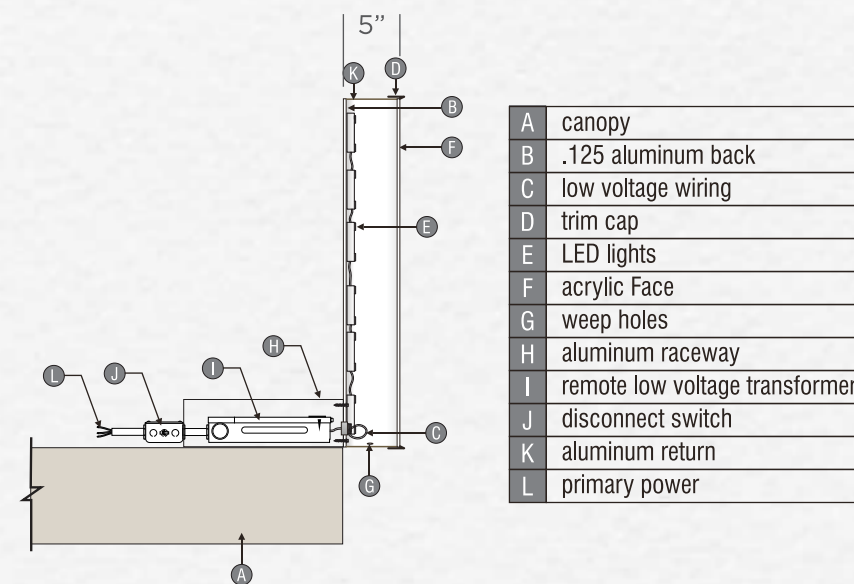
Acrylic Formed Illuminated Pan Channel Letters - Night View



Raceway Mounted Illuminated Pan Channel Letters on Canopy - Night View



Acrylic Formed Illuminated Pan Channel Letters - Cross Section View



Raceway Mounted Illuminated Pan Channel Letters on Canopy - Cross Section View



Non-Illuminated Reverse Pan Channel Letters - Face View



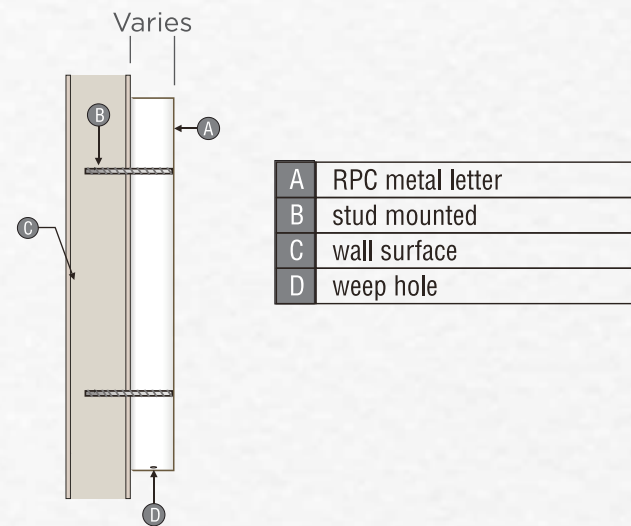
Non-Illuminated Flat Cut Out Letters - Face View



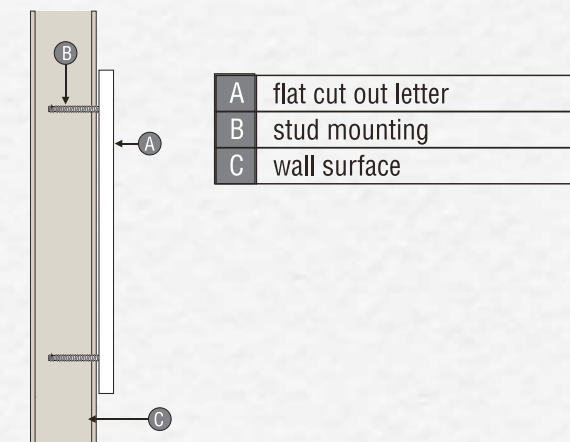
Non-Illuminated Reverse Pan Channel Letters - Night View



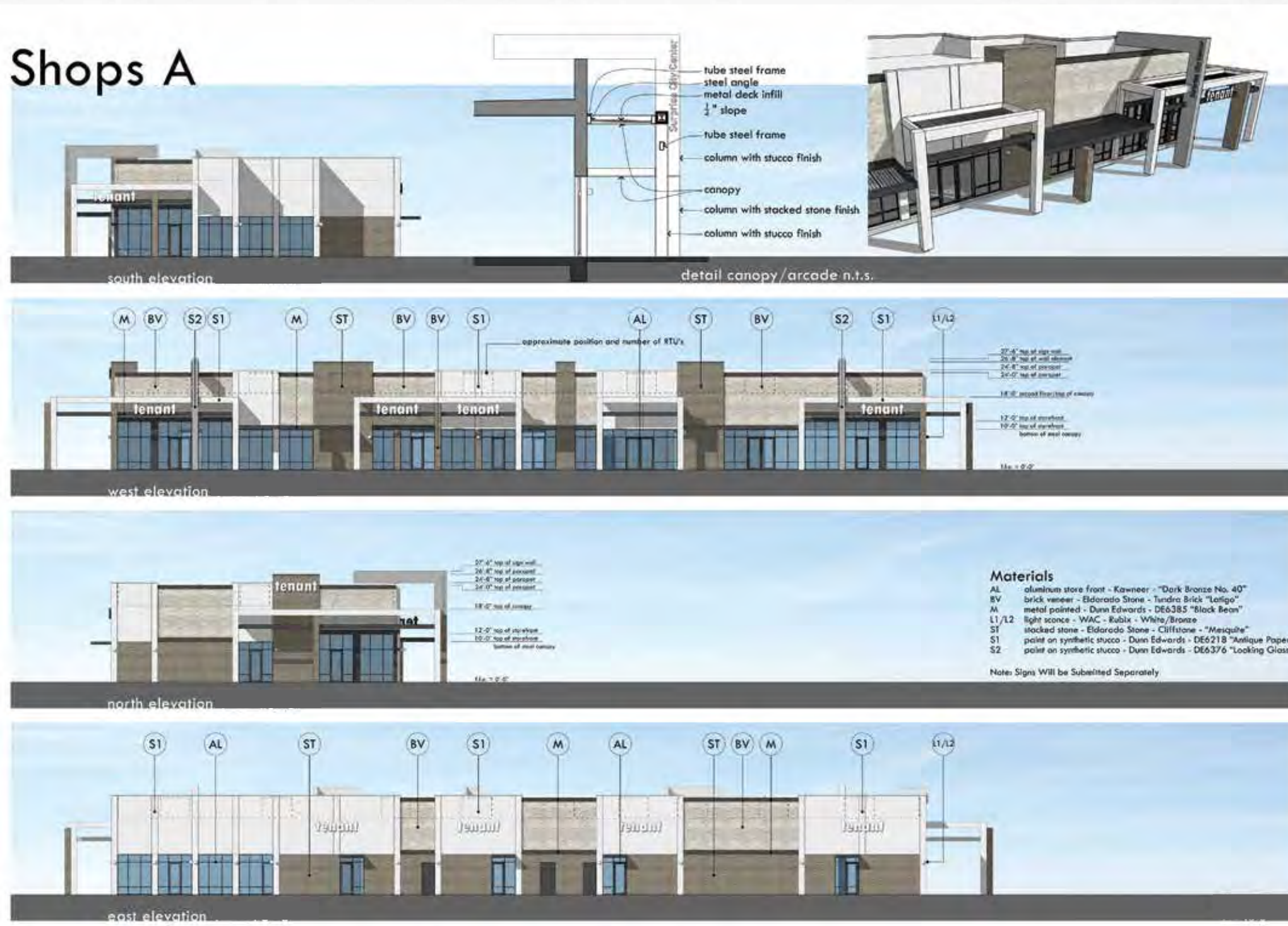
Non-Illuminated Flat Cut Out Letters - Night View



Non-Illuminated Reverse Pan Channel Letters - Cross Section View



Non-Illuminated Flat Cut Out Letters - Cross Section View



**BUILDING A ELEVATIONS**

Scale: 1"=30'-0"



**BUILDING B ELEVATIONS**

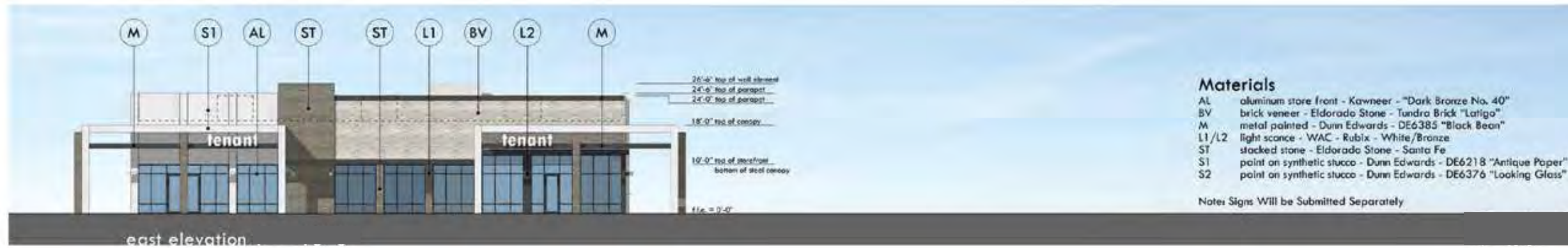
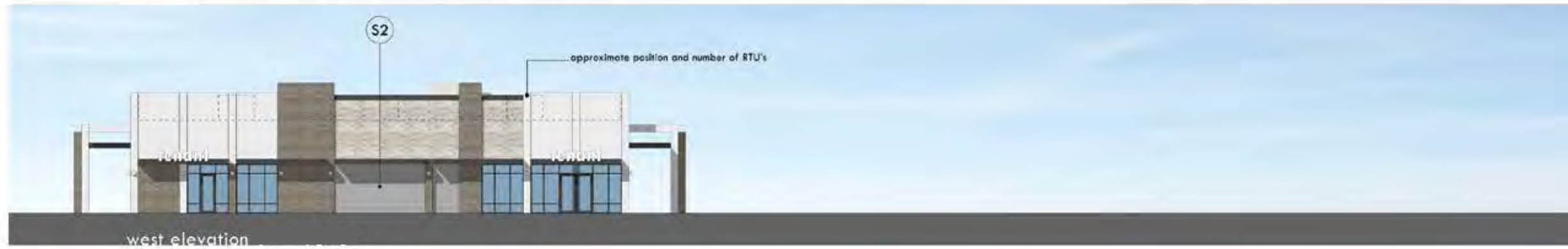
Scale: 1"=30'-0"



**BUILDING C ELEVATIONS**

Scale: 1"=30'-0"

# PAD 4



**Materials**

- AL aluminum store front - Kawneer - "Dark Bronze No. 40"
- BV brick veneer - Eldorado Stone - Tundra Brick "Latigo"
- M metal painted - Dunn Edwards - DE6385 "Black Bean"
- L1/L2 light source - WAC - Rubix - White/Bronze
- ST stacked stone - Eldorado Stone - Santa Fe
- S1 paint on synthetic stucco - Dunn Edwards - DE6218 "Antique Paper"
- S2 paint on synthetic stucco - Dunn Edwards - DE6376 "Looking Glass"

Note: Signs Will be Submitted Separately

# Sign Type G - Pad Tenant Directionals

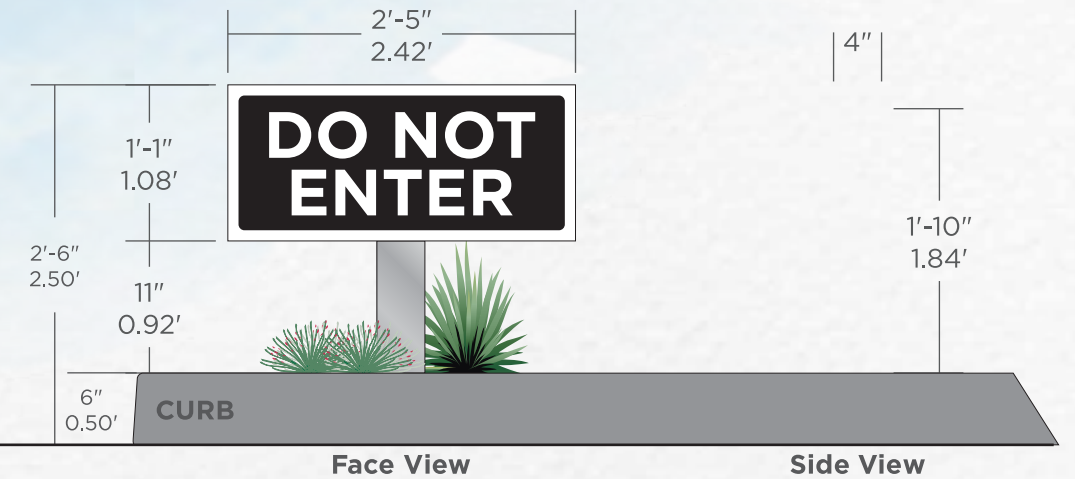
## Materials

### 1 Alum. Panels

- .125" alum. painted P1
- overlaid with V1 and V2 vinyl

### 2 Square Tube Pole

- 4" alum. square tube painted P2



## Paint Colors

- P1** White Satin Finish
- P2** MP 41342SP Satin Finish

## Vinyl Colors

- V1** 3M White Ref. (5100-10)
- V2** 3M Matte Black (7125-22)

### Face View

Scale: 3/4"=1'-0"

SQFT: 2.61

### Discription:

The signs will be .125 aluminum painted white and overlaid with V1 3M white reflective and V2 3M matte black vinyl. The signs will than be mounted to 4"x4" square tube posts painted P1 Brushed aluminum.



### Tenant Options

Scale: 3/4"=1'-0"

If other options are desired they must be approved by the landlord.

CITIZEN'S PARTICIPATION REPORT  
SURPRISE CITY CENTER COMPREHENSIVE SIGN PLAN AMENDMENT  
FS25-0170


The Citizen's Participation Meeting for the Surprise City Center Comprehensive Sign Plan Amendment proposal took place on August 27, 2025 at 6:00 p.m. at the Surprise Regional Library, 16089 N Bullard Ave, Surprise, Arizona 85374. Among attendees were Kimberly Euers and Crystal Helgeson of YESCO, LLC; Brett Friedman and Daniel Cox of SimonCRE; multiple members of the Surprise Planning and Development team; and four interested citizens.

Post and panel signs notifying the public of said meeting were installed at two locations on the Surprise City Center property on August 8, 2025. A copy of the affidavit attesting to the same has been attached, along with the sign-in sheet. Two citizen attendees preferred not to sign in.

After the Power Point presentation by SimonCRE and Yesco, LLC, questions were taken. Questions were asked about the daytime and nighttime illumination appearances of the signs as they relate to types of illumination and dark hours for the signage. They were assured there would be no blinking or flashing associated with the displays, and the type of illumination explained. The manufacturing specifications and compliance with Surprise sign code requirements for evening shut-down hours were discussed. Questions were also asked about the design of the Elm Street monument as it relates to the architecture, and the design perspectives were explained. Questions were raised about the two-way street and its ability to accommodate the interior traffic that may be enhanced by the presence of the SURPRISE sign. It was explained that the sign is set back almost 40' from the roadways where foot traffic would have ample room. There were no complaints about the design or placement of either sign, but for questions raised about the visibility of the perforated black day/night lettering on the Elm Street sign. Also, questions were asked about the durability of paint on that same sign.

There were no issues raised that the applicant was unable or unwilling to address. Comment sheets were offered and one was taken. I communicated by email with the interested participant, and have attached her responsive email.

Please accept this report as a factual summary of the evening's events.

  
Kimberly W. Euers  
Director of Government Relations  
Southwest Division  
[keuers@yesco.com](mailto:keuers@yesco.com)  
(480) 403-7707

**YESCO Phoenix**

480-449-3726

6725 W Chicago St  
Chandler, AZ 85225



**AFFIDAVIT OF SIGN POSTING**

Case Number: FS25-0170

Project Name: Surprise City Center CSP Amendment

Project Location: SEC Bell Road and Bullard Avenue

Date Posted August 8, 2025

In order to assist in providing adequate notice to interested parties, the applicant for any type of public hearing shall erect two (2) signs providing notice of the date, time, and place of the scheduled hearing(s). These signs must be erected not less than fifteen (15) calendar days prior to the date of the first hearing. The signs shall also include the description of the request as contained on the formal development application. The size and format of this sign shall meet requirements established by the city (see example).

Such notice shall be clearly legible and placed at a prominent location on the site, generally adjacent and perpendicular to the public right-of-way. It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property, as well as the information on the sign, until final disposition of the case.

I confirm that the site has been posted as required, for the case noted above. Photographs of the site posting, and any subsequent changes/updates made to the sign, have also been submitted.

[Signature] \_\_\_\_\_ Date 8/11/25

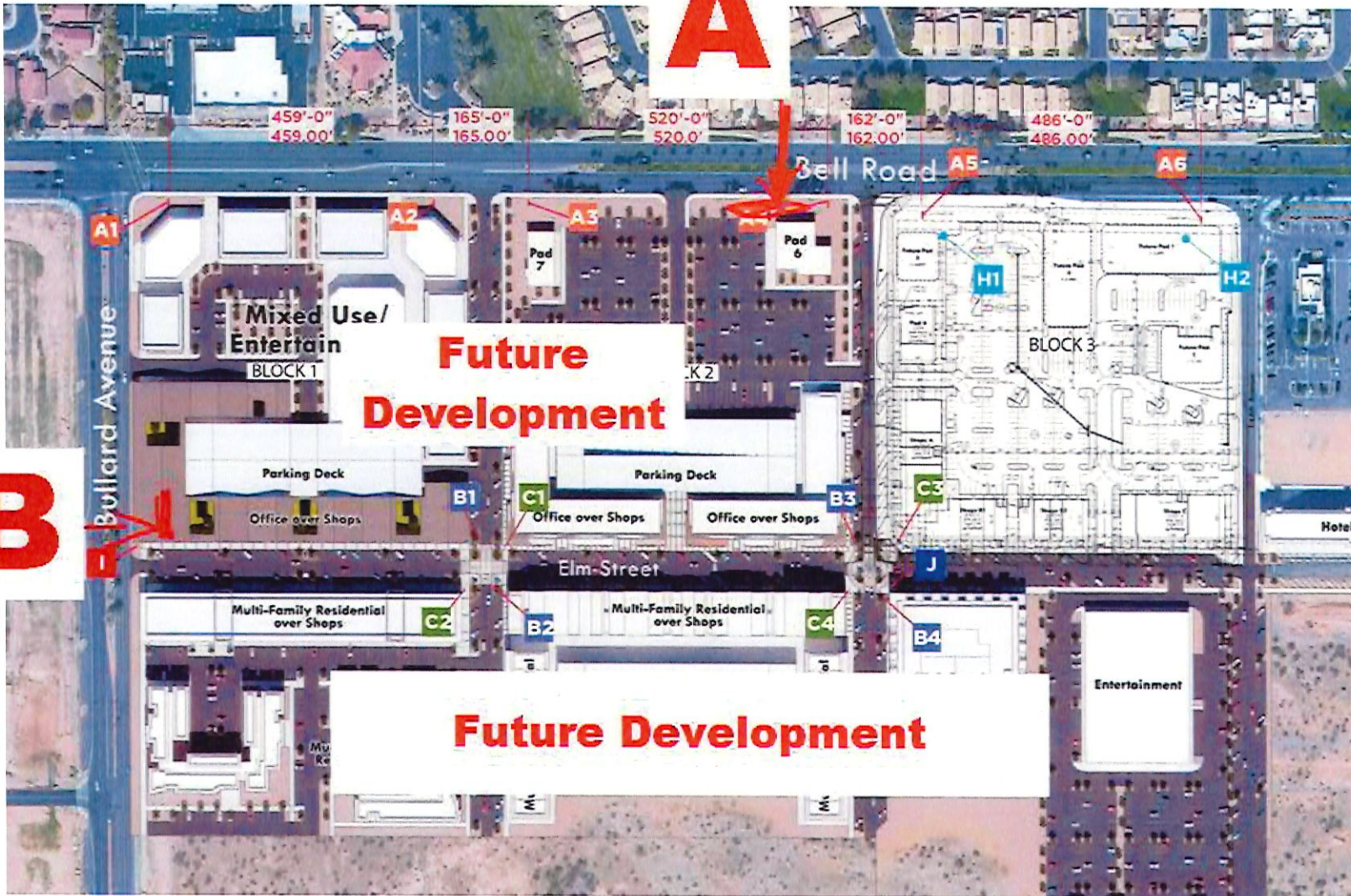
This instrument was acknowledged before me this 11th day of August,

20 25 by Kimberly Evers

[Signature]  
Notary Public



My Commission Expires:  
May 22, 2027



**A**

**B**

**Future Development**

**Future Development**

# A - East Elevation

**Notice of Public Hearing City of Surprise**

<b>In Person Neighborhood Meeting</b>	<b>Planning &amp; Zoning</b>
Date: August 27th, 2025	Date:
Time: 6:00 p.m.	Time: TBD
Location: Surprise Regional Library, 16089 N. Ballard Ave Surprise, AZ 85374	Location:




Case Number: FS25-0170  
Request: An amendment to the Surprise City Center Comprehensive Sign Program Located at the SEC of Bell Road & Ballard Ave.

**For More Information, Call: 623-222-3011 \* [surpriseaz.gov](http://surpriseaz.gov)**

# A - West Elevation

**Notice of Public Hearing City of Surprise**

<b>In-Person Neighborhood Meeting</b>	<b>Planning &amp; Zoning</b>
Date: August 27th, 2025	Date:
Time: 6:00 p.m.	Time: TBD
Location: Surprise Regional Library, 16089 N. Bullard Ave Surprise, AZ 85374	Location:



Case Number: FS25-0170  
Request: An amendment to the Surprise City Center Comprehensive Sign Program Located at the SE6 of Bell Road & Bullard Ave.

**For More Information, Call: 623-222-3011 \* [surpriseaz.gov](http://surpriseaz.gov)**



# B - South Elevation

## Notice of Public Hearing City of Surprise

In-Person Neighborhood Meeting  
Date: August 27th, 2025  
Time: 6:00 a.m.  
Location: Surprise Regional Library  
16088 N. Bullard Ave  
Surprise, AZ 85374

Planning & Zoning  
Date:  
Time: TBD  
Location:



Case Number: FS25-0170  
Request: An amendment to the Surprise City Center  
Comprehensive Sign Program Located at the SEC of  
Bell Road & Bullard Ave.


For More Information, Call: 623-222-3011 \* [surpriseaz.gov](http://surpriseaz.gov)

# B - North Elevation

**Notice of Public Hearing City of Surprise**

Public Hearing Meeting  
Date: August 27th, 2025  
Time: 6:00 p.m.  
Location: Surprise Regional Library  
34001 N. Gulliver Ave  
Surprise, AZ 85374

Planning & Zoning  
City  
Time: TBD  
Location



Case Number: FS25-0179  
Request: An amendment to the Surprise City Center  
Comprehensive Sign Program Located at the ETC of  
Kent Road & Gulliver Ave.

For More Information, Call: 623-222-3011 \* [surpriseaz.gov](http://surpriseaz.gov)







Kimberly Euers <keuers@yesco.com>

### Surprise City Center neighborhood meeting

3 messages

Kimberly Euers <keuers@yesco.com>

Thu, Aug 28, 2025 at 5:35 AM

To: [Redacted]

Good morning, Yvonne. Thank you for your interest in and attendance at last night's public outreach meeting for the proposed amendment of the Surprise City Center Comprehensive Sign Plan. I realized when I looked at our Comments document that my email address was not on there. Please feel free to share your comments to this address, if you wish. I am required to file an affidavit summarizing last night's discussion and comments from the attendees, which I am preparing today. I will include your comments if received no later than tomorrow morning.

I very much enjoyed speaking with you last night, and look forward to the next steps in this process.

Warmest regards,

Kimberly W. Euers  
Director of Government Relations  
Southwest Division  
YESCO, LLC

6725 W. Chicago Street  
Chandler, Arizona 85226

480-403-7707 **PHONE**  
317-902-9647 **CELL**  
480-961-5923 **FAX**



Custom Electric Signs.

#YESCO100YEARS

Yvonne Valenzuela [Redacted]

Thu, Aug 28, 2025 at 10:02 PM

To: Kimberly Euers <keuers@yesco.com>

**i This message needs your attention**

- This is a personal email address.
- This is their first email to your company.

Report this Email or Mark as Safe Powered by Mimecast

Thank you for the follow up, My personal comments and thoughts are as follows :

- 1 . Would have like to have seen a 3 dimension model.
2. Question color scheme, ELM letters white with "STREET" letters being black. My impression is that black letters visibility during the day light would not have a stand out appearance.
3. Unsure of of the reflective lights during the night ~ overall appearance with the sign .
4. Construction of sign material ability to withstand AZ hot weather .

Yvonne Valenzuela (surprise resident feedback)

[Quoted text hidden]

Kimberly Euers <keuers@yesco.com>

Fri, Aug 29, 2025 at 6:04 AM

To: Yvonne Valenzuela [Redacted]

Thank you for your response, Yvonne. I will include your comments in my summary to the City.

Have a wonderful holiday weekend!

Warmest regards,

**Kimberly W. Euers**  
Director of Government Relations  
Southwest Division  
YESCO, LLC

6725 W. Chicago Street  
Chandler, Arizona 85226

480-403-7707 **PHONE**  
317-902-9647 **CELL**  
480-961-5923 **FAX**



Custom Electric Signs.

#YESCO100YEARS

[Quoted text hidden]

**AFFIDAVIT OF SIGN POSTING**

Case Number: FS25-0170  
Project Name: Surprise City Center Comprehensive Sign Plan Amendment  
Project Location: SEC Bell Road and & Bullard Avenue  
Date Posted: September 16, 2025

In order to assist in providing adequate notice to interested parties, the applicant for any type of public hearing shall erect two (2) signs providing notice of the date, time, and place of the scheduled hearing(s). These signs must be erected not less than fifteen (15) calendar days prior to the date of the first hearing. The signs shall also include the description of the request as contained on the formal development application. The size and format of this sign shall meet requirements established by the city (see example).

Such notice shall be clearly legible and placed at a prominent location on the site, generally adjacent and perpendicular to the public right-of-way. It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property, as well as the information on the sign, until final disposition of the case.

I confirm that the site has been posted as required, for the case noted above. Photographs of the site posting, and any subsequent changes/updates made to the sign, have also been submitted.

K Evers 9/17/25  
Owner / Application Signature Date

This instrument was acknowledged before me this 17 day of September  
20 25 by Kimberly Evers



Melanie Schaefer  
Notary Public  
My Commission Expires:





**Notice of Public Hearing City of Surprise**

**In-Person Neighborhood Meeting**

Date: August 27th, 2025

Time: 6:00 p.m.

Location: Surprise Regional Library,

16089 N. Bullard Ave

Surprise, AZ 85374

**Planning & Zoning**

Date: October 18th, 2025

Time: 6:00pm

Location: Surprise City Hall Council Chambers

16000 N. Civic Center Plaza

Surprise, AZ 85374-7463



Case Number: FS25-0170

Request: An amendment to the Surprise City Center Comprehensive Sign Program Located at the SEC of Bell Road & Bullard Ave.

For More Information, Call: 623-222-3011 \* [surpriseaz.gov](http://surpriseaz.gov)

## Notice of Public Hearing City of Surprise

**In-Person Neighborhood Meeting**

**Date: August 27th, 2025**

**Time: 6:00 p.m.**

**Location: Surprise Regional Library,  
16089 N. Bullard Ave  
Surprise, AZ 85374**

**Planning & Zoning**

**Date: October 16th, 2025**

**Time: 6:00 PM**

**Location: Surprise City Hall Council Chambers  
16000 N. Civic Center Plaza  
Surprise, AZ 85374-7463**



**Case Number: FS25-0170**

**Request: An amendment to the Surprise City Center  
Comprehensive Sign Program Located at the SEC of  
Bell Road & Bullard Ave.**

**For More Information, Call: 623-222-3011 \* [surpriseaz.gov](http://surpriseaz.gov)**

## Notice of Public Hearing City of Surprise

**In-Person Neighborhood Meeting**

**Date: August 27th, 2025**

**Time: 6:00 p.m.**

**Location: Surprise Regional Library,**

**16089 N. Bullard Ave**

**Surprise, AZ 85374**

**Planning & Zoning**

**Date: October 16th, 2025**

**Time: 6:00 PM**

**Location: Surprise City Hall Council Chambers**

**16000 N. Civic Center Plaza**

**Surprise, AZ 85374-7463**



**Case Number: FS25-0170**

**Request: An amendment to the Surprise City Center Comprehensive Sign Program Located at the SEC of Bell Road & Bullard Ave.**

**For More Information, Call: 623-222-3011 \* [surpriseaz.gov](http://surpriseaz.gov)**

# FS25-0170

## Surprise City Center

Comprehensive Sign Program Amendment

Planning & Zoning Commission

October 16, 2025

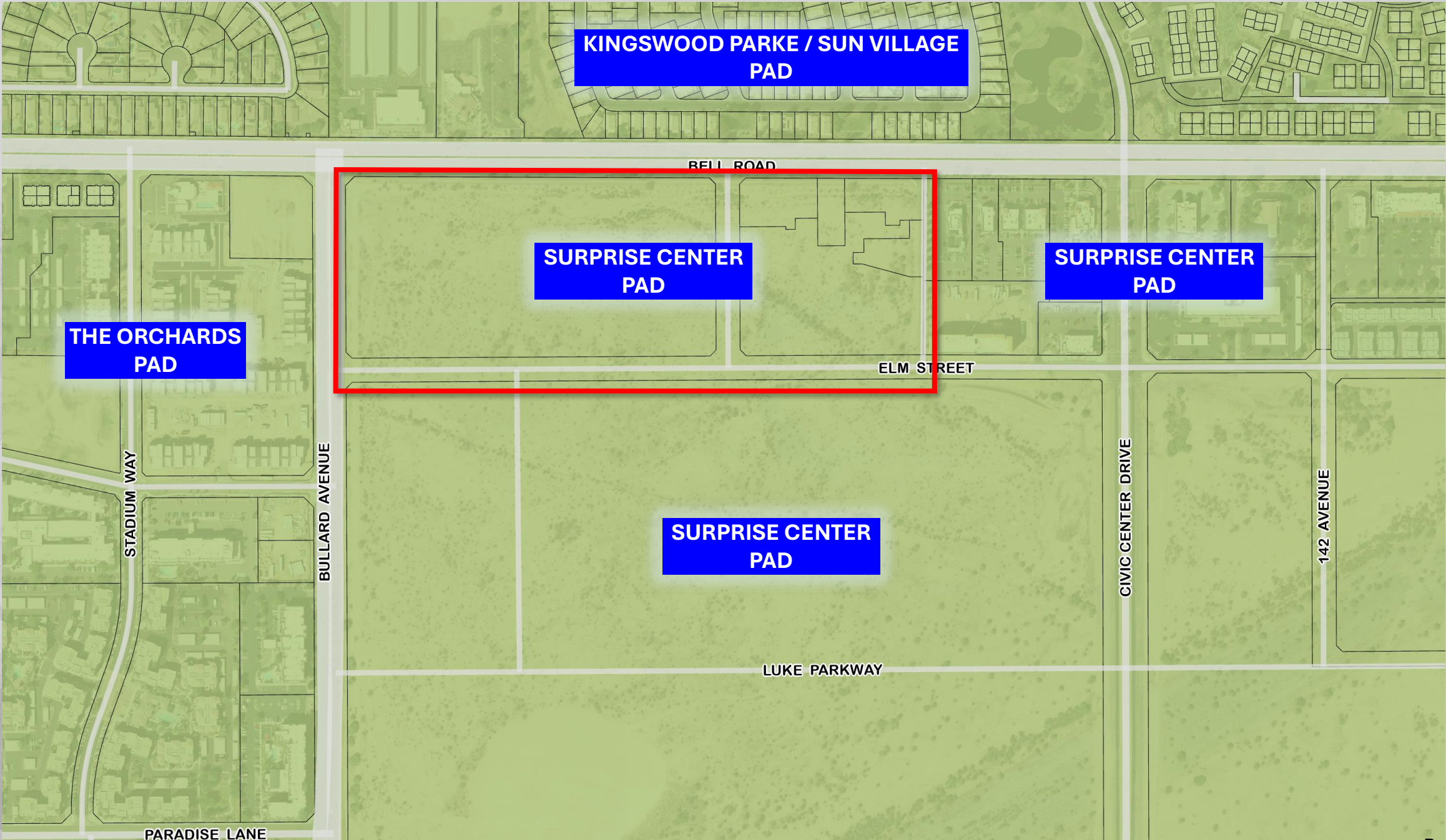


**SURPRISE**

ARIZONA



# FS25-0170 VICINITY MAP



**KINGSWOOD PARKE / SUN VILLAGE  
PAD**

**SURPRISE CENTER  
PAD**

**SURPRISE CENTER  
PAD**

**THE ORCHARDS  
PAD**

**SURPRISE CENTER  
PAD**

**Legend**

**A1 - A6** Monuments



**B1 - B4** Vehicular Directional Qty. TBD



**C1 - C4** Pedestrian Directional Qty. TBD



**D** Wall Signs Qty. & Locations TBD

**E** Blade Signs Qty. & Locations TBD

**F** Window Signs Qty. & Locations TBD

**G** Pad Dir. Signs Qty. & Locations TBD

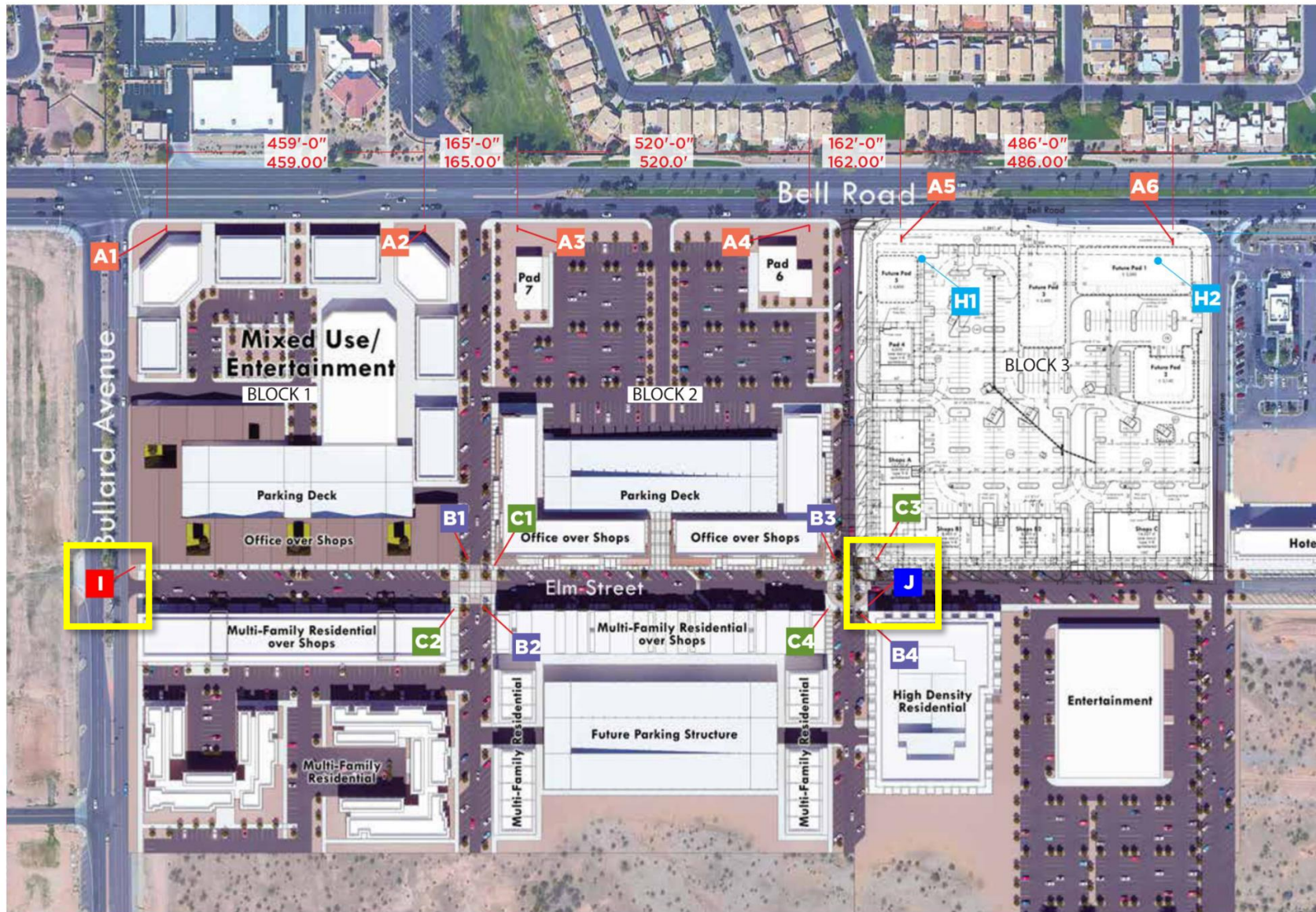
**H1 - H2** Flag Poles

**I** Monument



**J** Letter Display  
**SURPRISE**

**NOTE: Overall City Center View.**



Signs 141'-0"  
141.00' from residential

Scale: 1"=200'-0"



**SITE PLAN**

# Sign Type I - S/F Illuminated Area Identification Monument Sign Structure



## Materials

- 1 aluminum backer cabinet with painted green finish to match logo
- 2 aluminum reverse pan channel letters with finish and white led halo illumination
- 3 aluminum cabinet painted to match concrete finish
- 4 3" deep recessed routed out copy with interior returns, backed with white acrylic with black perf. vinyl overlay illuminated with white leds
- 5 fco letters with black finish flush mounted to base
- 6 aluminum cabinet with painted finish
- 7 polished concrete base
- 8 aluminum cabinet accents with painted finish
- 9 white vinyl yesco logo

## Paint Colors

- P1 (Green - Pending)
- P2 (Brown - Pending)

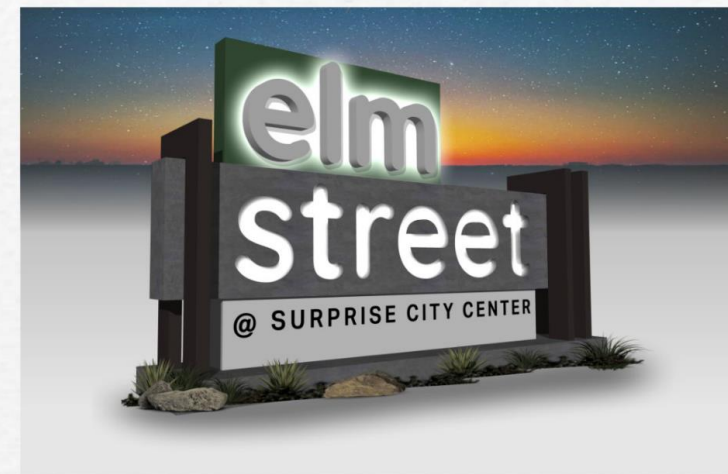
## Vinyl Colors

- V1 Black perforated vinyl



SCALE: 3/8" = 1'-0"

DISCONNECT SWITCH INSTALLED TO FREE-STANDING ELECTRICAL PEDESTAL LOCATED WITHIN 10'-0" OF DISPLAY



Night View  
n.t.s.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs. The location of the disconnect switch after installation shall comply with article 600.6(A) (1) of the National Electrical Code.  
2018 IBC, 2017 NEC



# Sign Type J - Illuminated Letter Display

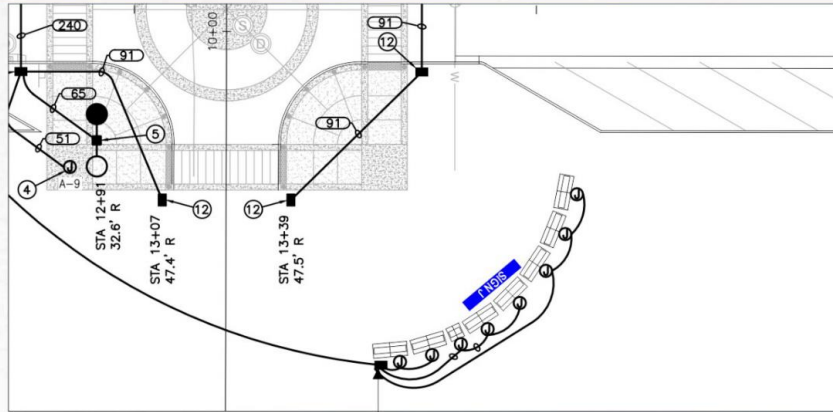


### Materials

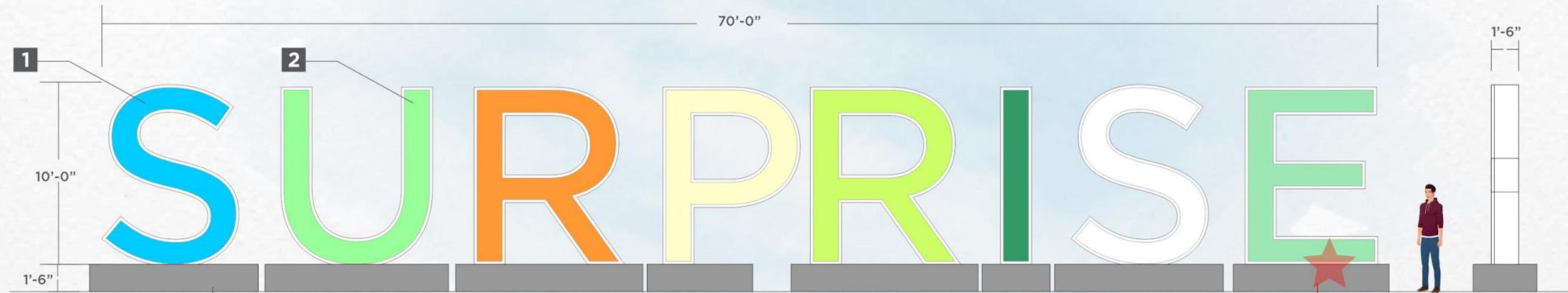
- 1 Alum. Fin**
  - aluminum cabinets with white returns / white retainers
- 2 Cabinet**
  - white polycarbonate faces illuminated with color changing leds
- 3 Base**
  - cabinets installed to individual support concrete bases with painted finish

### Paint Colors

- P1** (White - Pending)
- P2** (Gray - Pending)



CONCRETE PULL BOX, LABELED "POWER".  
ALL POWER CONDUITS & CONDUCTORS SHALL BE INSTALLED THROUGH THIS BOX.  
EACH LETTER WILL HAVE DISCONNECT SWITCH



SCALE: 3/16" = 1'-0"

FRONT VIEW - LETTERS ACTUALLY TO BE INSTALLED AT ANGLE - NOT STRAIGHT AS SHOWN  
NOTE: PER CUSTOMER'S REQUEST - EACH LETTER DISPLAY INSTALLED TO INDIVIDUAL CONCRETE BASES

ELECTRICAL PEDESTAL  
LOCATION AREA

SIDE VIEW OF ONE LETTER

# OUTREACH

---

## Neighborhood Meeting

- August 27, 2025
- Surprise Regional Library
- 4 attendees

# Recommendation

Staff recommends **approval** subject to stipulations 'a' and 'b'



**SURPRISE**

ARIZONA

# Questions or Comments?

THANK YOU



**SURPRISE**

ARIZONA

# STIPULATIONS

---

- a. Development and use of the site shall be consistent with the Comprehensive Sign Program entitled “Surprise City Center”, prepared by Yesco and received July 14, 2025.
- b. Non-compliance with the stipulations of approval of this case will be treated as a violation in accordance with the applicable provisions of the Surprise Municipal Code.



CITY OF SURPRISE  
Planning & Zoning Commission

Council Meeting Date: October 16, 2025      Contact Person:  
Submitting Department: Community Development    District: Citywide  
Staff Recommendations:

---

Consent: No      Regular: No      Public Hearing: Yes      Report/Discussion: No

---

**Agenda Wording:**

Consideration and action regarding a Zoning Text Amendment (ZTA) to the Surprise Land Development Ordinance (LDO) to modify residential development standards. Case FS24-1275

---

**Motion:**

I move to recommend **approval** of the proposed Zoning Text Amendment to the Surprise Land Development Ordinance to modify residential development standards, case FS24-1275.

I move to recommend **denial** of the proposed Zoning Text Amendment to the Surprise Land Development Ordinance to modify residential development standards, case FS24-1275, because [*insert reason*].

---

**Background:**

Jeff Blilie with GilbertBlilie, PLLC requests a Zoning Text Amendment to modify standards for the SHD-RO, R-2 and R-3 zoning districts, as well as other related code sections and the Planning and Engineering Design Standards (PEDS), to allow for additional home product types that are not currently supported by the LDO.

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**Objective Analysis:**

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**Policy Compliant:**

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**Financial Impact:**

While this item does not have an immediate or direct financial impact, ongoing development activity in the City will inevitably have a future financial impact as additional resources are needed to provide city services.

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**Budget Impact:**

**FTE Impact:**

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**ATTACHMENTS:**

1. 00 - FS24-1275 Residential Development Standards ZTA - Staff Report - 101625 PZ
  2. 01 - FS24-1275 Residential Development Standards ZTA - Narrative
  3. 02 - FS24-1275 Residential Development Standards ZTA - Legislative Text Edit\_101425
  4. 03 - FS24-1275 Residential Development Standards ZTA - Citizen Participation Report
  5. FS24-1275 Residential Development Standards ZTA - Presentation
-

# ZONING TEXT AMENDMENT

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REPORT TO THE PLANNING AND ZONING COMMISSION

1    **Case:**                               **FS24-1275**  
2  
3    **Project Name:**                    Residential Zoning Text Amendment  
4  
5    **Council District:**                Citywide  
6  
7    **Meeting Date:**                   **October 16, 2025**  
8  
9    **Planner:**                            Trever Fleetham, Planning Manager  
10  

---

11  
12   **Applicant:**                        Jeff Blilie, GilbertBlilie, PLLC  
13  
14   **Request:**                            Zoning Text Amendment (ZTA) to the Surprise Land  
15    Development Ordinances (LDO) to modify certain residential  
16    development standards.  
17  
18   **General Plan**  
19   **Conformance:**                    The proposal is consistent with the Surprise General Plan 2040.  
20  
21   **Support/Opposition:**            See attached Citizen Participation Report  
22  
23   **Staff Recommendation:**        Throughout the review process, staff collaborated with the  
24    applicant to ensure the proposed amendments provided clarity  
25    and consistency within the code, provided for a variety of  
26    housing product types, and was consistent with recent housing  
27    bills passed by the state legislature. As such, staff recommends  
28    the Commission recommend **approval** of the subject Zoning  
29    Text Amendment to the Mayor and City Council.  
30

31 **PROJECT DESCRIPTION:**

32 Jeff Blilie with GilbertBlilie, PLLC requests a Zoning Text Amendment to modify standards  
33 for the SHD-RO, R-1, R-2, R-3, and TND zoning districts, as well as other related code sections  
34 and the Planning and Engineering Design Standards (PEDS), to allow for additional home  
35 product types that are not currently supported by the LDO.

36  
37 **BACKGROUND:**

38  
39 **December 15, 2020:** The Mayor and City Council approved Ordinance #2020-38, adopting  
40 the Land Development Ordinance under case FS18-296.

41  
42 **July 18, 2024:** A Concept Review meeting was held to discuss the proposed Zoning Text  
43 Amendment, under case number CR24-0792.

44  
45 **September 16, 2024:** The applicant filed a request for a Zoning Text Amendment to modify  
46 standards to allow for additional home product types that are not currently supported by the  
47 LDO.

48  
49 **April 9, 2025:** The applicant held a neighborhood outreach meeting to discuss the proposal.

50  
51 **August 13, 2025:** The applicant held a second neighborhood outreach meeting since there  
52 were additional amendments added to the proposal.

53  
54 **ANALYSIS AND DISCUSSION:**

55 The applicant is requesting modifications to various development standards across multiple  
56 residential zoning districts within the LDO in order to improve the feasibility of additional home  
57 product types. While each residential zoning district within the LDO was designed to allow  
58 for a variety of lot types and housing products, the applicant has identified certain limitations  
59 and ambiguity in the code that restrict or prohibit product types that home builders desire to  
60 develop. While not all residential development standards directly regulate product types,  
61 there are some that can indirectly affect certain home sizes or types. Affected product types,  
62 as identified by the applicant, include townhouses, smaller lot detached single family homes,  
63 detached alley-loaded products, cluster homes, duplexes, and RV garage products.

64  
65 ***Glossary of Terms – Section 101-2.2***

66 Clarifying changes to the definitions of ‘dwelling, single-family’ and ‘townhouse’ are proposed  
67 to support and accommodate the associated development standard changes for  
68 townhouses. Townhouses are single-family dwellings on separate platted lots, but are  
69 attached by a common wall. The current definitions and standards in the LDO do not clearly  
70 delineate a townhouse from a standard single-family dwelling. The proposed changes aim to  
71 clarify this distinction.

72  
73 ***Land Use Table – Section 106-1.8***

74 'Townhouse' is proposed to be added as a separate use category within Table 106-1c. This  
75 addition will help differentiate townhouses from other home product types and provide clarity  
76 for staff and applicants. The allowances for which zoning districts this use is proposed to be  
77 permitted or conditionally permitted in are consistent with other residential uses of similar  
78 intensities, as well as staff's previous interpretations for townhouses.

79  
80 **Residential Low Density (R-1) – Section 106-2.3**

81 The proposed changes within this zoning district are limited to the lot coverage maximum  
82 within Lot Category B. The applicant is requesting that the maximum be increased from 45%  
83 to 55% when an RV garage is provided. The change would not affect typical Lot Category B  
84 parcels, nor the other lot categories, but would allow the home builders the opportunity to  
85 provide an RV garage and maximize lot usage without moving into the next larger category.

86  
87 **Residential Medium Density (R-2) – Section 106-2.4**

88 Changes within the R-2 zoning district include clarifications to better differentiate between  
89 allowed housing types, specificity for townhouses, and reductions in minimum development  
90 standards to allow for smaller lots/products. These products can include detached front-  
91 loaded products, detached alley-loaded products, cluster homes (commonly referred to as  
92 packs), and townhouses. Additional, supporting changes to this zoning district include  
93 modifications to certain setbacks, and requirements for subdivision.

94  
95 **Residential High Density (R-3) – Section 106-2.5**

96 The R-3 zoning district is proposed to include a second development standards table specific  
97 to townhouses, along with supporting textual changes. These changes will make clear the  
98 applicable development standards for townhouses, separate from multi-family products,  
99 since they are reviewed and function differently than other typical products within this district.

100  
101 **Surprise Heritage District – Residential Overlay (SHD-RO) – Section 106-3.2**

102 While the applicant did not originally propose changes to this zoning district, staff requested  
103 these changes be added for consistency. The proposed changes here mirror those proposed  
104 within the R-3 zoning district.

105  
106 **Traditional Neighborhood Development (TND) – Section 106-4.4**

107 In order to ensure consistency and prevent conflict, changes are being proposed to the  
108 residential overlay of the TND zoning district that mirror those proposed within the other  
109 zoning districts.

110  
111 **Other Supporting Changes**

112 Amendments to Sections 107 and 108, as well as the PEDS, are proposed to support and  
113 accommodate the aforementioned changes. These include modifications to on- and off-street  
114 parking, trash collection, lot frontage requirements, access, and product design.

115  
116 **Staff Review**

117 City reviewing departments worked closely with the applicant on the proposed changes to  
118 ensure that the requested changes do not create unintended consequences. Smaller lot  
119 products typically pose concerns for emergency services, solid waste collection,  
120 transportation circulation, and parking. Additional modifications to the code were included,  
121 based on staff comments, to mitigate these concerns.

122  
123 Additionally, Planning staff reviewed the subject proposal in the context of the intent of  
124 HB2721 – Middle Housing, and other recent state housing bills. These bills attempt to  
125 facilitate an increase in diversity of housing in the hopes of satisfying Arizona’s housing  
126 needs. The proposed changes are harmonious with this effort by increasing the variety of lot  
127 and home product types allowed within the LDO.

128  
129 **CONFORMANCE WITH ADOPTED PLANS:**

130 **Surprise General Plan 2040:** The subject request is consistent with the Surprise General  
131 Plan 2040 in that it aims to clarify and expand standards for a variety of housing types.  
132 Specifically, the subject request supports the following goal and policies of the general plan:  
133

134 Goal 4.2 – Be a home for everyone

135 Upholding the condition and quality of the city’s housing stock is necessary to maintain safe,  
136 attractive, and livable neighborhoods for all people who want to live in Surprise. Surprise will  
137 also work to preserve housing opportunity through providing more diverse, accessible  
138 options within neighborhoods that expand the range of housing types, densities, and prices.

139  
140 *Policy #1:*

141 Proactively update local ordinances, policies, and building codes to encourage development  
142 of residential neighborhoods that broaden the choice of housing type, size, price, amenities,  
143 and conveniences so as to allow for a wide variety of options for all who live or want to live  
144 in Surprise.

145  
146 *Policy #7:*

147 Accommodate medium and high-density development/redevelopment in appropriate areas  
148 of the City and that are good neighbors to existing development.

149  
150 **CITIZEN PARTICIPATION:**

151 The applicant held an in-person neighborhood outreach meeting on April 9, 2025, at the  
152 Surprise Regional Library. Due to changes to the proposed text amendment subsequent to  
153 this meeting, another in-person neighborhood outreach meeting was held on August 13,  
154 2025, at Windmill Suites Surprise. These meetings were advertised pursuant to the  
155 requirements of the LDO. In total, there were four (4) members of the public in attendance.  
156 Questions and comments were centered around housing types and densities, and the  
157 proximity of these to their existing neighborhoods.

158  
159 **SUMMARY:**

160 The proposed Zoning Text Amendment to the LDO will increase the allowable variety of  
161 lot/home product types in residential zoning districts, as well as clarify associated language  
162 throughout. Staff has worked closely with the applicant to ensure any potentially negative  
163 impacts from these changes are mitigated.

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**RECOMMENDATION:**

Throughout the review process, staff collaborated with the applicant to ensure the proposed amendments provided clarity and consistency within the code, provided for a variety of housing product types, and was consistent with recent housing bills passed by the state legislature. As such, staff recommends the Commission recommend **approval** of the subject Zoning Text Amendment to the Mayor and City Council.

However, should the Commission wish to **recommend denial of** the request, the Commission should make its own findings and base its decision on those alternative findings.

*Recommended Motions:*

I move to recommend approval of the subject Zoning Text Amendment to modify certain residential development standards, Case # FS24-1275.

I move to recommend denial of the subject Zoning Text Amendment to modify certain residential development standards, Case # FS24-1275, because insert reason.

**Attachments:**

- 01 Narrative
- 02 Legislative Edit
- 03 Citizen Participation Report
- PPT

**PROPOSED TEXT AMENDMENT  
SURPRISE LAND DEVELOPMENT CODE § 101, 106, 107, 108  
PLANNING AND ENGINEERING DESIGN STANDARDS**

Case #: FS24-1275

1<sup>st</sup> Submittal: September 16, 2024

2<sup>nd</sup> Submittal: January 17, 2025

3<sup>rd</sup> Submittal: February 27, 2025

4<sup>th</sup> Submittal: May 27, 2025

5<sup>th</sup> Submittal: July 21, 2025

## **PROJECT TEAM**

### **RVi Planning+ Landscape Architecture**

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jblilie@gilbertblilie.com

## 1. INTRODUCTION

This application is for text amendments to the Surprise Land Development Ordinance (LDO) for the R-1, R-2 and R-3 zoning districts, as well as other applicable code sections and the Planning and Engineering Design Standards (PEDS), to allow for additional home product types in Surprise that are currently not supported through the LDO. The sections in the LDO code proposed for amendment are:

- §101-2.2 Glossary of terms.
- §106-1.8 Compliance with other provisions.
- §106-2.3, Residential low density (R-1).
- §106-2.4 Residential medium density (R-2).
- §106-2.5, Residential high density (R-3).
- §106-3.2. Design and development standards in the SHD zoning district.
- §106-4.3, Review and process.
- §106-4.4, Development standards.
- §107-4.3, R-1, R-2. and SHD-RO residential provisions.
- §107-4.4, Multi-family, mixed use, and non-residential use provisions.
- §107-4.9 Minimum off-street parking requirements.
- §108-2.5 Lot planning.

## 2. DESCRIPTION OF REQUEST

The proposed text amendments to Sections 101-2.2, 106-1.8, 106-2.3, 106-2.4, 106-2.5, 106-3.2, 106-4.3, 106-4.4, 107-4.3, 107-4.4, 107-4.9, and 108-2.5 are included as Appendix B, Legislative Edit. The amendment intends to allow additional home product types in Surprise to provide additional housing diversity throughout the city. The home products that would be permitted through these text amendments include the following, examples of which are shown in Appendix A:

- SHD-RO
  - Townhouse
- R-2
  - Detached, front-loaded product
  - Detached, alley-loaded product
  - Cluster home
  - Townhouses
- R-3
  - Alley-loaded townhouse
  - Front-loaded townhouse
  - Alley-loaded duplex

Additionally, proposed amendments to the R-1 zoning district would allow homes to include RV garages.

Currently, the home product types listed are not feasible in Surprise with the existing standards under Chapter 106, Article II Residential Zoning Districts of the LDO and Chapter 106, Article III

Surprise Heritage District Zoning Districts. Home builders have historically achieved these, or similar, developments in Surprise through a Planned Area Development (PAD), which is no longer supported in the current LDO.

### 3. SUMMARY OF PROPOSED LDO AMENDMENTS AND JUSTIFICATION

The proposed amendments to the LDO are included in Appendix B, Legislative Edit. A summary of the proposed amendments and rationale for these changes are included in the following section.

LDO Section	Proposed Amendment	Justification/Rationale
<b>Chapter 101 Administrative Provisions, Article II. Rules Of Interpretation and Glossary of Terms</b>		
<i>Sec. 101-2.2 Glossary of terms.</i>	Update the definition for “Dwelling, single-family” to specify that townhouses are excluded from this definition.	Clarifies that there is a distinction between single-family units and townhouses.
	Update the “townhouse” definition.	Provides additional distinction between townhouse and single-family dwelling, duplex, and triplex by describing that such units are platted, attached, and accessed by a separate outdoor entrance.
<b>Chapter 106 Zoning and Use Standards, Article I. In General</b>		
<i>Sec. 106-1.8., Table No. 106-1c – Primary Land Use Matrix for All Zoning Districts</i>	Added “Townhouse” as a permissible use in the R-2, R-3, TND-R zoning districts and as an allowed use with a CUP in the SHD-RO zoning district.	Establishes “townhouse” as a separate residential use, apart from the other residential uses. The R-2 and R-3 zoning districts have been updated through this LDO amendment to incorporate townhouses, while the SHD-RO and TND-R zoning districts already refer to townhouses or describe a product that aligns with townhouses in Article III and Article IV, respectively.
<b>Chapter 106 Zoning and Use Standards, Article II. Residential Zoning Districts</b>		
<i>Sec. 106-2.3. Residential low density (R-1)</i>	<i>Table 106-2c— Residential Low Density (R-1) Zoning District</i>	Add note #5 to include a 55% lot coverage standard for lots with an RV garage in Lot Category B.
Provides additional lot coverage allowances to accommodate home products that include RV garages.		

LDO Section		Proposed Amendment	Justification/Rationale
<p>Sec. 106-2.4 Residential Medium Density (R-2).</p>	<p>Sec. 106-2.4.A. Purpose</p>	<p>Update the list of housing opportunities allowed in the R-2 district to include townhouses, clarify other dwelling types, and remove reference to “buildings”.</p>	<p>Including townhouses in the list of allowed housing opportunities clarifies that townhouses are separate from the other uses listed and that townhouses are allowed in R-2.</p> <p>Clarifying the other dwelling types further supports the distinction between single-family, two- and three-family, and townhouses.</p> <p>Removing “buildings” from the sentence aligns with the defined terms in the Glossary.</p>
	<p>Sec. 106-2.4.B. Applicability</p>	<p>Update the minimum lot area from 4,000 sf to 2,800 sf per dwelling unit with an exception for duplexes and triplexes which will have a minimum lot area of 4,000 sf.</p>	<p>Supports home products on smaller lot sizes. This minimum lot size addresses the range of lot sizes in the current market, which includes lots that are 35'x80'.</p> <p>An exception was made for duplexes and triplexes so that the minimum width for these dwellings is not changed.</p>
		<p>Remove the exception that “lots in column A and B are permitted one (1) <i>dwelling unit</i> as shown in Table 106-2d...”</p>	<p>Removes the restriction on the quantity of dwelling units on smaller lots to allow small lot subdivisions.</p>
	<p>Table 106-2 – Residential Medium Density (R-2) Zoning District</p>	<p>Update the lot area permitted in Lot Category A.</p> <p>Lot Category A has been changed from 3,500-4,949 sf to:</p> <p>2,800-4,949 sf for single-family and townhouse</p> <p>4,000-4,949 sf for duplex and triplex</p>	<p>Allows for a greater range of lot sizes for single-family and townhouses in Lot Category A.</p> <p>The minimum lot area has been reduced for single-family and townhouse dwellings to allow for smaller lot sizes and increased for duplex and triplex to ensure that these dwellings retain appropriate densities and lot widths.</p>

LDO Section		Proposed Amendment	Justification/Rationale
<p><i>Sec. 106-2.4 Residential Medium Density (R-2).</i></p>	<p><i>Table 106-2 – Residential Medium Density (R-2) Zoning District</i></p>	Reduce the minimum lot width for Lot Category A from 40 to 35 sf.	Allows for a greater range in lot sizes to accommodate more variety in home products.
		Reduce the side setback for Lot Category A from 5' & 7' to 5'.	Allows for 25' wide home products on 35' wide lots.
		Added a note to specify that there can be a 5% deviation in lot area for 5% of the total lots. Specified that such deviation is subject to the approval of the Community Development Director.	This provides flexibility to accommodate anomalies in platting.
		Update Note 2 to reduce the setback from a garage face to the property line from 20' to 18.5'; and update the setback from an alley edge from nine to three feet. Add specifications regarding landscaping in this setback.	<p>The 2022 City of Surprise Supplemental Engineering Development Standard Details, Local Street Cross-Section shows detached sidewalks 1.5' into the right-of-way. An 18.5' setback in addition to the 1.5' distance for detached sidewalks would allow for a 20' driveway that does not overhang onto the sidewalk.</p> <p>The reduction in setback from alley edge lines provides flexibility in driveway lengths for alley-loaded lots.</p> <p>Specifications regarding landscaping ensure that the setback will be landscaped and that a walkway can be accommodated in the landscaped area.</p>
		Update Note 3 to include townhouses.	Clarifies that the zero-foot setback may apply to townhouses.
Update Note 5 to apply this requirement to developments larger than 150 lots. Developments with fewer	This standard is proposed for developments with smaller parcels that can only justify a single lot size and can provide lots less than 40' as permitted within the zoning category. In a		

LDO Section		Proposed Amendment	Justification/Rationale
<p><i>Sec. 106-2.4 Residential Medium Density (R-2).</i></p>	<p><i>Table 106-2 – Residential Medium Density (R-2) Zoning District</i></p>	<p>than 150 lots would not have lot size limitations.</p>	<p>typical development, a builder may sell 8 homes per month with an estimated 18-month close-out goal. As such, on average, a single development "store" may include approximately 144 +/- lots. When projects exceed this number, additional lot sizes are introduced to offer multiple home options at different price points and for a different buyer profile to ensure multiple market segments that do not compete with each other.</p>
		<p>Update Note 5 to reduce lot widths to 40'.</p>	<p>Maintains consistency with the overall lot width reduction in Lot Category A.</p>
<p><i>Sec. 106-2.5. Residential high density (R-3).</i></p>	<p><i>Sec. 106-2.5.B. Applicability</i></p>	<p>Include language to provide an exception for townhouses as it relates to the minimum units per lot and net residential density.</p>	<p>Maintains the density requirements for multi-family but provides an exception for townhouses, which are subject to the density standard in Table 106-2f.</p>
	<p><i>Sec. 106-2.5.C. Development standards</i></p>	<p>Include new development standards for townhouses.</p>	<p>Provides standards, which are currently not in the LDO, to allow townhouses.</p>
	<p><i>Sec. 106-2.5.C.3.b</i></p>	<p>Updated the open space calculation standard to include backyards.</p>	<p>Accounts for backyards which are typical for townhouse products.</p>
<p><b>Chapter 106 Zoning and Use Standards, Article III. Surprise Heritage District (SHD) Zoning Districts</b></p>			
<p><i>Sec. 106-3.2. – Design and development standards in the SHD zoning district.</i></p>	<p><i>Sec. 106-3.2.B</i></p>	<p>Add new table of development standards for townhouses in SHD-RO, and add reference to such table.</p>	<p>Provides development standards for townhouses in SHD-RO as townhouses are permitted with a CUP per Table 106-1c.</p>

LDO Section		Proposed Amendment	Justification/Rationale
<b>Chapter 106 Zoning and Use Standards, Article IV. Traditional Neighborhood Development (TND) Zoning Districts</b>			
<i>Sec. 106-4.3. Review and process</i>	<i>Sec. 106-4.3.C.4</i>	Replace “townhome” with “townhouse”.	Provides consistent terminology for “townhouse”, aligned with the Glossary.
<i>Sec. 106-4.4. – Development standards</i>	<i>Table 106-4b – Development Standards for TND-R Parcels</i>	Update Note 2 to reduce the setback from a garage face to the property line from 20’ to 18.5’; and update the setback from an alley edge from six feet to three feet. Add specifications regarding landscaping in this setback.	<p>The 2022 City of Surprise Supplemental Engineering Development Standard Details, Local Street Cross-Section shows detached sidewalks 1.5' into the right-of-way. An 18.5' setback in addition to the 1.5' distance for detached sidewalks would allow for a 20' driveway that does not overhang onto the sidewalk.</p> <p>The reduction in setback from alley edge lines provides flexibility in driveway lengths for alley-loaded lots.</p> <p>Specifications regarding landscaping ensure that the setback will be landscaped and that a walkway can be accommodated in the landscaped area.</p>
		Update Note 3 to include townhouses.	Clarifies that the zero-foot setback may apply to townhouses.
		Update Note 8 to reduce lot widths to 40’.	Maintains consistency with the development standards for other residential zoning districts that allow a similar use.
<b>Chapter 107 Design and Development Regulations, Article IV. Parking and Loading Regulations</b>			
<i>Sec. 107-4.3. R-1, R-2. and SHD-RO residential provisions.</i>		Include parking restrictions on residential streets with lots 40’ wide or less on trash collection days.	Ensures on-street parking in developments with narrow lots will not impact trash collection services.
<i>Sec. 107-4.4. Multi-family, mixed use, and non-residential use provisions.</i>		Include parking restrictions on residential streets with	Ensures on-street parking in developments with narrow lots

LDO Section		Proposed Amendment	Justification/Rationale
		lots 40' wide or less on trash collection days.	will not impact trash collection services.
<i>Sec. 107-4.9. Minimum off-street parking requirements.</i>		Update Table 107-4c – Parking Standards for “Dwelling, single-family” to include 0.2 spaces per dwelling unit dedicated to visitor parking for lots that are 40' wide or less.	Provides visitor parking spaces to accommodate the parking restrictions on trash days for lots 40' wide or less.
		Update Table 107-4c – Parking Standards to include a new parking standard for Townhouse.	Provides parking standards for the permitted residential use. Includes parking requirements for dwelling units, community facilities, and visitor parking to ensure adequate parking.
<b>Chapter 108 Land Division and Subdivision Regulations, Article II. Reports, Plans, and Design Standards</b>			
<i>Sec. 108-2.5. Lot planning.</i>	<i>Sec. 108-2.5.F. Lot frontage.</i>	Update language to include an exception to the 30' frontage width standard for townhouses, which is proposed to have a 20' minimum frontage width.	Accommodates the smaller lot widths for townhouses, proposed in the R-3 zoning district.
	<i>Table 108-2a – Narrow Lots Subdivision</i>	Update the table to remove the “up to 100%” lot width range.	Aligns with the proposed lot width provisions in the R-2 and R-3 zoning districts.

## 4. SUMMARY OF PEDS UPDATES

The proposed changes to the PEDS are suggested to ensure consistency with the proposed amendments to the LDO. Proposed changes to the PEDS are for the following sections:

- Chapter 2: Neighborhood Land Uses
- Appendix A – Glossary of Terms

## 5. PROJECT LOCATION

The proposed text amendments and PEDS changes would apply City-wide.

## 6. COMPATIBILITY WITH GENERAL PLAN DESIGNATIONS

The proposed amendments will remain consistent with the General Plan 2040 land use Character Area designations. Per the General Plan 2040, R-2 is compatible with the Suburban and Urban development types and R-3 is compatible with the Urban development type within the Neighborhood Character Area.

The proposed amendments to the R-2 district remain reflective of the suburban uses in the Neighborhood Character Area, which supports a mix of detached and attached homes. The proposed amendments would support the following Suburban Neighborhoods typical uses listed in the General Plan:

- Medium-lot single-family residential uses
- Small-lot single-family residential uses – such as alley loaded, duplexes, court and patio homes, and townhouses

Similarly, the proposed amendments to the R-3 zoning district remain reflective of the urban uses in the Neighborhood Character Area and support the following typical uses listed in the General Plan:

- Small-lot single-family attached residential uses – such as duplexes, court or patio homes, and townhouses
- Multi-family residential uses – such as condominiums and apartments

The proposed amendments to the R-1 zoning category do not change the rural and suburban development types supported in the General Plan.

This application supports the following goal and policies from the 2040 General Plan:

*Goal 4.2 Be a home for everyone*

### *Policies*

1. *Proactively update local ordinances, policies, and building codes to encourage development of residential neighborhoods that broaden the choice of housing type, size, price, amenities, and conveniences so as to allow for a wide variety of options for all who live or want to live in Surprise*

7. *Accommodate medium and high-density development/redevelopment in appropriate areas of the City and that are good neighbors to existing development.*

## **7. INFRASTRUCTURE**

Due to the denser nature of these home product types, it is understood that infrastructure will be considered during the site planning process for residential development. Such considerations must be made for:

- Stormwater: stormwater should be effectively moved through the home product or be absorbed on-site to not overburden the street stormwater facilities.
- Internal streets: internal streets shall maintain widths to allow for emergency access, on-street or off-street parking as required, and trash collection areas.

## **8. PHASING**

The phasing of development shall be addressed at the site planning process for individual residential developments.

**APPENDIX A**  
**SUPPLEMENTAL EXHIBITS**

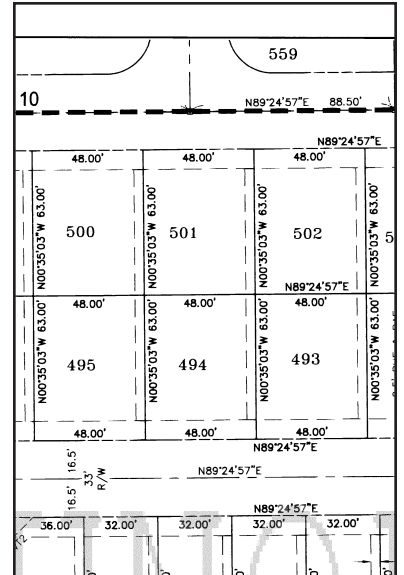
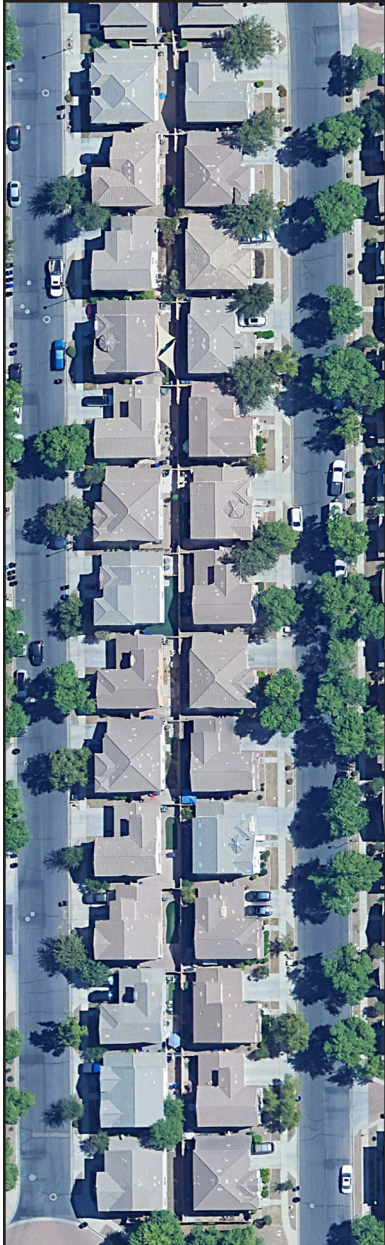
# THE WILLOWS GILBERT, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY K. HOVNANIAN HOMES

NORTHEAST OF WILLIAMS FIELD ROAD  
AND RECKER ROAD

DETACHED, FRONT-LOADED PRODUCT

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 6-8 DU/AC
- TYPICAL LOT SIZE: 48'X63'
- TYPICAL LOT AREA: 3,024 SF
- SIDE SETBACKS: 5' & 5'
- FRONT DOORS ON PUBLIC STREET



Copyright RVI



SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL MEDIUM DENSITY (R-2)

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- # 24005636
- 👤 GILBERT BLILIE, PLLC

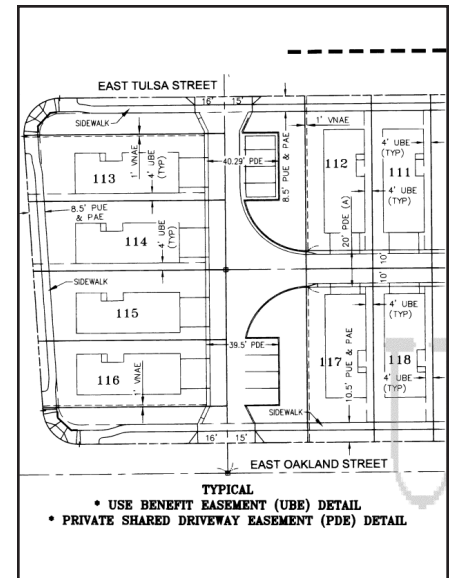
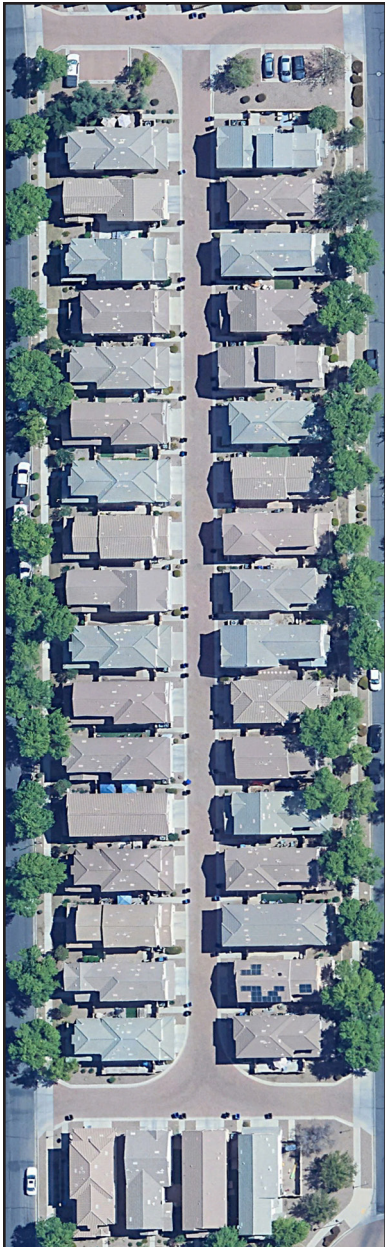
# THE WILLOWS GILBERT, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY K. HOVNANIAN HOMES

NORTHEAST OF WILLIAMS FIELD ROAD  
AND RECKER ROAD

DETACHED, ALLEY-LOADED PRODUCT

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 6-8 DU/AC
- TYPICAL LOT SIZE: 32'X95'
- TYPICAL LOT AREA: 3,040 SF
- SIDE SETBACKS: 6' & 4' WITH 4' U.B.E.
- FRONT DOORS ON PUBLIC STREET



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SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL MEDIUM DENSITY (R-2)

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- ☎ # 24005636
- 👤 GILBERT BLILIE, PLLC

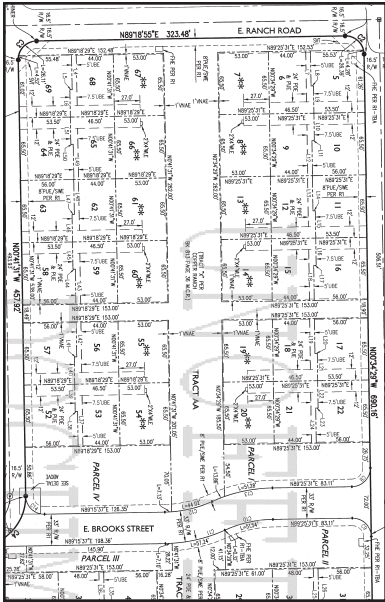
# COPPER RANCH GILBERT, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY KB HOMES

SOUTHEAST OF WARNER ROAD AND  
RECKER ROAD

4/6-PACK AUTOCOURT / CLUSTER HOME

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 6-8 DU/AC
- MIN. LOT SIZE: 44'X65.5'
- MIN. LOT AREA: 2,954 SF
- FRONT DOORS FACING ALLEY OR PUBLIC STREET



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**SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL MEDIUM DENSITY (R-2)**

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- # 24005636
- 👤 GILBERT BLILIE, PLLC

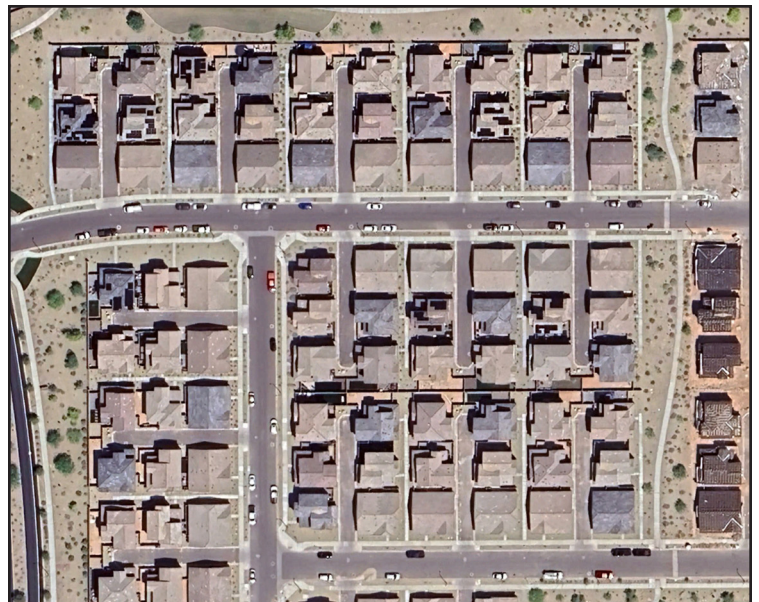
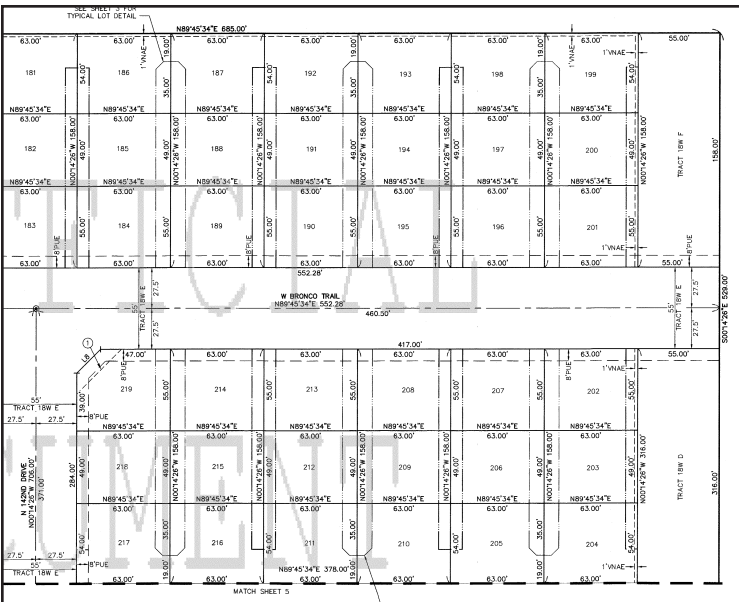
# RANCHO MERCADO SURPRISE, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY TAYLOR MORRISON

NORTHEAST OF HAPPY VALLEY ROAD  
AND RANCHO MERCADO PARKWAY

6-PACK AUTOCOURT / CLUSTER HOME

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 6-8 DU/AC
- MIN. LOT SIZE: 49'X63'
- MIN. LOT AREA: 3,087 SF
- FRONT DOORS ON COMMON OPEN SPACE TRACT OR PUBLIC STREET



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SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL MEDIUM DENSITY (R-2)

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- 📄 # 24005636
- 👤 GILBERT BLILIE, PLLC

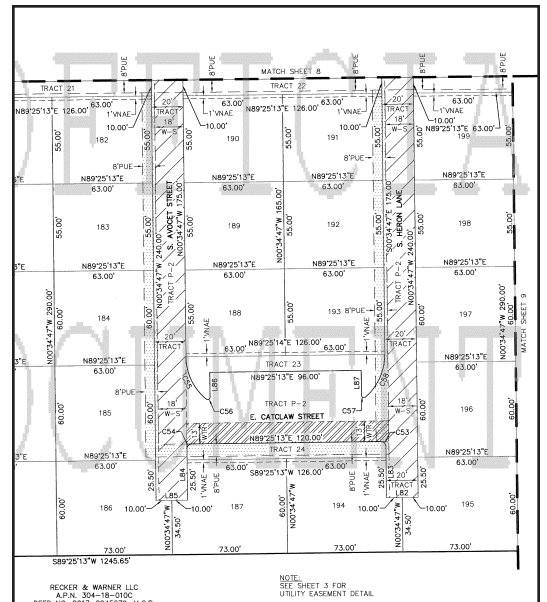
# WARNER MEADOWS GILBERT, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY LENNAR

NORTHEAST OF WARNER ROAD AND  
RECKER ROAD

18-PACK AUTOCOURT / CLUSTER HOME

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 6-8 DU/AC
- MIN. LOT SIZE: 55'X63'
- MIN. LOT AREA: 3,465 SF
- FRONT DOORS FACING ALLEY OR PUBLIC STREET



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SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL MEDIUM DENSITY (R-2)

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- 📞 # 24005636
- 🏢 GILBERT BLILIE, PLLC

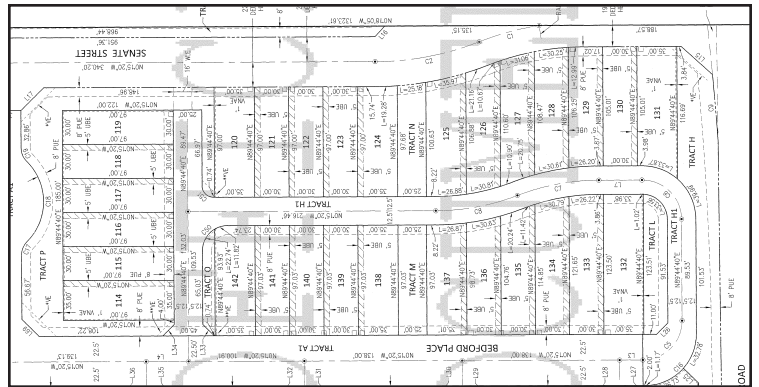
# HORIZON CHANDLER, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY LENNAR

NORTHEAST OF GERMANN ROAD AND  
MCQUEEN ROAD

DETACHED, ALLEY-LOADED PRODUCT

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 6-8 DU/AC
- MIN. LOT SIZE: 30'X97'
- MIN. LOT AREA: 2,910 SF
- SIDE SETBACKS: 0' & 10' WITH 5' U.B.E.
- DOORS ON OPEN SPACE OR STREET



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**SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL MEDIUM DENSITY (R-2)**

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- # 24005636
- 👤 GILBERT BLILIE, PLLC

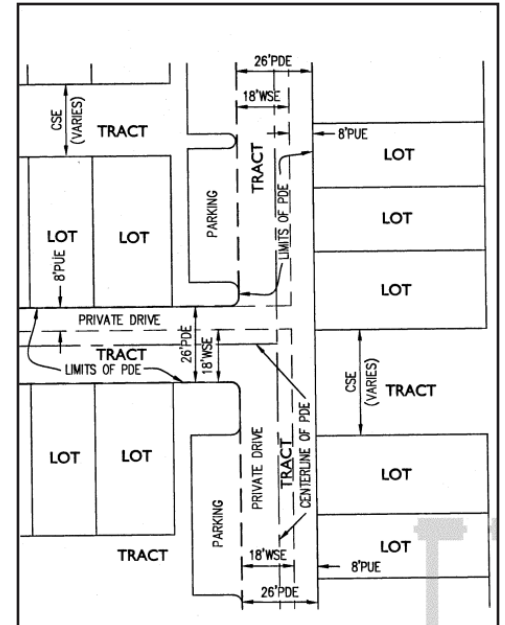
# FINCHER FIELDS GILBERT, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY LENNAR

NORTHWEST OF WILLIAMS FIELD ROAD  
AND RECKER ROAD

ATTACHED, ALLEY-LOADED TOWNHOMES

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 12-18 DU/AC
- MIN. LOT SIZE: 22'X70'
- MIN. LOT AREA: 1,540 SF
- FRONT DOORS ON COMMON OPEN SPACE TRACT OR PUBLIC STREET



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SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL HIGH DENSITY (R-3)

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- 📞 # 24005636
- 👤 GILBERT BLILIE, PLLC

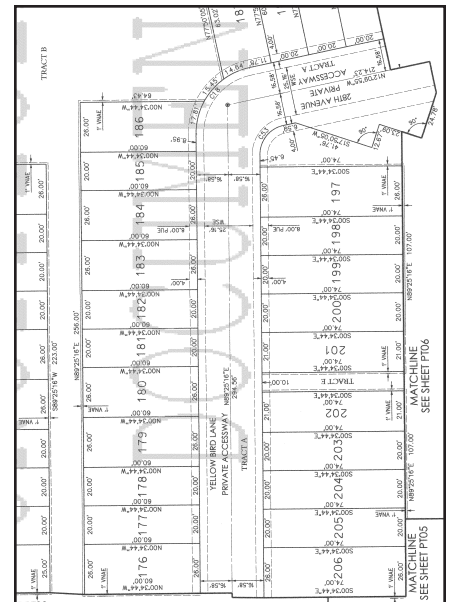
# 23 & 17 NORTH PHOENIX, AZ

TWO RESIDENTIAL DEVELOPMENTS BY  
K. HOVNANIAN HOMES

23: NE OF NORTHERN RD AND 23RD AVE  
17: NE OF INTERSTATE 17 AND JOMAX RD

FRONT-LOADED, ATTACHED TOWNHOMES

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 10-15 DU/AC
- MIN. LOT SIZE: 20'X60' WITH 3' APRON  
20'X74' WITH DRIVEWAY
- MIN. LOT AREA: 1,200 SF OR 1,480 SF
- FRONT DOORS ON PUBLIC STREET



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**SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL HIGH DENSITY (R-3)**

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- # 24005636
- 👤 GILBERT BLILIE, PLLC

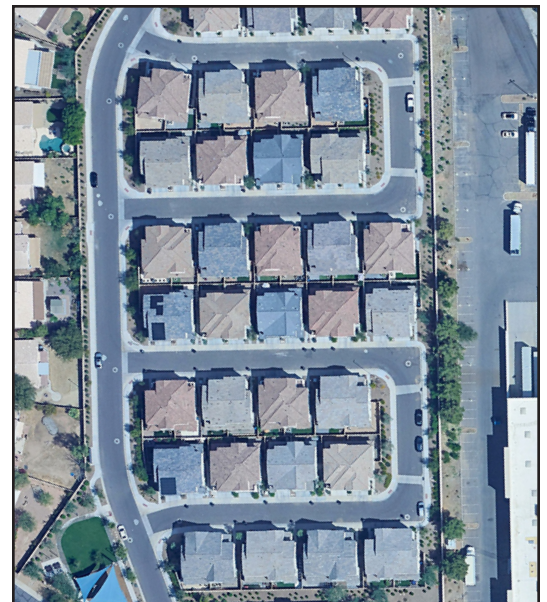
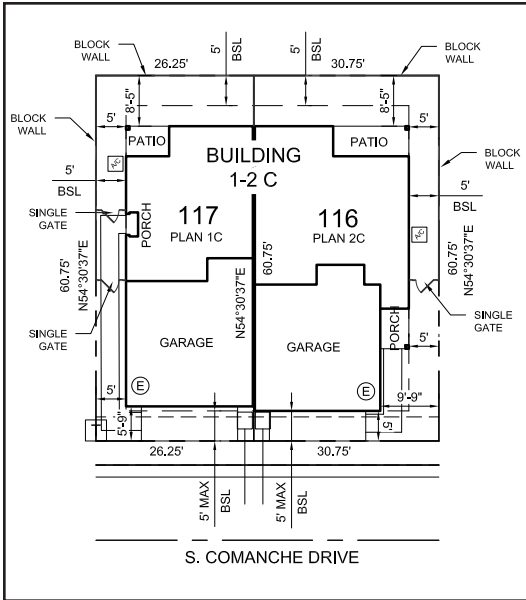
# MARIPOSA CHANDLER, AZ

AN EXISTING RESIDENTIAL DEVELOPMENT  
BUILT BY THE NEW HOME COMPANY

NORTHWEST OF QUEEN CREEK ROAD  
AND ALMA SCHOOL ROAD

ALLEY-LOADED, ATTACHED DUPLEX

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 10-15 DU/AC
- MIN. LOT SIZE: 26.25'X60.75'
- MIN. LOT AREA: 1,595 SF
- FRONT DOORS ON COMMON OPEN SPACE TRACT OR ALLEY



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**SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL HIGH DENSITY (R-3)**

- 📍 SURPRISE, AZ
- 📅 2024-08-14
- # 24005636
- 👤 GILBERT BLILIE, PLLC

**APPENDIX B**  
**LEGISLATIVE EDIT**

**Section 101-2.2**

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**Sec. 101-2.2. Glossary of terms.**

A. General terms. For the purpose of carrying out the intent of this ordinance, all words shall have their normal and customary meanings, unless specifically defined as follows:

1. The word "day" shall mean calendar day for calculation of time, unless specifically defined otherwise.
2. Words used in the present tense include the future, words used in the singular include the plural, and words used in the plural include the singular, except where the natural construction of the writing indicates otherwise.
3. The words "shall" and "will" are mandatory and the word "may" or "optional" is permissive.
4. Words or phrases are expressed using *italics* shall assume the meaning as ascribed in within the LDO. Words or phrases not expressed in italics shall assume the common meaning of the word or phrase.
5. In case of any difference of meaning or implication between the text of this ordinance and any figure or graphic, the text shall control.

B. Abbreviations. The following abbreviations and/or acronyms shall have the following meaning:

ADA	Americans with Disabilities Act
ADEQ	Arizona Department of Environmental Quality
ARS	Arizona Revised Statutes
CD	Community Development
CIP	Capital Improvement Plan
LDO	Land Development Ordinance
PAD	Planned Area Development
PEDS	Planning and Engineering Design Standards
PUD	Planned Unit Development
TND	Traditional Neighborhood Development
TUP	Temporary Use Permit

C. Definitions. The following additional words and phrases shall, for the purpose of this ordinance, have the following meanings:

**A**

***Abandon.*** The discontinuation of use for more than ninety (90) [days] unless a particular timeline is identified.

***Abandoned or inoperable motor vehicle.*** A motor vehicle or any major portion thereof that is unlicensed and is incapable of movement under its own power and will remain so without major repair, including but not limited to repair of the differential, transmission, head, engine block, or oil pan.

***Abut.*** A property having a common boundary or *lot line* not separated by a *street*.

---

**Density transfer.** Permitted unused allowable *dwelling units* in one (1) area to be relocated in another area of the same development or an approved *off-site* development, commonly known as *transfer of density and development rights (TDR)*.

**Developer.** The *owner* or representative of the *owner* of land proposed to be developed and/or *subdivided*.

**Development.** Any man-made change to improve or *alter* real property, including but not limited to *buildings* or other *structures*, mining, dredging, *filling*, grading, paving, excavation or drilling operations.

**Development parcel.** A portion of land within an overall master *site plan* or master planned *development* that includes one (1) or more *lots* with a specific net residential density, characteristic, and/or *zoning district*; excluding a *parcel* or *lot* outside of a master planned development.

**Development plan.** A type of plan that becomes part of the *zoning* or *preliminary plat* for a property. The plan depicts site characteristics, development information, and provides guidance for site plans and subdivision plats.

**Donation bin.** Any container, storage unit, or *structure*, other than a primary *building* or *accessory building(s)* that is used for the collection of charitable or for-profit donated items from the general *public*, including but not limited to clothing, household goods, toys, books, and newspapers.

**Drive aisle.** The travel way by which cars enter and depart *parking spaces*.

**Drive-through.** An *accessory facility* for an establishment that provides service and/or goods at a window or door that the customer drives past without being required to leave the vehicle.

**Duplex.** See *dwelling, two-family*.

**Dwelling.** A *building* or portion thereof that contains one (1) *dwelling unit* that is occupied primarily for residential living purposes but not including *hotels, motels, mobile homes* or *RV's*.

1. **Dwelling, live-work.** A *building*, or portion thereof, or a group of *buildings* that combines a *dwelling unit* with the work space (*office, commercial, or retail*) for *uses* permitted in the *zoning district* in which the unit is located; more than a *home occupation*.
2. **Dwelling(s), multi-family.** A *building* or *lot* containing four (4) or more *dwelling units* used for residential occupancy by four (4) or more families living independently of each other; includes the general term *multi-family* (commonly known as *apartments*).
3. **Dwelling, single-family.** One (1) *dwelling unit* on a single *lot* of record [excluding townhouses](#); includes the general term *single-family*.
4. **Dwelling, two-family.** A *building* or *lot* containing two (2) *dwelling units* used for residential occupancy by two (2) families living independently of each other (commonly known as *duplex*).
5. **Dwelling, three-family.** A *building* or *lot* containing three (3) *dwelling units* used for residential occupancy by three (3) families living independently of each other (commonly known as *triplex*).
6. **Dwelling unit.** A single unit as a whole *building* or portion thereof, providing complete independent living facilities for one (1) or more *persons*, including permanent provisions for living, sleeping, eating, cooking, and sanitation.
7. **Dwelling unit, accessory (ADU).** A secondary *dwelling unit* independent of the primary *dwelling unit* on the same property; provided it meets specific standards.

## E

**Elevation.** The front, rear or side *façade* of a *building* showing the relationship of the site *grade* to floor level, often depicted on a scale drawing that includes such features as design, construction materials, height, dimensions, windows and doors.

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**Temporary use permit (TUP).** A use permit required for activities that may be appropriate on an interim basis without requiring full compliance with the development standards of the *zoning use* district in which the property is located or by which the city may permit seasonal or transient *uses* not otherwise permitted.

**Townhouse.** A type of residential *dwelling* that is ~~often, but not necessarily, an~~ [platted for one unit per lot, attached to one or more other dwellings, product type \(see also \*dwelling\*\) in a row by a common wall, and is accessed by a separate outdoor entrance.](#)

**Traffic calming.** A technique or method of reducing traffic speeds and/or neighborhood cut-through traffic volumes that utilizes changes in *street* alignment, installation of barriers, and other physical measures.

**Triplex.** See *three-family dwelling*.

**Truck.** A vehicle weighing eighteen thousand (18,000) or more pounds, or a combination of vehicles weighing in excess of twenty-six (26,000) pounds, or a box *truck* or semi-trailer cab.

## U

**Urban development.** Any land developed in an industrial, retail commercial, *office/institutional/civic/public use*, and/or residential *development* having an overall minimum density of one (1) *dwelling unit* per gross acre or greater.

**Use.** The employment or occupation of a *building, structure*, or land for a *person's* service, benefit, or enjoyment.

1. **Use, permitted.** A *use* which has a lawfully established right in a particular district or districts or has been granted legal authorization, such as but not limited to a *conditional use permit (CUP)*, and which conforms to all requirements, regulations, and performance standards of such district(s).
2. **Use, primary.** A land *use* that is the predominant, principal, or major *use* of the *lot* on which it is located.
3. **Use, temporary.** A *use* established for a fixed period of time with the intent to discontinue such *use* upon the expiration of the time period as regulated by this *ordinance*.

**Utility, public.** Any agency under *public franchise or ownership*, or under certificate of convenience and necessity that provides the *public* with electric, gas, heat, communication, rail transportation, water, sewage collection, or other similar service.

**Utility services.** Service to the *public* of water, *sewer*, electric, gas, communications, cable television, drainage, flood control, or other facilities, owned and operated by any person, firm, corporation, municipal department or board, duly authorized by state or municipal regulations. The foregoing shall be deemed to include facilities and appurtenances to the above uses but shall not include *public utility* treatment and generating plants or *offices*.

## V

**Variance.** A modification or variation of the *development* standards in **Chapter 106** of the LDO as applied to a specific piece of property, as further outlined in **Section 102-6.5**.

**Vehicle fueling station.** A convenience *use* having pumps and storage tanks or other facilities from which gasoline, diesel or *alternative* fuels are dispensed into motor vehicles (commonly known as *gas stations* or *fueling stations*).

**Vehicle sales and leasing.** The *use* of any *building*, land area, or other premises with *display and sales areas* of new or used automobiles, *trucks*, trailers, or *recreational vehicles* and including any warranty repair work and other *repair service* conducted as an *accessory use*.

**Section 106-1.8**

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### Sec. 106-1.8. Compliance with other provisions.

- A. Planning and engineering design standards (PEDS) as referenced in **Chapter 107, Article I**. The articles within the PEDS shall apply where applicable, based on the specific *zoning* and *land use*, and will govern the general site design and *development, open space* design, circulation design, landscape and *streetscape* design, and *building* form and architecture of a *development* in addition to those listed below.
- B. Use specific standards. Those *land uses* listed in **Table 106-1c** that have specific *use* standards associated with them shall comply with the specific standards outlined in **Article X** herein as well as to the PEDS in **Chapter 107**.
- C. Parking regulations. In addition to the PEDS, the parking regulations in **Chapter 107, Article IV** herein shall apply.
- D. Landscaping regulations. All landscaping associated with *development* shall comply with the PEDS and **Chapter 107, Article II** herein.
- E. Outdoor lighting. All *outdoor lighting* shall comply with the PEDS and **Chapter 107, Article III** herein.
- F. Environmentally sensitive land regulations. All development, regardless of *zoning* or *use* of the land, on lands that are determined to contain *environmentally sensitive features* or that contain *cultural resources* shall comply with **Chapter 104, Article II** herein and **Chapter 5** of the PEDS.
- G. Land division and subdivision regulations. The additional regulations governing the division of land in **Chapter 108** herein shall apply.
- H. Signage. All *signage* proposed shall comply with **Chapter 109** herein.
- I. Life safety codes. All life safety codes as adopted per **Chapter 105** herein.

Table No. 106-1c—Primary Land Use Matrix for All Zoning Districts

"P" = Permitted; "AUP" = Administrative Use Permit; "CUP" = Council Use Permit; "(blank space)" = Prohibited

Zoning Districts	Residential				Surprise Heritage District		Traditional Neighborhood Development				Mixed Use			Commercial				Employment			Open Space/Public Uses			Use Specific Standards	
	RR	R-1	R-2	R-3	SHD-RO	SHD-CO	TND-R	TND-C	TND-MU	TND-OS	MU-1	MU-2	MU-3	CO	C-1	C-2	C-3	BP	I-1	I-2	I-3	OS-1	OS-2		PF
Assisted living center (more than 10 residents)			P	P	AUP	P	AUP		P			P													
Assisted living home (10 or less residents)	P	P	P		P		P																		Sec. 106-10.9
Dormitory						CUP						CUP			CUP	CUP	CUP	CUP							
Dwelling, live/work								P		P	P	P													Sec. 106-4
Dwelling, multi-family (4 or more)				P	CUP	P	P		P	P	P	P													
Dwelling, single-family	P	P	P		P		P																		
Dwelling, two-family (duplex)			P	P	AUP		P					P													
Dwelling, three-family (triplex)			P	P	AUP		P					P													
Group foster care	P	P	P	P	P		P																		Sec. 106-10.21
Manufactured homes	P				P																				Sec. 106-10.26
Model home complex	P	P	P				P					P													Sec. 106-10.29
Residential healthcare facility	P	P	P	P	P		P					P													Sec. 106-10.21
<a href="#">Townhouse</a>			<u>P</u>	<u>P</u>	<u>CUP</u>		<u>P</u>																		

**Section 106-2.3**

**Sec. 106-2.3. Residential low density (R-1).**

- A. Purpose. The residential low density (R-1) *zoning district* provides areas for *single-family* homes on varying *lot* sizes and a mix of densities together with *schools, parks, and other public services* necessary for suburban residential neighborhoods.
- B. Applicability. The R-1 *zoning district* reflects the suburban *development* type and is allowed in the neighborhood character (1) area in accordance with the *General Plan* with a maximum of one (1) *dwelling unit* per *lot* of record.
- C. Development standards. **Table 106-2c** below identifies the required *development* standards for the residential low density (R-1) *zoning district*.

<b>Table 106-2c—Residential Low Density (R-1) Zoning District</b>						
<b>Lot Categories</b>	<b>A<sup>3</sup></b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>
General Plan compatibility	Suburban	Suburban	Suburban	Suburban and rural	Rural	Rural
Lot area (sf)	4,950— 7,999	8,000— 11,999	12,000— 17,999	18,000— 27,999	28,000— 43,559	≥43,560
Min. lot width (sf)	45	60	80	90	100	130
Min. front setback <sup>1</sup> (ft)	12	12	15	20	20	30
Max. front setback (ft)	25	25	30	35		
Min. rear setback <sup>1</sup> (ft)	15	20	20	25	30	30
Min. side setback <sup>1</sup> (ft)	5 & 8	5 & 10	10	10 & 15	20	20
Min. street side setback <sup>1,4</sup> (ft)	15	15	15	15	20	20
Max. bldg. height (ft)	35	35	35	35	35	35
Max. lot coverage <sup>5</sup>		45%	40%	30%	30%	25%
Open space (% of gross area of residential development) <sup>3</sup>	20%	20%	20%	15%	15%	10%
<p>Notes:</p> <ol style="list-style-type: none"> <li>1. <i>Garage</i> face and embellishments shall be <i>setback</i> a minimum of 20 feet measured from any opposing property line; except rear <i>alley</i> loaded <i>garages</i>, which shall be <i>setback</i> six (6) feet from edge of <i>alley</i> line.</li> <li>2. The city requires <i>open space</i> on a development/subdivision basis rather than on a <i>lot-by-lot</i> basis. Subdivisions with more than one (1) lot category will provide the higher percentage of open space.</li> <li>3. Residential projects shall contain no more than fifty (50) percent of lots less than forty-eight (48) feet wide as calculated across whole subdivisions or preliminary plat and will include mitigating designs outline in <b>Chapter 108</b> of this <i>ordinance</i>.</li> <li>4. Corner <i>lots</i> where <i>block</i> endcap landscape tracts are provided are not subject to the minimum <i>street</i> side <i>setbacks</i>.</li> <li>5. <a href="#">Lots that have an RV garage within Lot Category B shall be allowed up to fifty-five (55) percent lot coverage.</a></li> </ol>						

(Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

**Section 106-2.4**

**Sec. 106-2.4. Residential medium density (R-2).**

- A. **Purpose.** The residential medium density (R-2) *zoning district* allows for a variety of housing opportunities including *detached and attached buildings that single-family dwellings including, single-family dwellings, two-family dwellings, and three-family dwellings, and townhouses* together with *schools, parks, and public services necessary for an urban and suburban residential environment. While the district primarily accommodates residential uses, nonresidential uses that help to support, and are compatible with, residential neighborhoods may also be allowed when compatible with adjoining neighborhoods.*
- B. **Applicability.** The R-2 *zoning district* reflects the suburban development type and is allowed in the neighborhood character area in accordance with the *General Plan* with a maximum of three (3) *dwelling units per lot* of record. Minimum *lot area* is ~~four thousand two thousand eight hundred (4,000,2,800)~~ square feet per dwelling unit, ~~except for duplexes and triplexes which shall have a minimum lot area of four thousand (4,000) square feet., except lots in column A and B are permitted one (1) dwelling unit as shown in Table 106-2d below.~~
- C. **Development standards.** **Table 106-2d** below identifies the required development standards for the residential medium density (R-2) *zoning district*.

Table 106-2d—Residential Medium Density (R-2) Zoning District					
Lot Categories	A <sup>4</sup>		B <sup>4</sup>	C	D
General Plan compatibility	Urban		Suburban	Suburban	Suburban
Lot area <sup>1</sup> (sf)	Single-family & Townhouse: <del>3,500</del> 2,800—4,949	Duplex & Triplex: 4,000—4,949	4,950—7,999	8,000—11,999	≥12,000
Min. lot width (sf)	40-35		45	70	80
Min. front setback <sup>2,1</sup> (ft)	10		12	12	15
Max. front setback (ft)	25		25	25	30
Min. rear setback <sup>2,1</sup> (ft)	10		15	20	20
Min. side setback <sup>2,1</sup> (ft)	5 <sup>3</sup> & 7 <sup>2</sup>		5 & 8 <sup>2,3</sup>	5 & 10	10
Min. street side setback <sup>2,5, 6,5</sup> (ft)	10		10	10	10
Max. bldg. height (ft)	35		35	35	35
Open space (% of gross acres of residential development) <sup>4,3</sup>	25%		20%	20%	20%
<p>Notes:</p> <p><u>1.</u> At the sole discretion of the City, up to 5% of the total lots of a development may vary up to 5% in lot area to accommodate discrepancies in the lot category’s respective lot area range, but in no case shall a lot in Lot Category A be less than 2,800sf.</p> <p><u>2,1.</u> Garage face and embellishments shall be setback a minimum of 18.5 feet <del>20 feet</del> measured from any opposing property line, except rear alley loaded garages, which shall be setback <del>nine-three (39)</del> feet from alley edge line. Any portion of the 3-foot setback that is not a part of a driveway or walkway shall be fully landscaped. Walkways providing access to dwelling entryways may be located within the landscaped area.</p> <p><u>3,2.</u> May be reduced to zero feet setback for single-family dwellings as attached building and separated by a common wall along the property line, and townhouses. End units must maintain the larger setback.</p> <p><u>4,3.</u> The city requires open space on a subdivision or development site basis rather than on a lot-by-lot basis. Subdivisions with more than one (1) lot category will provide the higher percentage of open space.</p>					

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54. Residential [development](#) projects [exceeding 150 total lots \(including those with separate development parcels\)](#) shall contain no more than fifty(50) percent of lots [that are](#) less than ~~forty-eight~~[forty \(40\)](#) feet wide as calculated across whole *subdivisions* or *preliminary plats* and will include mitigating designs outlined in **Chapter 108** of this *ordinance*.

65. Corner *lots* where *block* endcap landscape tracts are provided are not subject to the minimum *street* side *setbacks*.

(Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

**Section 106-2.5**

**Sec. 106-2.5. Residential high density (R-3).**

- A. Purpose. The residential high density (R-3) *zoning district* is to provide for the *development* of high-density residential *uses* in areas of the city where adequate *semipublic features* and services exist with capacity to serve the area. The district is designed to create a high-quality environment by incorporating design excellence as well as substantial recreational and aesthetic *amenities*.
- B. Applicability. The R-3 *zoning district* reflects the urban development type and is allowed in the neighborhood character area in accordance with the *General Plan*. With the exception of townhouses, multi-family residential shall have a minimum of four (4) *dwelling units per lot* and a *net residential density* of more than eight (8) *dwelling units per acre*. The minimum *lot size* for R-3 *zoning* is one (1) acre.
- C. Development standards.
  - 1. **Table 106-2e** below identifies the required *development* standards for the residential high density (R-3) *zoning district*.

<b>Table 106-2e—Residential High Density (R-3) Zoning District</b>			
<b>Net Density (du/ac)</b>	<b>8-11.9</b>	<b>12-14.9</b>	<b>15+</b>
Min. setback to arterial ROW (ft) <sup>2</sup>	20	20	20
Min. setback to collector and local ROW (ft) <sup>2</sup>	15	15	15
Min. setback adjacent to residential zoning (ft)	10	15	20
Min. setback adjacent to non-residential zoning (ft)	20	20	20
Max. bldg. height <sup>1</sup> (ft)	45	50	60
Open space (sf/du)	150	150	150
Notes: 1. The <i>height</i> of any <i>structure</i> , or portions thereof, shall not exceed 30 feet in <i>height</i> measured at the <i>setback</i> line when <i>adjacent</i> to <i>single-family, two-family, three-family development parcels</i> . The <i>height</i> of the <i>structure</i> may increase at a ratio of one-foot vertical for every one-foot horizontal as measured relative to the property line to a maximum <i>height</i> equal to the <i>zoning</i> . 2. <i>Setback</i> may be reduced to ten (10) feet along collector or local <i>right-of-way</i> for units that open to the <i>street</i> and exclude a perimeter wall.			

2. [Table 106-2f](#) below identifies the required *development* standards for townhouses in the residential high density (R-3) zoning district.

<a href="#">Table 106-2f—Residential High Density (R-3) Zoning District, Townhouses</a>	
<a href="#">Net Density (du/ac) min.</a>	<a href="#">6</a>
<a href="#">Lot area (sf)</a>	<a href="#">1,200</a>
<a href="#">Min. lot width (ft)</a>	<a href="#">20</a>
<a href="#">Min. bldg. front setback<sup>1</sup> (ft)</a>	<a href="#">3</a>
<a href="#">Min. bldg. rear setback (ft)</a>	<a href="#">10</a>
<a href="#">Min. bldg. side setback<sup>2</sup> (ft)</a>	<a href="#">5</a>
<a href="#">Min. perimeter setback adjacent to public street</a>	<a href="#">20</a>
<a href="#">Min. perimeter setback adjacent to residential zoning</a>	<a href="#">20</a>
<a href="#">Min. perimeter setback adjacent to non-residential zoning</a>	<a href="#">20</a>
<a href="#">Max. bldg. height (ft)</a>	<a href="#">45</a>
<a href="#">Open space (sf/du)</a>	<a href="#">150</a>
Notes:	
<p>1. <a href="#">Garage face and embellishments shall be setback a minimum of 20 feet measured from any opposing property line, except for private accessway or alley loaded garages, which shall be setback three (3) feet from alley edge line. Any portion of the 3-foot setback that is not a part of a driveway or walkway shall be fully landscaped. Walkways providing access to dwelling entryways may be located within the landscaped area.</a></p> <p>2. <a href="#">Setback only applies to end units.</a></p>	

- ~~23.~~ All projects shall provide one hundred fifty (150) square feet of on-site *open space* per *dwelling unit*, which shall include surfacing and safety features such as lighting, and *amenities* that enable residents to use the *open space*. Acceptable types of *open space* are listed below.
- Common *open space* (excluding *setbacks*) with a minimum dimension of fifteen (15) feet in any direction that is accessible to all *dwelling units* by sidewalks or local paths. The space shall be oriented to maximize afternoon shade, unless site conditions such as topography warrant waiving this requirement by the community *development* director or designee.
  - Individual balconies, ~~or~~ patios (excluding front stoops), ~~or~~ backyards may be used for up to twenty-five (25) percent of the required *open space*. To qualify as *open space*, balconies or patios must be at least forty (40) square feet with no dimension less than five (5) feet.
  - Rooftop decks and terraces may be used to meet up to fifty (50) percent of the required *open space*, provided the space provides *amenities* such as seating areas, barbeques, fireplaces, recreational spaces, shade and landscaping.
  - On-site indoor recreation areas may be used to meet up to twenty-five (25) percent of the required *open space* provided the space is designed for communal use by all residents and provides space for entertaining, gathering, or exercise equipment and fitness activities.
  - Environmentally sensitive areas may count toward *open space* requirements if integrated into the site design to be visible and usable by residents with features such as trails and benches. Sensitive or critical areas meeting these requirements may count for up to fifty (50) percent of the required *open space*.

(Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

**Section 106-3.2**

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## Sec. 106-3.2. Design and development standards in the SHD zoning district.

### A. Design standards.

1. These design standards shall apply to any and all new *development* in the SHD and supersede any conflicting design standards in other parts of this ordinance. The regulations specific to commercial and *mixed use land uses*, in **Article III** of the **PEDS**, may apply to the design of new non-residential *development* when not in conflict with those outlined herein.
2. Prior to any permits being issued for new development, or renovation of an existing *building*, the architectural, site, and landscape plans shall be reviewed by development services for adherence to these design standards, in addition to other adopted regulations.
3. Plants and landscape materials shall be low water *use*, drought-tolerant plants as delineated in **Appendix C** of the **PEDS**. All areas of bare soil shall be covered with grass, drought tolerant plantings, or decomposed granite to discourage weeds and to control dust. Edible citrus and nut trees are also permitted. All landscaping shall be well-maintained with diseased and/or dead plant material removed and replaced promptly.
4. Trellis work, open front porches, and cloth shade sails will not be counted as part of the *lot coverage* allowance.
5. Architectural features of all *buildings* and *structures* shall reflect the historical character of Phoenix-valley architecture from the 1880's to the 1950's. These architectural features shall be present on all *elevations*.
  - a. Residential architectural designs include but are not limited to Bungalow (Classical, California, and Craftsman), Spanish Colonial Revival, California Ranch, Southwest Style, and Pueblo Revival.
  - b. All *new construction* should include features and embellishments that were prominent in historical architecture to avoid bland, monotone styles. The features include but are not limited to:
    - (1) Projections and reveals; back and side porches on residential *structures*; varied roof and cornice lines; doors, windows, and window treatments such as shutters, awnings, and lintels; and traditional brick or river rock wainscoting, other architectural features such as porte-cocheres, *garage* doors, dormers, chimneys, and patios.
    - (2) *Building* materials, textures, roof treatments and pitches, *building heights*, *building* mass, and proportions indicative of historical Phoenix-valley architecture.
6. An open and covered porch on the front *elevation* for all new *single-family* residential *development* shall be required as a means to help create a pedestrian scale connection to the *street*, permit interaction with neighbors, enhance citizen *block* watch programs, and enhance the sense of neighborhood. *Building* orientation shall consider the existing environmental conditions and solar orientation.
7. Although not required, residential *fences* may be built to a *height* not exceeding six (6) feet in a *side* or *rear yard* or thirty-six (36) inches in a *front yard*. The *fence* material shall be compatible with the design style and material of the main *structure*, preferably masonry, wrought iron, or painted wood. The *use* of chain link fencing (with or without slats) is prohibited.
8. All non-residential land *uses*, excluding *parks*, that *abut* residential properties are required to provide visual *screening* from those residences by an opaque fence/wall or landscaping of approved drought-tolerant plant materials in combination with a wall. This *screening* shall include *accessory uses*, *loading*

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*areas*, and trash receptacles. The *use* of concertina wire is prohibited when *adjacent* to a public *right-of-way*.

9. On-site *retention* shall be required for all non-residential properties, all *multi-family* residential properties, and residential properties with more than one (1) *single-family dwelling*. Rainwater harvesting for plant irrigation is encouraged.
10. A color palette of earth tones shall be the predominate colors used. The use of accent colors is encouraged to provide a festive and lively *streetscape*. Accent color, contrasting the primary *wall* color, should be used to accent entryways and special architectural and trim elements (i.e. columns, trellises, lintels, sills, door and window frames, cornices, and moldings).
11. Roof-mounted mechanical equipment shall be *screened* from public view and designed to appear as an integral part of the *building*, with the exception of solar panels. Mechanical equipment, propane tanks, water filters, coolers and air conditioning units, and similar utility equipment installed at *grade* or wall mounted shall be *screened* from public view.
12. Assembly *uses* over five thousand (5,000) square feet and *multi-family dwellings* shall adhere to the following *use-specific* standards:
  - a. The residential development shall have a *building frontage* presence to the neighborhood *street* rather than primarily facing a parking lot. The front entry shall include a walkway to the *street* or surrounding neighborhood.
  - b. All multi-story *buildings* shall have unified and stylistic design elements present on all sides of the *building(s)*. A variety of massing and *building heights* and stepping rooflines are strongly encouraged. Straight rooflines should be minimized by using offsets, differing *heights*, stepping, or different orientations to produce variety within a *development*.
  - c. A color palette of earth tones shall be the predominate color used. The use of accent colors is encouraged to provide a festive and lively *streetscape*. Accent color, different from the dominate *wall* color, should be used to accent entryways and special architectural features of a *building*.
  - d. The required *off-street parking spaces* shall be located in the rear, to the side, or beneath the *structures* with cars recessed one-half (½) level to avoid interrupting the rhythm of the established *streetscape*, to make land on site available for gardens and courtyards rather than for surface parking, and to provide a pedestrian level connection to the neighborhood.
  - e. Mechanical equipment and similar utility devices, whether at *grade* or roof mounted, shall be *screened* from public view and designed to appear as an integral part of the *building*, with the exception of solar panels. The mechanical equipment *screening* shall be included in the overall allowed *building height*. Mechanical equipment shall be treated to be non-reflective. Electrical meters, service components, and SES cabinets should be *screened* from public view or designed to appear as an integral part of the *building*.
  - f. Reflective *building* materials are prohibited. Metallic surfaces, including roof materials, shall be treated to be non-reflective.
  - g. The *use* of metal or corrugated metal as the primary *building* material is prohibited; it may however be *used* as an architectural accent or decorative element.
  - h. The *building* materials of a project shall be durable, require low maintenance, and be of the same or higher quality as surrounding *developments*. The city strongly encourages all new *buildings* to meet LEED (Leadership in Energy and Environmental Design) certification standards and *building* sites to utilize low impact development (LID) technologies.
  - i. All *buildings* shall harmonize architecturally with the residential character of the neighborhood.

j. Assembly uses may be required to provide a traffic study, depending on the specific location.

B. Development standards.

1. Existing *mobile homes* and *manufactured homes* that are not in compliance with the use-specific standards of **Section 106-10.26** herein as of the effective date of this ordinance shall be considered as legal non-conforming *structures*. However, the existing *mobile home* or *manufactured home* may be replaced in its entirety with a conventional site-built home or with a *manufactured home* that complies with the use specific standards outlined in **Section 106-10.26** herein.
2. The *development* standards shown in **Table 106-3a**, **Table 106-3b**, and **Table 106-3c** below are applicable to all properties within the SHD. These tables identify the *development* standards for properties zoned into one (1) of the overlay zones.

<b>Table 106-3a—SHD—Residential Overlay Zoning (SHD-RO)</b>			
	<b>Commercial</b>	<b>Single-Family, Two-Family, Three-Family</b>	<b>Multi-Family Residential</b>
Min. lot area (sf)	5,000		15,000
Min. lot area (sf/du)		5,000	5,000
Min. front setback (ft)	15	12 <sup>2,3</sup>	15 <sup>2,3</sup>
Max. front setback (ft)	30	30 <sup>4</sup>	30 <sup>4</sup>
Min. side setback (ft)	10	5 & 10 <sup>1,3</sup>	20 <sup>3</sup>
Min. rear setback (ft)	12	12 <sup>3</sup>	20 <sup>3</sup>
Max. bldg. height (ft)	30	30	35
Lot coverage %		65%	65%
Notes: 1. May be reduced to zero-foot <i>setback</i> for <i>single-family dwellings</i> as attached to and separated by a <i>common wall</i> along the property line. End units shall maintain the larger <i>setback</i> . 2. A covered front porch may encroach into the <i>front setback</i> by up to five (5) feet. 3. <i>Garage doors/embellishments</i> shall be <i>setback</i> a minimum of twenty (20) feet measured from the opposing property line, except rear, <i>alley loaded garages</i> , which shall be <i>setback</i> six (6) feet from the <i>alley edge</i> line. 4. Measured from the primary <i>dwelling</i> , excluding front porch.			

<b>Table 106-3b—SHD – Residential Overlay Zoning (SHD-RO), Townhouses</b>	
<u>Net Density (du/ac) min.</u>	<u>6</u>
<u>Lot area (sf)</u>	<u>1,200</u>
<u>Min. lot width (ft)</u>	<u>20</u>
<u>Min. bldg. front setback<sup>1</sup> (ft)</u>	<u>3</u>
<u>Min. bldg. rear setback (ft)</u>	<u>10</u>
<u>Min. bldg. side setback<sup>2</sup> (ft)</u>	<u>5</u>
<u>Min. perimeter setback adjacent to public street</u>	<u>20</u>
<u>Min. perimeter setback adjacent to residential zoning</u>	<u>20</u>
<u>Min. perimeter setback adjacent to non-residential zoning</u>	<u>20</u>
<u>Max. bldg. height (ft)</u>	<u>45</u>
<u>Open space (sf/du)</u>	<u>150</u>
<p>Notes:</p> <p>1. <u>Garage face and embellishments shall be setback a minimum of 20 feet measured from any opposing property line, except for private accessway or alley loaded garages, which shall be setback three (3) feet from alley edge line. Any portion of the 3-foot setback that is not a part of a driveway or walkway shall be fully landscaped. Walkways providing access to dwelling entryways may be located within the landscaped area.</u></p> <p>2. <u>Setback only applies to end units.</u></p>	

<b>Table 106-3bc—SHD—Commercial Overlay Zoning (SHD-CO)</b>	
	<b>Commercial Overlay</b>
Front setback (ft)	15
Side setback (ft)	10
Rear setback (ft)	10
Max. bldg. height (ft)	35 <sup>1</sup>
Min. lot area (sf/du)	4,000 sf/du
<p>Notes:</p> <p>1. <i>Mixed use buildings</i> that include vertically integrated residential have a max <i>height</i> of 45 feet.</p>	

(Ord. No. 2021-17, § 1(Exh. A), 2-1-22; Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

**Section 106-4.3**

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## Sec. 106-4.3. Review and process.

### A. Procedures.

1. A "TND plan of development" shall be submitted as part the *rezoning* process pursuant to **Chapter 102** of this *ordinance*. The TND plan of *development* is the compilation of exhibits that demonstrate compliance with all requirements of this *ordinance*; which at a minimum shall include the following.
  - a. A master development plan map that identifies the size and location of each *development parcel*.
  - b. Each *development parcel* shall be labeled with one (1) of the overlay *zoning districts* outlined in **subsection 106-4.2.B**.
2. The final approved TND plan of development, which will govern the *development* progress of a specific TND project, shall reflect the project's acreage, approved *lot yield*, and land *use* ratios approved by the city.
3. *Platting* of the individual *subdivisions* within the TND boundary will still be required and shall comply with the PEDS and other design standards as referenced and outlined in **Chapter 107** and the land division and *subdivision* regulations in **Chapter 108** of this *ordinance*.
4. *Parcels* within a TND development that are proposed for any multiple-*building apartment* complex, *mixed use* development, *civic use*, or a commercial development project shall require *site plan* review.
5. The specific overlay boundary lines and associated land *uses* (per **Table 106-1c**) along with the blended *lot* sizes for the residential *parcel(s)* shall be identified at the time of either the *site plan* approval or the *preliminary plat* and recorded on the *final plat*. The *gross residential density* for each residential and *mixed use development parcel* shall be in accordance with the approved TND plan of *development*.
6. At the time of *final plat* recordation, or approval of the *site plan* if no subdivision is required, the overlay *zoning* boundaries are administratively set for the *development parcel*. The city shall monitor each TND development, from the approval of the TND plan of development through the *platting* stage, and then at the *building permit* stage to ensure that the land *use* mixture agreed upon through the initial *rezoning* process and the required variety of *lot* sizes and housing types is maintained. The city shall amend the official Surprise *Zoning Map* to reflect the approved "TND plan of development" and overlay *zoning* boundaries at each stage.

### B. Amendments.

1. A council approved TND plan of *development* may be amended administratively for the following circumstances:
  - a. Up to a ten (10) percent transfer (increase or decrease) in the allowed quantity of *dwelling units* between *development parcels* within the TND;
  - b. Up to a ten (10) percent increase or decrease to the overall *gross residential density* of the TND as compared to the city council approval;
  - c. Up to a ten (10) percent shift in the individual *development parcel gross area* or configuration, as compared to the city council approval.
2. Requests for an administrative *amendment* shall require the following:
  - a. The master *developer*, or the specific *applicant* if the master *developer* is no longer involved in the project, shall provide the city with a "revised TND plan of development" that reflects any and all administratively approved *alterations* to date.

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- b. No further applications for *plats*, *site plans*, or *building permits* shall be submitted to the city until after the administrative *amendment* request has been determined; and if approved, a new "revised TND plan of *development*" showing the latest approved *amendment* has been submitted back to the city.
    3. Administrative *amendment* to the TND plan of development shall not be allowed if:
      - a. Any *amendment* would require backbone infrastructure (water and wastewater) upsizing, or change the parameters for the master drainage design, or change the amount or intent of the *open space* component of the TND as compared to the initial approval.
    4. Any *alteration* to the "TND plan of *development*" that exceeds the limits set for administrative approval, as listed above shall require city council action as a TND *amendment*.
  - C. Incentives.
    1. The TND *zoning district* complies with the neighborhood character area of the *General Plan* by allowing a variety of residential development types and specific supportive commercial. Additionally, the ratios *used* for defining the mix of required land *uses*, delineated in **Table 106-4a**, are based on *dwelling unit* and population as described in the *General Plan*. Thus a *General Plan amendment* should not be required, provided all other provisions of the city *General Plan* are satisfied.
    2. After the TND *zoning* and the associated TND plan of *development* is approved by the city, through the public hearing process, further *rezoning* of the individual *development parcels* will not be necessary provided development adheres to the approved TND plan of development.
    3. The city allows for certain infrastructure improvements within the *public right-of-way* to be calculated as *open space* if certain *amenities* are provided or design aspects are utilized (see the PEDS in **Chapter 107** for specific details).
    4. The TND residential (TND-R) overlay is the only *zoning district* where the "shared court" (commonly known as four-packs and five-packs), "shared cluster", "mansion *apartment*", or rowhouse/[townhome](#) housing products are permitted to be utilized in the city (see PEDS, **subsection 2.5E** for specific details).

(Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

**Section 106-4.4**

**Sec. 106-4.4. Development standards.**

- A. The specific development standards for the TND *zoning district* are outlined in **Table 106-4b** and **Table 106-4c** below. Each *lot*, regardless of the product type or land *use*, shall adhere to the development standards outlined in the following tables.
1. All *multi-family* projects shall provide one hundred fifty (150) square feet of on-site *open space* per *dwelling unit*, which shall include surfacing and safety features such as lighting, and *amenities* that enable residents to *use* the *open space*. Acceptable types of *open space* are listed below.
    - a. Common *open space* (excluding *setbacks*) with a minimum dimension of fifteen (15) feet in any direction that is accessible to all *dwelling units* by sidewalks or local paths. The space shall be oriented to maximize afternoon shade, unless site conditions such as topography warrant waiving this requirement by the community *development* director or designee.
    - b. Individual balconies or patios (excluding front stoops) may be *used* for up to twenty-five (25) percent of the required *open space*. To qualify as *open space*, balconies or patios must be at least forty (40) square feet with no dimension less than five (5) feet.
    - c. Rooftop decks and terraces may be *used* to meet up to fifty (50) percent of the required *open space*, provided the space provides *amenities* such as seating areas, barbeques, fireplaces, recreational spaces, shade and landscaping.
    - d. On-site indoor recreation areas may be *used* to meet up to twenty-five (25) percent of the required *open space* provided the space is designed for communal *use* by all residents and provides space for entertaining, gathering, or exercise equipment and fitness activities.
    - e. Environmentally sensitive areas may count toward *open space* requirements if integrated into the site design to be visible and usable by residents with features such as trails and benches. Sensitive or critical areas meeting these requirements may count for up to fifty (50) percent of the required *open space*.
- B. Deviations to the *development* standards in this section for any TND *zoning district* shall be considered part of a *rezoning* application and will be based on the individual characteristics of the TND *development*, including its topography, location, overall design and quality, the interface of its various components and the integration of the project into the overall community.
- C. All *development parcels* shall adhere to the approved TND plan of development.

Table 106-4b—Development Standards for TND-R Parcels								
Lot Categories	A <sup>9</sup>	B	C <sup>1</sup>	D <sup>1</sup>	E <sup>1</sup>	F <sup>1</sup>	G <sup>7</sup>	
Lot area (square feet)	2,000—3,499	3,500—4,949	4,950—7,999	8,000—11,999	12,000—17,999	18,000 and over	<i>Multi-family</i> 16,000	Commercial & MU 16,000
Min. lot width (sf)	35 <sup>8</sup>	40 <sup>8</sup>	50	70	80	90	N/A	N/A
Min. front setback (ft)	5 <sup>2</sup>	10 <sup>2, 5</sup>	12 <sup>2, 5</sup>	15 <sup>2, 5</sup>	25 <sup>4</sup>	30 <sup>4</sup>	15	15

Max. front setback (ft)	N/A	N/A	N/A	N/A	N/A	N/A	25	25
Min. side setback (ft)	5 <sup>3</sup>	5 & 7 <sup>3</sup>	5 & 8 <sup>3</sup>	5 & 10	10	10 & 15	10	10
Min. rear setback (ft) <sup>2</sup>	5	10	15 <sup>5</sup>	20 <sup>5</sup>	25	30	20	15
Max. bldg. height (ft)	30	30	30	30	30	30	45 <sup>6</sup>	35 <sup>6</sup>
Lot coverage %	70%	60%	50%	50%	50%	40%	60%	60%

Notes:

1. Minimum *lot* area of 4,000 square feet per *dwelling unit*; except *lots* in column A and B are permitted one (1) *dwelling unit*.
2. *Garage* face and embellishments shall be *setback* a minimum of ~~18.520~~ feet measured from any opposing property line; except rear *alley* loaded *garages*, which shall be *setback* ~~six-three (63)~~ feet from *alley* edge line. Any portion of the 3-foot setback that is not a part of a driveway or walkway shall be fully landscaped. Walkways providing access to dwelling entryways may be located within the landscaped area.
3. May be reduced to zero feet *setback* for *single-family dwellings* as *attached building* and separated by *common wall* along property line, and townhouses. End units must maintain the larger *setback*.
4. A covered front porch may encroach closer to the *street* by up to eight (8) feet.
5. A covered porch may encroach into the *setback* by up to five (5) feet.
6. The *height* of any *structure*, or portions thereof, shall not exceed 30 feet in *height* measured at the *setback* line when *adjacent* to *single-family* or *two-family lots*. The *height* of the *structure* may increase at a ratio of one-foot vertical for every one-foot *setback* horizontally, as measured relative to the property line, to the maximum allowed *height*.
7. Minimum *lot* area of two thousand five hundred (2,500) square feet per *dwelling unit*.
8. TND projects shall contain no more than fifty (50) percent of lots less than forty ~~eight (4840)~~ feet wide and will include mitigating designs outline in **Chapter 108** of this ordinance.
9. Only be used for a residential development with access for each dwelling unit provided by a common shared drive or rear-loaded alley.

**Table 106-4c—Additional Development Standards**

	TND-C	TND-MU <sup>1</sup>	TND-OS
Min. lot area (sf)	6,000	16,000	N/A
Min lot area per dwelling unit (sf/du)	N/A	2,000	N/A
Min. setback to arterial ROW (ft) <sup>1</sup>	20	20	15

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Min. setback to collector and local ROW (ft) <sup>1</sup>	15 <sup>2</sup>	20 <sup>2</sup>	15
Min. setback adjacent to residential zoning (ft) <sup>1</sup>	10 <sup>3</sup>	10 <sup>3</sup>	15
Min. setback adjacent to non-residential zoning (ft)	15	20	15
Max. bldg. height (ft) <sup>4</sup>	40	45	35

Notes:

1. *Setbacks* shall not include any *parking spaces* or *drive aisles* except *ingress and egress*.
2. *Setback* may be reduced to ten (10) feet for units that open to the *street* and exclude a perimeter wall.
3. *Setback* increased to twenty (20) feet from *single-family* residential.
4. The *height* of any *structure*, or portions thereof, shall not exceed thirty (30) feet in *height* measured at the *setback* line when *adjacent* to *single-family, two-family, three-family development parcels*. The *height* of the *accessory structure* may increase at a ratio of one-foot vertical for every one-foot horizontal as measured relative to the property line to a maximum *height* equal to the *zoning*.

(Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

**Section 107-4.3**

**Sec. 107-4.3. R-1, R-2, and SHD-RO residential provisions.**

- A. *Off-street parking* spaces within the front *yard* shall be utilized solely for the parking of licensed and operable passenger vehicles and in addition to **Chapter 54, Article IV** of this Code the regulations below shall apply:
1. The *recreational vehicle* or utility trailer stored in the rear or *side yard* shall be behind the front line of the primary *structure*.
  2. Placement of a *recreational vehicle* or utility trailer other than the rear or *side yard* for loading and unloading purposes may be permitted for a period not to exceed seventy-two (72) hours up to two (2) times per month.
  3. No person shall *park a truck* on any *lot*, except while loading and unloading the *truck*, while services are being provided to the residence by the *truck's* occupant, or for a period of time to exceed twenty-four (24) hours.
- B. The *off-street parking spaces* within the front *yard* shall not be *used* for storage of commercial equipment.
- C. Residential parking and driveway areas shall be constructed and maintained, with the required *parking space(s)* being located on and *accessed* by a dust-proof surface.
- D. Driveway entrances and *off-street parking* spaces within the *front yard* shall not comprise more than thirty (30) percent of the *front lot line*, except that each *lot* is permitted one driveway up to eighteen (18) feet wide.
- E. [Residential on-street parking shall not be permitted on trash days for any lot 40' wide or less.](#)
1. [Lots 40' wide or less shall be signed "No Parking on Trash Days" for on-street parking.](#)
  2. [At the sole discretion of the City, driveways and garages shall be sized sufficiently to accommodate the parking restrictions on trash days.](#)
  3. [HOAs shall ensure that parking restrictions are acknowledged by buyers at the time of purchase.](#)
  4. [The additional off-street parking spaces required for developments with lots 40' wide or less, per Table 107-4c, for the purposes of visitor and overflow parking shall be geographically separate from the required parking for the development's community facilities and/or amenity area\(s\).](#)
  5. [The additional off-street parking spaces required for developments with lots 40' wide or less, per Table 107-4c, for the purposes of visitor and overflow parking shall be distributed across the development and adjacent to dwelling units.](#)

(Ord. No. 2021-17, § 1(Exh. A), 2-1-22)

**Section 107-4.4**

PART II - LAND DEVELOPMENT ORDINANCE  
Chapter 107 - DESIGN AND DEVELOPMENT REGULATIONS  
ARTICLE IV. PARKING AND LOADING REGULATIONS

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**Sec. 107-4.4. Multi-family, mixed use, and non-residential use provisions.**

- A. The minimum number of required *off-street parking spaces*, as outlined in **Table 107-4c**, may be reduced by the number of *on-street parking spaces abutting* the property lines of the *lot or parcel*.
- B. *Off-street parking* facilities shall be designed, constructed, and maintained in accordance with volume 1 of the PEDS and the specifications described below:
1. Parking, loading, and driveway areas will be paved with asphalt, brick, concrete, or other approved surfaces of comparable durability.
  2. Parking, loading, and driveway areas will be *graded* and drained utilizing low impact *development* (LID) methods and water harvesting of surface water run-off for watering of the required landscaping.
  3. Parking is prohibited in required *setback* and landscape areas.
- [C.] *Off-street parking* facilities shall provide landscape islands and landscape medians/walkways to provide shade trees and aid in capturing stormwater as follows:
1. One (1) parking *lot* island with one (1) foot of ribbon curbing shall be provided every ten (10) *parking spaces* and at the end of each parking row.
  2. Landscaped medians/walkways shall be provided for every third double rows of parking when the parking exceeds thirty (30) spaces per row.
  3. Where wheel stops are not *used* the width of the *abutting* landscape median or sidewalk shall be increased in by at least two (2) feet.
  4. Exceptions may be made for *parking spaces* that are covered utilizing solar panels as the shade *structure*.
- [D.] When permitted in commercial or industrial *zoning district* parking and storage of *trucks* shall be within the *screened* storage area or a loading zone of an approved *site plan* and under the specific conditions outlined within this Code.
- E. Residential on-street parking shall not be permitted on trash days for any lot 40' wide or less.
1. Lots 40' or less shall be signed "No Parking on Trash Days" for on-street parking.
  2. At the sole discretion of the City, driveways and garages shall be sized sufficiently to accommodate the parking restrictions on trash days.
  3. HOAs shall ensure that parking restrictions are acknowledged by buyers at the time of purchase.
  4. The additional off-street parking spaces required for developments with lots 40' wide or less, per Table 107-4c, for the purposes of visitor and overflow parking shall be geographically separate from the required parking for the development's community facilities and/or amenity area(s).
  5. The additional off-street parking spaces required for developments with lots 40' wide or less, per Table 107-4c, for the purposes of visitor and overflow parking shall be distributed across the development and adjacent to dwelling units.

(Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

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(Supp. No. 59)

**Section 107-4.G**

**Sec. 107-4.9. Minimum off-street parking requirements.**

- A. Each individual land use within the different zoning districts and overlay zoning districts shall provide the required number of off-street parking spaces as described in **Table 107-4c** below.
- B. The community development director or designee will determine if uses are significantly similar or dissimilar to particular uses not expressly listed in **Table 107-4c**. The parking requirement for uses that are significantly dissimilar to uses listed in **Table 107-4c** shall be determined by the community development director or designee. In such instances, the applicant will provide adequate information by which the proposal can be reviewed, which includes but not limited to the following:
  1. Type of use(s).
  2. Number of employees.
  3. Building design capacity.
  4. Square feet of sales areas and service area.
  5. Parking spaces proposed on site.
  6. Parking spaces provided elsewhere.

Table 107-4c—Parking Standards	
Uses	Min. Off-Street Parking Spaces
<b>Residential</b>	
Assisted living center (more than 10 residents)	0.5 per sleeping room
Assisted living home (10 or less residents)	2 per dwelling unit plus 0.5 per sleeping room
Dormitory	0.5 per sleeping room
Dwelling, live/work	2 per DU
Dwelling, multi-family (4 or more)	Studio-1B=1/unit, 2+B=2.0/unit plus 1 per 250 sf of office and community facility uses 0.2 spaces per DU dedicated to visitor parking
Dwelling, single-family	2 per DU <a href="#">plus 0.2 spaces per DU for lots 40' wide or less for visitor and overflow parking.</a>
Dwelling, two-family (duplex)	2 per DU
Dwelling, three-family (triplex)	2 per DU
Group home	Same as dwelling
Residential health care facility	2 per DU plus 0.5 per sleeping room
<a href="#">Townhouse</a>	<a href="#">2 per DU plus 1 per 500 sf of community facility uses and 0.2 spaces per DU dedicated to visitor parking</a>
<b>Commercial</b>	
Airport (private)	1 per 100 sf GFA of waiting room space or 2 spaces per craft staging/tie down pad
Amusement and/or theme park	1 per 600 sf outdoor public activity area
Animal boarding facility	1 per 375 sf GFA
Animal clinic	1 per 200 sf GFA
Animal grooming	1 per 200 sf GFA
Animal hospital	1 per 200 sf GFA

**Section 108-2.5**

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## Sec. 108-2.5. Lot planning.

- A. The *lot* arrangement and sizes shall be such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing *building permits* to build on all *lots* in compliance with **Chapter 106** of the LDO or in providing driveway *access* to *buildings* on such *lots* from an approved *street*. Prior to *final plat* approval the city may require additional documentation, including but not limited to engineering concept plans, for *lots* with questionable development ability.
- B. *Lots* shall be arranged in a contiguous pattern within a *block*; except where the *block* length or an *environmentally sensitive feature* warrants an easement either through the *block* to accommodate drainage or *access* for *multimodal* (pedestrian/bicycle/golf cart) traffic to adjoining *open space* or to preserve the *environmentally sensitive feature*.
- C. Flag lots or panhandle lots and other unorthodox *lot* layouts shall not be *platted*; unless approved by council, such as topographic constraints in environmentally sensitive areas or design methods that enhance *multimodal* (pedestrian/bicycle/golf cart) traffic.
- D. Lot dimensions.
1. The minimum *lot* size shall comply with the *lot* ranges within the *zoning districts* as described in **Chapter 106** of this ordinance; except that utility facilities using land or a *building used* only for equipment purposes (and not for human occupation) and requiring less than one thousand (1,000) square feet of site are exempt from the minimum *lot* size standards of all *zoning districts*. Individual tracts within a subdivision are also exempt from this provision.
  2. The depth-to-width ratio of the usable area of a residential *lot* shall not be greater than three to one (3:1), except in a *hillside* development area where flexibility may be allowed based on topographical considerations.
  3. Depth and width of properties reserved or laid out for *business*, commercial, or industrial purposes shall be adequate to provide for the *off-street parking* and loading facilities required for the type of *use* and development contemplated.
  4. Dimensions of *corner lots* shall be large enough to allow for erection of *buildings*, observing the minimum *setbacks* from both *streets*.
  5. All residential *lots* shall be designed such that the minimum *lot* width may be achieved at both the *front* and *rear setback* lines.
  6. Residential *lots* that are less than fifty (50) feet wide are encouraged to have vehicular access from an *alley*.
- E. *Side lot lines* shall be at right angles to the *street* the *lot* faces, or radial to curved *street* lines, unless topographic conditions necessitate a different arrangement acceptable to the community development director or designee.
- F. Lot frontage.
1. Every *lot* shall have a minimum *frontage* width of thirty (30) feet on a public or *private street*, except *townhouse* lots which shall have a minimum frontage width of twenty (20) feet on a public or private street, and every *lot* shall have direct *access* to the improved circulation system either by said *street* or by *alley*.
  2. No residential *lot* of record shall derive direct *access* to a *roadway* classified as an arterial or *parkway*, except *multi-family* developments designed with an on-site turnaround and comply with *roadway access* management policy standards.

3. Residential *lots* that are zoned rural residential (RR) and have a minimum *lot* width of two hundred (200) feet may take direct *access* to collector *roadways*; egress from the *lot* shall be only in a forward motion.
  4. Commercial and industrial *lots* may take *access* to a *roadway* classified as an arterial or *parkway* when designed with an on-site turnaround and comply with *roadway access* management policy standards.
  5. Commercial and industrial *lots* may be required to be served by a combined shared *access* drive to limit the number of possible traffic hazards; driveways shall be designed and arranged so vehicles *ingress and egress* from the property in a forward motion.
  6. Double *frontage* and reversed *frontage lots* shall be avoided except where necessary to provide separation of residential development from traffic arterials or to overcome specific constraints of topography and orientation.
- G. Narrow lot subdivisions. Subdivisions with a homogenous design of *lot widths* narrower than fifty (50) feet cause numerous long-term conflicts and constraints for city services, design standards, parking, and quality of pedestrian movement over the lifespan of the neighborhood. In order to mitigate these problems, the designs listed below may apply to residential project that permit a given percentage of lots as calculated across whole subdivisions or preliminary plats to be narrower than fifty (50) feet wide according to **Table 108-2a**. Mitigating designs for plat are outlined below and home product designs are identified in the PEDS.
1. Rear loaded alleys.
  2. Evenly distribute narrow lots among lots that are fifty (50) feet wide or greater.
  3. Public off-street parking areas within one-eighth (1/8) mile of every narrow *lot*.
  4. Dedicated solid waste pickup locations with curb markings, preferably between the smaller separation of matching/mirrored driveways.
  5. Incorporate lot diversity within a plat with at least twenty-five (25) percent of lots that exceed the minimum lot width by five (5) feet.
  6. Other designs may be proposed that vary from the strict provisions of this section in such a manner that intent is maintained with such modification.

Table 108-2a—Narrow Lots Subdivision	
Allowed Lots Less than 50' Wide per Subdivision Plat	Mitigating Designs
Up to 10%	No more than two such <i>lots</i> shall <i>abut</i> one another
Up to 25%	Any 1 design
Up to 50%	3 mitigating designs
Up to 100% of lots 48'—50' wide	Matching/mirrored driveways with dedicated solid waste pickup locations

(Ord. No. 2024-03, § 1(Exh. A), 3-5-24)

**Planning and Engineering Design Standards**

CHAPTER 2: NEIGHBORHOOD LAND USES

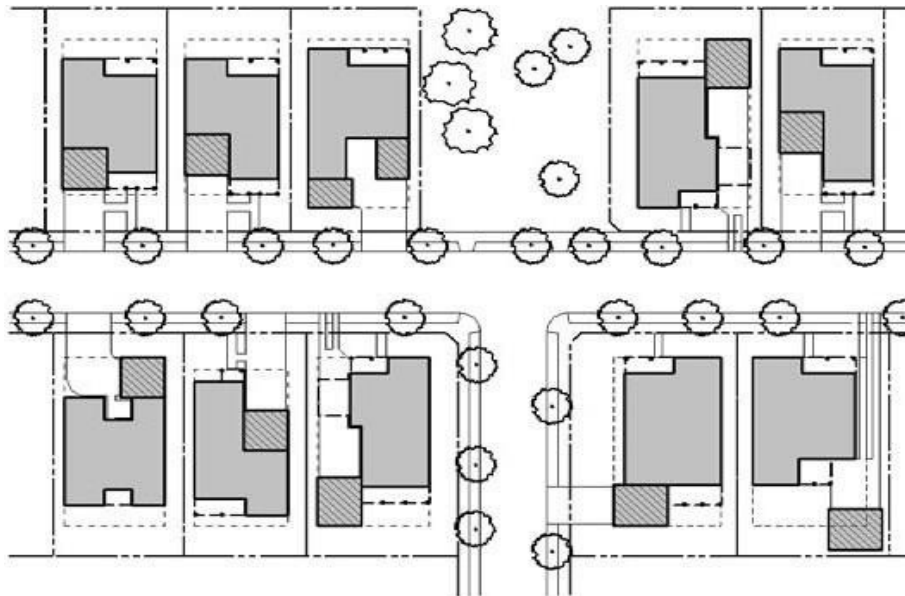
2.1 GENERAL LAND/SITE DESIGN & DEVELOPMENT

- A. The development plan shall be interconnected through the open space, landscaping, and its visual design characteristics.
- B. Large development plans proposed for phased development shall be planned and designed so that each phase is complete and can exist independently in terms of the functionality of its infrastructure and circulation systems as well as the drainage.
- C. When allowed, high-density residential and non-residential development shall be located within mixed-uses projects or adjacent to, and oriented toward, the arterial and/or collector roadways, transit/bus services, and the community's pedestrian circulation and trail system.
- D. Subdivision and street layout, lot orientation, and home design and siting, shall utilize the most advantageous solar orientation, climatic, and environmental conditions of the development site.
- E. Design of accessory elements such as group mailboxes and security huts and gates, transit/bus shelters, and streetscape shall be compatible with the architectural style and/or unique theme of the development or neighborhood in which it is located.
- F. Group mailboxes for residential developments shall be placed into an architectural structure that is strategically and conveniently located throughout as a part of the pedestrian circulation system features such as illumination, shade trees and benches for neighbor interaction. All group mailboxes shall be accessible to persons with disabilities.
- G. Multi-family & Non-residential Buildings in the Neighborhood Land Use: Trash and refuse collection containers shall be screened from public view with a six foot (6') decorative masonry wall enclosure and located such that they are not the visual focal point of a driveway or cannot be viewed from a public street. Those sites that can only locate the refuse containers in a highly visible location shall provide screening the containers with decorative latching gates at the opening to the enclosure.
- H. To reduce the impact of ~~the garage dominant architecture~~ garage doors for single-family dwelling units, front-facing garage doors on a public street shall not comprise more than forty-five percent (45%) of the total linear frontage of the residential front elevation.
  - 1. Development plans may include up to ten percent (10%) of home products with additional options such as but not limited to front porch or patio that comprises of the remaining front elevation, or balconies within a subdivision may have garage doors up to sixty percent (60%) of the total linear frontage of the residential front elevation.
  - 2. For 3-car garages, garage proportions may be up to fifty percent (50%) on homes. Stalls will be separated such that no more than two (2) stalls are in the same vertical plane or adjacent to each other (i.e., provide a two-foot

(2') offset with architectural trim for at least one (1) stall or provide one (1) stall in a side-entry or tandem configuration).

- I. Subdivisions must create a more diverse street character, especially in the case of homogenous design of lot widths narrower than forty-eight feet (48') that causes numerous long-term conflicts and constraints for city services, design standards, parking, and quality of pedestrian movement over the lifespan of the neighborhood. All residential lots shall incorporate a combination of designs methods for site layout such as but not limited to those below, which can also act as a supplement the quantity and type of designs outlined for residential subdivisions Section 108-2.5 of the LDO (see **Illustration 10** below):
  1. Stagger the building frontage depths between adjacent lots;
  2. A five foot (5') or greater recess for the garage from the front plane of the home;
  3. A porte-cochere;
  4. A garage located in the rear of the lot utilizing a single or double- car drive adjacent to the home or accessed from an alley;
  5. A side-entry garage product as part of a variety of floor plans; or
  6. Decorative pavers or other driveway treatments to the menu of options.
  7. Garage doors with windows, raised or recessed panels, architectural trim, and/or single garage doors
  8. Architectural treatment above the garage such as windows or balconies
  9. Single-car driveways and garages (including tandem)
  10. Open carports,
  11. Matching, mirrored, and/or shared driveways,
  12. At least 2/3 of home products that fit on narrow lots must be two-story with the second story brought toward the front elevation.
  13. Other designs may be proposed that vary from the strict provisions of this section in such a manner that intent is maintained with such modification

**ILLUSTRATION 10**



- K.** Traditional Neighborhood Developments (TND) shall provide blended density residential neighborhoods that provide for and encourage different housing types (i.e. detached single-family, attached-product, duplex, [townhome/townhouse](#), shared court, shared cluster, mansion apartment, and live-work) and varying lot sizes within the same residential development parcel(s) and preferably on the same street rather than separating housing types by whole neighborhoods.

## 2.2 OPEN SPACE DESIGN AND PUBLIC PLACES

### A. GENERAL RESIDENTIAL OPEN SPACE DESIGN.

1. Multi-use pathways and equestrian trails uses as a secondary mode of travel and access throughout neighborhoods and the City shall be landscaped, provided with low level lighting for safety, and furnished to provide rest areas at transition points and other locations as determined to accommodate the specific needs of the community.
2. In the event retention basins are required, per the drainage analysis, they shall be developed as an amenity and landscaped to accommodate active and/or passive recreation. They shall be located and oriented to physically, functionally, and/or visually connect with other open space areas and the abutting open space of neighboring development plans.
3. Retention basins with a bottom area in excess of one-half acre (1/2ac), shall be designed, turfed in a manner to accommodate a play/sport field rather than being landscaped with decomposed granite. All structures and play equipment are to be located above the 100-year, 2-hour high water line and an ADA path provided to the structures.

3. Rooftop decks and terraces may be considered as common open space provided these areas contain amenities such as seating areas, barbecues, fireplaces, recreational space, shade structures and landscaping as an integral component of the areas.
4. On-site indoor recreational areas may be considered as open space if the area(s) are designed for communal use by all residents and provide space for entertaining, gathering, or fitness activities.

## 2.3 CIRCULATION DESIGN

### A. GENERAL STANDARDS.

1. All proposed residential developments shall provide a Traffic Impact Analysis (TIA) for the proposed development. If as a result of the traffic analysis, it is determined that a new roadway(s) at the Arterial classification level is necessary to serve the development a General Plan Amendment may be required. The TIA shall be used to determine projected traffic volumes, desired operating speeds, projected traffic types, projected construction phasing, and determine the need for new traffic signals.
2. Local streets shall utilize either the alternative or standard cross section (see **Illustration #1A** and **#1B** herein).
3. Collector streets in new residential developments shall be located to minimize cut-through vehicular traffic on the local streets and through the neighborhoods, by utilizing a modified grid street pattern.
4. Streets classified as a Parkway, Arterial, and/or Collector shall utilize the City's most updated cross section with a detached sidewalk design with the resulting *landscape strip*.

### B. ROADWAY DESIGN.

1. Within the hierarchy of existing and proposed two-way City streets, a minimum unobstructed pavement width of twenty-six feet (206'), with a minimum vertical clearance of fifteen feet (15') shall be provided for fire apparatus access. The unobstructed pavement width for fire apparatus may be reduced to a minimum of twelve feet (12') in developments where median divided streets exist.
2. New collector streets within a residential development may require a landscaped multi-use path in addition to the on-street bicycle lane to connect with a regional trail system.

4. The creation of new dead-end streets shall not be permitted in a TND Development. All thoroughfares shall terminate at other thoroughfares, forming a network. Internal thoroughfares shall connect wherever possible to thoroughfares on adjacent sites or developments, except when constrained by topography.

**D. ACCESS.**

1. A subdivision development may be permitted “limited access” points to the surrounding collector and arterial streets at a quarter mile (¼) spacing and “full access” points on the half mile (½) and full mile spacing; where supported by the Traffic Impact Analysis (TIA) and accepted by the City Traffic Engineer.

2. The use of alleys with rear garage configurations and entry access points may be considered as a means of vehicular and pedestrian access to a residential lot.

2.3. The use of shared open space courtyards or tracts with entry access points may be considered as a means of pedestrian access to a residential lot.

- ~~3.4.~~ Alleys shall be paved, well-lit and designed for pedestrian connectivity and view-fencing rather than solid fencing along the rear property lines to further enhance the safety, appearance, and use of the alley. Standard Detail cross-sections for alleys can be found in the **PEDS, Volume 2 Engineering Development Standards**.

- a. Minimum right-of-way or easement width of twenty feet (20');
- b. A twelve-foot (12') wide paved surface centered in the right-of-way, with pavement material, texture, pattern and strength selected to accommodate automobiles, garbage disposal trucks (when garbage pick-up is planned at the rear of the property), pedestrians, and bicycles;
- c. A four-foot (4') wide landscaped strips located on either side of the paved area of the alley. Landscaped strips will contain a combination of trees and shrubbery and architectural lighting consistent with the character of the neighborhood. The placement, type, height and spacing of landscape and lighting shall comply with the landscape and lighting standards set forth in this Ordinance;
- d. Opaque fencing along the rear property line abutting the alley line shall not exceed four feet (4') in height, except view fences may be permitted up to six feet (6') in height;
- e. Ribbon curbs (no gutters) to permit natural recharge of groundwater shall be required; except or unless, because of drainage conditions, additional engineered measures are required by the city manager or designee to facilitate stormwater runoff and drainage;
- f. No parking shall be permitted on an alley unless parking bays or pull outs adjacent to garages have been included and approved as part of the rear lane design; and

- g. When the alley is also used to collect garbage, storage bins containing trash for pick-up shall be placed on a designated surface integrated into the design of the landscape strip.

5. ~~All lots shall have frontage access onto a fully improved publicly dedicated or approved private street developed to “local street” standards and may have access by either the public/private local street or an alley refer to the Volume Two of the PEDS for specifics.~~ to an approved public or private road or alley, developed in accordance with the LDO, PEDS, EDS, and/or other applicable codes.

4.6. If the front door of any dwelling unit faces an alley, a concrete sidewalk must be provided along the alley to connect the front door to the sidewalk on a public or private street.

#### E. CIRCULATION AUXILIARY AMENITIES.

- 1. The planning and design of public transit and school bus stops within a master planned development and individual neighborhoods shall be considered and should at a minimum include an improved hardscaped space of adequate size for adults and/or children to safely gather and sit.
- 2. Private “pedestrian-only” walking paths (excluding cyclists, skateboarders, wheelchair, and equestrian uses) are allowed, when approval by the Community Development Director. Where permitted these paths shall:
  - a. Be a minimum of five feet (5’) in width; have a maximum grade of five percent (5%) ; be constructed of concrete, asphalt, permeable paving surface, or stabilized decomposed granite material.
  - b. Shall be lighted for pedestrian safety, in accordance with a City approved photometrics plan, and with pedestrian scaled (overhead or bollard style) light fixtures that are compatible with the character of the area, and spaced appropriately to provide an even, non-glare light level along the course of the walking path.
- 3. Parking Lots: Multi-family and non-residential buildings within the neighborhood land use shall be designed in an “up front” manner that locates buildings along the street frontage and the required off-street parking spaces located in the rear or to the side of the structures. Parking may also be designed beneath the structures to avoid interrupting the rhythm of the established streetscape and to make land on site available for gardens and courtyards rather than for surface parking. Parking lots shall be landscaped in accordance with **Chapter 107** of the LDO and utilizing the plant palette list in **Appendix C** herein.

## 2.4 LANDSCAPE AND STREETScape DESIGN

### A. LANDSCAPE STANDARDS.

- 1. Private Lots:
  - a. Individual residential lots shall be designed to minimize the use of

building height. Mechanical equipment shall be treated to be non-reflective. Electrical meters, service components, and SES cabinets should be screened from public view or designed to appear as an integral part of the building and painted to match the building.

3. Ground mounted mechanical equipment and building projections (other than roof eaves) shall not be located within the required “unobstructed” side yard setback and shall be screened from public view (see **Chapter 106** of the LDO for setback information).
4. All exterior elevations of a residential structure shall provide architectural detailing (360° architecture); not just the front elevation. Window embellishments shall be provided on all homes by adding architectural features which enhance the elevations, e.g. greater variation of window design, different window styles, recesses, surrounds, shutters, lintels and sills, gabled roof features over the windows, etc. Such features must be added to all of the exterior elevations of the structure, including second story windows, to provide interest and relief. In the case of residential construction this material wrap/wainscot shall continue along the side elevations to the point where it meets the side lot perimeter fence return.
5. The City strongly encourages new residential neighborhoods to meet Leadership in Energy and Environmental Design (LEED-ND) certification standards and building sites to utilize Low Impact Development (LID) technologies.
6. Production homebuilders shall provide a minimum of four (4) floor plans, with a minimum of three (3) distinctly different elevations for each floor plan; including a variety of products with front entries facing the street. Additionally, a minimum of three (3) roof pitches/styles/materials/colors, three (3) styles of garage doors, three (3) window designs/embellishments, and three (3) exterior paint colors shall be required as a standard feature to further promote visual interest and architectural diversity.
7. The developer/production home builder shall be responsible for assuring that no two similar rear building elevations and rooflines are allowed on adjacent lots that back to a public right-of-way.
8. The developer/production home builder shall be responsible for assuring that not more than two (2) of the same building elevations are on adjacent lots and on lots directly across the street from one another. For clarification, lots “directly across the street” are those where at least fifty one percent (51%) of the lot’s street frontage is directly across from the street frontage of the lot on the opposite side of the street (measured by extending sided lot lines to the street centerline).
9. Corner lots shall be limited to a single story home and the side elevation fronting the side street shall be fully embellished and the roofline varied.

**B. ATTACHED SINGLE-FAMILY DWELLINGS.**

1. All buildings shall have their main entrance fronting onto either a street or oriented towards and arranged around a shared open space courtyard/[tract](#) or [alley](#).

2. A variety of rooflines styles and heights shall be used as well as building projections and recesses. The structures shall have stylistic architectural design elements on all exposes building elevations. The architecture shall incorporate style-appropriate and varied door and window openings and architectural embellishments. A variety of front and rear porch configurations shall be used to provide functional yet varied architectural integrity to the buildings.
3. Brick, integral colored block, or slump block shall be used (not painted concrete masonry units) for buildings using masonry as the primary material.
4. Flat asphalt shingles shall not be permitted. Clay tile, concrete tile, architectural asphalt shingles, cementitious or fiberglass tiles, and standing-seam or corrugated metal shall be the permitted roofing material. Alternative roofing products shall require city approval.

**C. MULTI-FAMILY DWELLINGS.**

1. The residential development shall have a building frontage presence to the neighborhood street rather than a parking lot frontage. The front entry shall include a walkway to the street or surrounding neighborhood.
2. All multi-story buildings shall have unified and stylistic design elements present on all sides of the building(s). A variety of massing and building heights and stepping rooflines are strongly encouraged. Straight rooflines should be minimized by using offsets, differing heights, stepping, or different orientations to produce variety within a development.
3. Townhouses, duplexes, and triplexes in subdivisions or master planned communities shall incorporate design variation across buildings. Design variations shall include two or more of the following: a variety of roofline styles and heights, unit configuration, colors, materials, and door and window openings, as well as porch configurations. Straight rooflines should be minimized by using offsets, differing heights, stepping, or different orientations to create variety within a development.
- ~~3.4.~~ A color palette of earth tones shall be the predominate color used. The use of accent colors is encouraged to provide a festive and lively streetscape. Accent color, different from the dominate wall color, should, at a minimum, be used to accent entryways and special architectural features of a building.
- ~~4.5.~~ Reflective building materials are prohibited; except for the normal use of glass windows. Metallic surfaces, including roof materials, shall be treated to be non-reflective.
- ~~5.6.~~ The use of metal or corrugated metal as the primary building material is prohibited; it may however be used as an architectural accent or decorative element.
- ~~6.7.~~ All buildings shall harmonize architecturally with the residential character of the neighborhood as determined by the Community Development Director or designee.

**D. MODEL HOME COMPLEX**

1. Guidelines:
  - a. Seventy-five percent (75%) of plans constructed in a model home complex [for single-family dwellings](#) must be "non-garage dominant".
  - b. If any approved product line consists of one plan that provides a significantly recessed garage, that plan must be modeled.
  - c. If any approved product line consists of two or more plans that provide a significantly recessed garage, the number of those plans modeled will be determined by the city manager or designee.
2. Site standards:
  - a. Site design shall comply Sec 106-10.29 of the LDO.
  - b. Landscapes for model home complexes shall comply with the PEDS and Chapter 107 of the LDO.
3. A "zero-step" entrance shall be required for all model homes within the City of Surprise.
  - a. "Zero-step" entry shall have a floor or landing on each side of the primary entrance door. Such floor or landing shall be at the same elevation on each side of the door. Landings shall be level, except for exterior landings, which are permitted to have a slope not to exceed 0.25 units vertical in 12 units horizontal (two percent). Thresholds for such doors shall not exceed one-half-inch in height, and thresholds with changes in level greater than one-quarter-inch shall be beveled with a slope not greater than one unit vertical in units horizontal.
  - b. The city manager or designee may waive the requirement "zero-step" entry if it is found that it would prove to be cost prohibitive. Such cases however, the builder must still provide a zero-step entry into at least one model home and an ADA compliant pathway to all models.
  - c. Model signage. All new model homes and sales areas shall include signage that read - "Ask Us About Accessibility Options."
  - d. Education. An educational DVD shall be available to sales staff and potential homebuyers regarding the benefits of visitability.

**E. ADDITIONAL BUILDING TYPES IN TND DEVELOPMENTS.**

1. In order to create neighborhoods of blended densities; to provide a broad choice of housing types for lifelong livability and a diversity of needs; to promote walkability; and to enable appropriately-scaled and well-designed compatible land uses it is important for the TND to consider building types other than what might traditionally be expected.
2. The following four (4) types of housing products shall [only](#) be permitted in conjunction with the Traditional Neighborhood Development (TND) Zoning District (see **Chapter 106, Article 4** of the LDO):

**ILLUSTRATION 14 - Mansion Apartment**



Specifics: (minimum 10,000 SF lot)

- Min of 4 units (1,000-1,400 sq. ft. each; not including garages)
- One shared main entrance area off front porch. Unit division from within structure.
- Street frontage designed to reflect appearance and scale of a single-dwelling house to blend with neighborhood context.

**ILLUSTRATION 15 – Row House/~~Townhome~~[Townhouse](#)**



Specifics: (minimum 4,000 SF lot/DU)

- Consists of 4–8 rowhouses placed side-by-side that
- Front to a public street
- Transitions from a traditional detached single-family neighborhood into a higher

**E. NON-RESIDENTIAL BUILDINGS IN THE NEIGHBORHOOD LAND USE.**

1. Non-residential structures shall be designed to create transitions to the surrounding residential development with the size, massing and height of the structure relating to the prevailing scale of the adjacent residential neighborhood.
2. Taller buildings shall be made to appear less imposing by stair-stepping building heights and rooflines back from the property lines, breaking up the mass of the building, providing a broader open space/landscape area as foreground for the building, and providing a building frontage presence to the neighborhood street rather than a parking lot frontage.
3. Assembly Uses may be required to provide a traffic study, depending on the specific location.

**2.7 RESIDENTIAL SOLID WASTE GUIDELINES**

**A. GENERAL STANDARDS.**

cd. 32'- no parking in front of barrel.

13. Developments with more than two (2) abutting lots of less than fifty-feet (50') wide shall be signed "no parking on trash days"
14. Single-family developments with lots forty-feet (40') wide or less shall be signed "No Parking on Trash Days".
15. At the sole discretion of the City, driveways and garages shall be sized sufficiently to accommodate the parking restrictions on trash days.
16. HOAs shall ensure that parking restrictions are acknowledged by buyers at the time of purchase.

**B. CLUSTER HOMES, SHARED DRIVEWAYS, AND DEADEND ALLEYS**

1. Each unit must have a predetermined location for a minimum of two containers (trash and recycle) per unit (2/du). Containers shall have a designated location on the street with a permanent marking on the curbing identifying address or unit number. Show all container locations, with addresses on site plan, for visibility triangle, refer to latest version of engineering and design standards.
2. Designated container location ~~may~~ shall be signed "no parking on trash days". There should be fifteen feet (15') of space from the start of the no parking area to the first container. Containers should have a minimum seventy- eight inches (78") spacing center to center of container. There should be fifteen feet (15') of space from the last container to the end of the no parking area.
3. Placement designations will not be located near cluster mailboxes.
4. The required use of identified locations should be included in the homeowners conditions covenants, and restrictions.
5. Designated container locations will also be used for bulk collection for each unit.

**APPENDIX A – GLOSSARY OF TERMS**

**A. General Terms.** For the purpose of carrying out the intent of these Planning and Engineering Design Standards (PEDS), certain terms or words used herein shall be interpreted or defined as follows:

1. Words used or defined in one tense or form shall include other tenses and derivative forms; words used in the singular include the plural; and words in the plural include the singular.
2. The words “shall”, “must”, and “will” are mandatory and not permissive.
3. The words “should”, “encourage, and “may” are permissive.
4. The word “person” includes an individual, tenant, lessee, firm, co-partnership, joint venture, corporations, associations, estate, trust, receiver, or and any other group or combination acting as a singular entity, including the federal government, another city, county, or school district, except as exempt by law.
5. The following words or terms when applied in these PEDS may be used interchangeably unless contrary to the circumstances: lot, plat, parcel or premise; and “building” applies to the word “structure”.

**B. Abbreviations.** The following abbreviations and/or acronyms shall have the following meaning:

<i>APS</i>	Arizona Public Service Electric
<i>A.R.S.</i>	Arizona Revised Statutes
<i>PEDS</i>	Planning and Engineering Design Standards

**C. Italicized.** Words or phrases throughout the PEDS which are expressed using italics shall assume the meaning as ascribed in this Appendix. Words or phrases not expressed in italics shall assume the common meaning of the word or phrase unless such word or phrase is otherwise included herein this Appendix.

**D. Specific Terms.** The following specific terms, words and phrases shall, for the purposes of understanding these standards, have the following definitions and meanings:

---

**A.**

***Adaptive Reuse:*** The conversion of historic or obsolescent building(s) from their original or most recent use to a new use representing compatible and appropriate change.

***Apartment Complex:***

***Archeological Resource:*** Any material remains of past human life or activities that are of historic or pre-historic significance. Such material includes, but is not limited to, pottery, basketry, bottles, weapons, weapon projectiles, tools, structures or portions of structures, pit houses, cultural landscapes, rock paintings, rock carvings, intaglios, graves, skeletal remains, or any piece of any of the foregoing items (see *cultural resource* herein).

street and are given equal space, consideration and safety issues. Complete streets also create a sense of place and improve social interaction as they encourage walking, biking and transit as viable transportation options.

**Cluster Development/Subdivision:** Concentration of development on only a portion of a site, allowing *environmentally sensitive features*, [recreation areas](#), [open space](#), and areas to be protected with no loss in the number of lots and maintaining the overall density of the site. It requires transferring density on the same site and the undeveloped land to be permanently retained for open space, habitat, or conservation of *environmentally sensitive features*.

**Cultural Resources:** An aspect of a cultural system that is valued by or significantly representative of a culture, or that contains significant information about a culture.

**D.**

**Detached Sidewalk:** A sidewalk that is separated from the street by a *landscape strip* that is measured from the back of the street curb and runs continuously along the length of the street.

**Disturbed Area:** The area of natural ground that has been, or is proposed to be, altered through grading, cut and fill, removal of natural vegetation, placement of material and equipment, trenching, or by any means that causes a change in the undisturbed natural surface of the land or natural vegetation.

**E.**

**Environmentally Sensitive Features:** Elements in the landscape that play a particularly large role in sustaining the natural environment and ecosystem and supporting wildlife and plant diversity, but at the same time are especially sensitive to degradation such as: *hillside development areas; important habitat; protected native vegetation; significant rock outcroppings; significant stands of vegetation; ridgelines; steep slopes; water features; wildlife corridors* (as further specified in **Chapter 104** of the **LDO**).

**F.**

**Floodplain:** Any land area susceptible to being inundated by water from any source. It may or may not include a *floodway*.

**Floodway, one hundred-year:** The channel of a river or other watercourse and the adjacent land areas which must be kept free of encroachment in order to carry and discharge the 100 year flood without substantial increases in flood height.

**Fore/Courtyard:** a building frontage where the building facade is aligned close to the front property line with a portion of the facade set back. The resulting forecourt and/or interior courtyard are suitable for gardens, restaurant seating, or an entry plaza. A short wall may also be placed at the property line.

**G.**

**PROPOSED TEXT AMENDMENT**  
**SURPRISE LAND DEVELOPMENT CODE § 101, 106, 107, 108**  
**PLANNING AND ENGINEERING DESIGN STANDARDS**

Citizen Participation Report

August 15, 2025

Case #: FS24-1275

## **1. METHODS OF OUTREACH**

The applicant provided opportunities for neighborhood input via two neighborhood meetings and ongoing communication with interested stakeholders. The City of Surprise provided the required notices for the neighborhood meetings and will also provide the required notices for the hearings, which have not yet been scheduled.

### **Neighborhood Meeting**

The first neighborhood meeting was held on April 9, 2025, at 6:00 p.m., at the Surprise Regional Library, Program Room, 16089 N. Bullard Avenue. Three Surprise residents attended the meeting. The sign-in sheet is included in Appendix A. The representative discussed the proposed amendments to the Surprise LDO and the PEDS at the meeting.

The second neighborhood meeting was held on August 13, 2025, at 6:00 p.m., at Windmill Suites Surprise, Arizona Room; 12545 W. Bell Road. One Surprise resident attended the meeting. The sign-in sheet is included in Appendix A. At the meeting, the applicant team discussed the additional proposed amendments to the Surprise LDO, which included the proposed change to the R-1 zoning district for homes with RV garages, the proposed change to the TND-R district to permit townhouses, and the proposed change to SHD-RO to allow townhouses with a Conditional Use Permit. Two display boards were shown at the meeting to help facilitate the discussion about the housing product types being proposed. The boards are included in Appendix B.

### **Correspondence**

Throughout the amendment process, the applicant team received emails from interested stakeholders, who represent, or are, homebuilders that have active projects in Surprise. The stakeholders asked for information about the proposed amendments to the LDO. The applicant shared the draft application, including the proposed legislative edit, and remained in contact with most of these stakeholders.

## **2. SUMMARY OF INPUT**

Homebuilder stakeholders inquired about the proposed standards that would support the “missing-middle” housing product types they would like to build in Surprise. Neighbors who attended the first neighborhood meeting were interested in learning more about the types of housing and density that would be allowed if the proposed amendment is approved. The neighbors

discussed how this proposed amendment could create more housing near their neighborhoods. The resident in attendance at the second neighborhood meeting generally did not like the idea of townhouses in Surprise, but after discussing with the applicant team and City staff, they indicated that they were not completely opposed to townhouses and seemed to understand why townhouses would be a housing type offered in Surprise.

## **APPENDIX A**

### Neighborhood Meeting Sign-in Sheets

*This Sign-In Sheet is a Public Record*

PLEASE PRINT

Name	Email	Address
Susan Draper	[REDACTED]	[REDACTED]
Michele Staples	[REDACTED]	[REDACTED]
Kimberly Virostek	[REDACTED]	[REDACTED]

*This Sign-In Sheet is a Public Record*

PLEASE PRINT

Name	Email	Address
Christina Zamorano	[REDACTED]	[REDACTED]

## **APPENDIX B**

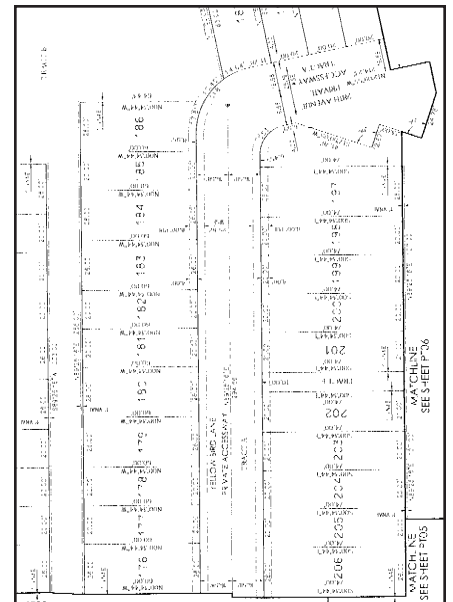
Boards Displayed at 2<sup>nd</sup> Neighborhood Meeting

# 23 & 17 NORTH PHOENIX, AZ

TWO RESIDENTIAL DEVELOPMENTS BY  
K. HOVNIANIAN HOMES

23: NE OF NORTHERN RD AND 23RD AVE  
17: NE OF INTERSTATE 17 AND JOMAX RD  
FRONT-LOADED, ATTACHED TOWNHOMES

- BUILDING HEIGHT: 2-STORY
- TYPICAL DENSITY: 10-15 DU/AC
- MIN. LOT SIZE: 20'X60' WITH 3' APRON  
20'X74' WITH DRIVEWAY
- MIN. LOT AREA: 1,200 SF OR 1,480 SF
- FRONT DOORS ON PUBLIC STREET



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**SURPRISE LDO TEXT AMENDMENT • RESIDENTIAL HIGH DENSITY (R-3)**

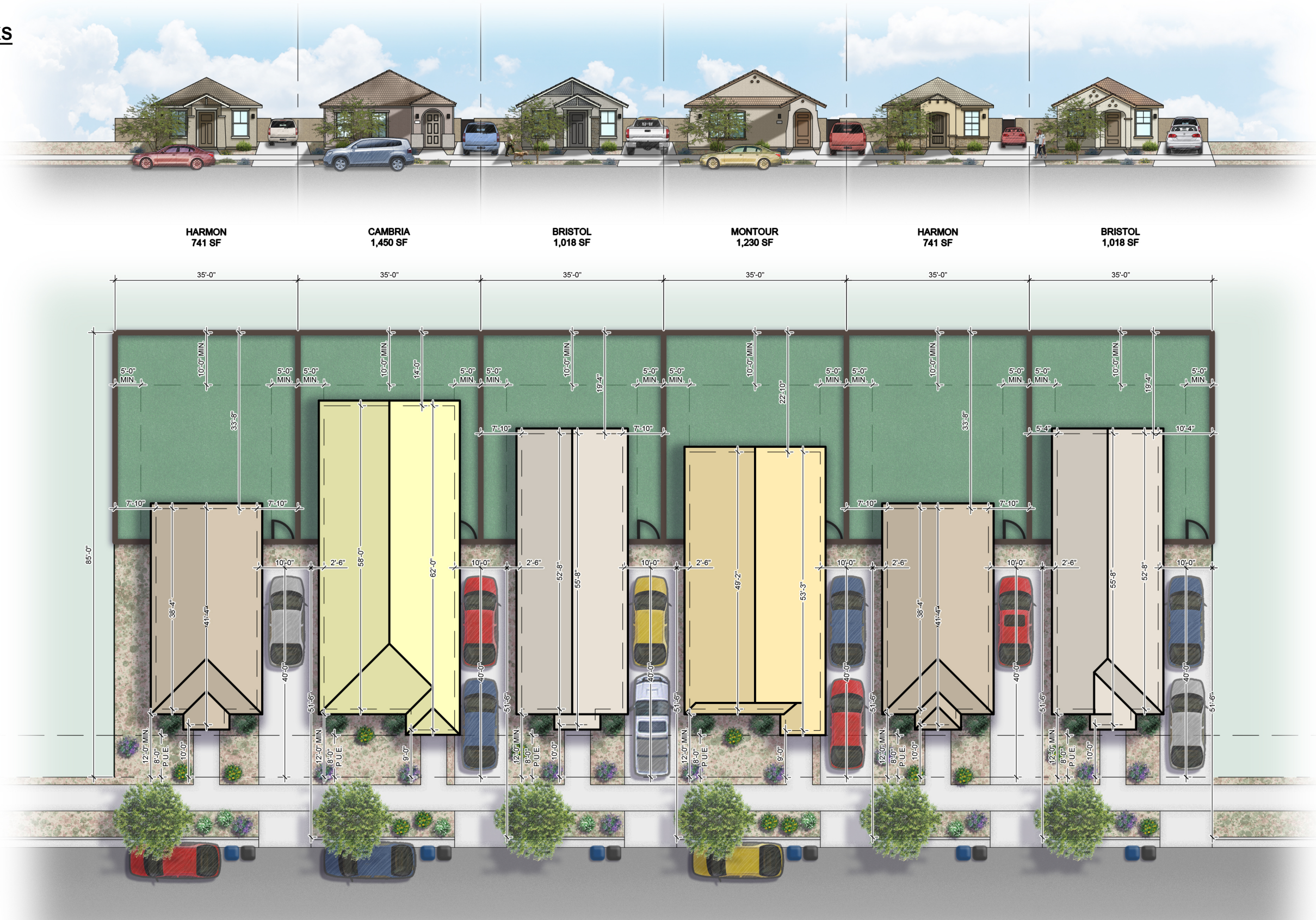
- 📍 SURPRISE, AZ
- 📅 2024-08-14
- # 24005636
- 👤 GILBERT BLILIE, PLLC

**BUILDING SETBACKS**

FRONT: 12'

REAR: 10'

SIDE: 5'/5'



# **ZONING TEXT AMENDMENT – RESIDENTIAL DEVELOPMENT STANDARDS FS24-1275**

**Planning & Zoning Commission  
October 16, 2025**



**SURPRISE**

ARIZONA

# Background

- Applicant has identified certain limitations/ambiguity in the LDO
  - These either hinder or prohibit certain home product types
- Applicant is proposing changes to provide clarity and increase variety in lot/home product types



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# Affected Codes

The proposed changes affect the following sections of the City Code:

- Section 101-2.2 Glossary of terms
- Section 106-1.8 Compliance with other provisions (use table)
- Section 106-2.3 Residential low density (R-1)
- Section 106-2.4 Residential medium density (R-2)
- Section 106-2.5 Residential high density (R-3)
- Section 106-3.2 Design and development standards in the SHD zoning district



# Affected Codes - Continued

The proposed changes affect the following sections of the City Code:

- Section 106-4.3 Review and process
- Section 106-4.4 Development standards
- Section 107-4.3 R-1, R-2, and SHD-RO residential provisions
- Section 107-4.4 Multi-family, mixed use, and non-residential use provisions
- Section 107-4.9 Minimum off-street parking requirements
- Section 108-2.5 Lot planning
- Planning & Engineering Design Standards (PEDS)



# Summary of Changes

## Glossary of Terms & Land Use Table

- Modifications to definitions of:
  - Dwelling, single-family
  - Townhouse
- Revised definitions create distinction between the two
- Townhouse added as a separate use category within the use table
  - Clear separation and appropriate allowances



# Summary of Changes

## Residential Low Density (R-1)

- Increase max lot coverage in Lot Category B of R-1
  - Only applicable when RV garage is provided

## Residential Medium Density (R-2)

- Clarifications to differentiate between housing types
- Specificity for townhouses
- Reductions in minimum standards
- Supporting changes to setbacks and subdivision requirements



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# Summary of Changes

## Residential High Density (R-3)

- Second, separate development standard table for townhouses
  - Clarifications for townhouses
  - Distinctions from other R-3 products (multi-family)

## Surprise Heritage District – Residential Overlay (SHD-RO)

- Mirror changes made in R-3
- Added at the request of staff



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# Summary of Changes

## Traditional Neighborhood Development (TND)

- Changes mirror those in the other districts
- Ensure consistency and avoid conflict

## Other supporting changes

- Amendments to Sections 107 and 108 of the LDO, and the PEDS
- Support and accommodate other changes
- Parking, trash collection, lot frontages, access, product design



# Neighborhood Outreach

- April 9, 2025
- Surprise Regional Library
- Public Attendance: 3
- August 13, 2025
- Windmill Suites Surprise
- Public Attendance: 1

Questions and comments on housing types and densities, and proximity to their existing neighborhoods



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# Recommendation

Throughout the review process, staff collaborated with the applicant to ensure the proposed amendments provided clarity and consistency within the code, provided for a variety of housing product types, and was consistent with recent housing bills passed by the state legislature.

Staff recommends the Commission recommend **approval** to City Council



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# Questions or Comments?

THANK YOU



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