



CITY OF SURPRISE
Regular City Council Meeting Agenda
16000 N. Civic Center Plaza
Surprise, AZ 85374

Tuesday, October 3, 2017 @ 6:00 PM
COUNCIL CHAMBERS

[Back](#) [Print](#)

A. Call To Order

B. Roll Call

C. Pledge of Allegiance

D. PROCLAMATION AND COMMUNITY ACKNOWLEDGEMENTS

District Citywide [A proclamation acknowledging Manufacturing Day will be presented to representatives of local manufacturing companies.](#) None
Mayor
Sharon
Wolcott

District Citywide [A proclamation recognizing October as Domestic Violence Awareness Month. Mayor Sharon Wolcott will present the proclamation to Laura Horsley, Executive Director, Eve's Place.](#) None
Mayor
Sharon
Wolcott

E. City Manager Report:

District Citywide [The American Heart Association will be presenting the Mission: Lifeline EMS-Gold Plus Achievement Award to our Surprise Fire-Medical Department.](#) None
Bob
Wingenroth,
City
Manager

F. City Attorney Report:

G. City Clerk Report:

District 3 [City Clerk Aguilar will administer the Ceremonial Oath of Office to the newly selected District 3 Councilmember, Patrick Duffy.](#) None
Sherry Ann
Aguilar, City
Clerk

District Citywide [City Clerk Aguilar will give a follow up report on National Voter Registration Day.](#) None
Sherry Ann
Aguilar,
City Clerk

H. Call To The Public:

INSTRUCTIONS: In order to address the City Council, you will need to fill out a Call to the Public Form available at the front counter, and then turn it in to the City Clerk before the meeting begins.
[Download the Call to the Public form](#) (PDF download requires [Adobe Acrobat Reader](#))

[Fill out the Call to the Public form online](#) If submitting form electronically, please submit to City Clerk at least one hour before the meeting start time.

The Call to the Public form is also available at the front counter.

Note: A.R.S. 38-431.01(H)- During this time members of the public may address City Council only on issues within the jurisdiction of the City Council which are not an item on the agenda. At the conclusion of the open call, City Council may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the City Council. There will be no separate discussion on these items unless a Councilmember requests, in which event the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

I. Regular City Council Meeting Agenda:

Consent Agenda:

- | | | | |
|----|-------------------|---|--|
| 1. | District Internal | <u>Consideration and action on an amendment to the fiscal year 2018 budget by reallocating appropriations of \$16,200 within the Grants and Contingency Fund in order to accept two grants from the Arizona Governor's Office of Highway Safety to support Fire-Medical's Impaired and Distracted Driving Campaign and Car Seat Program; Resolution # 2017-118.</u> | None
Chief Tom Abbott |
| 2. | District Citywide | <u>Consideration and action on the minutes of September 5, 2017 Special City Council Meeting and September 19, 2017 Regular City Council Work Session; Regular City Council Meeting and Executive Session.</u> | None
Sherry Ann Aguilar,
City Clerk |
| 3. | District Internal | <u>Consideration and action on an amendment to fiscal year 2018 budget and Capital and Operating List of Items Over \$50,000 by reallocating appropriations of \$195,000 from Asset Replacement to Disk Drive Storage for the purchase of technology replacements and software; Resolution # 2017-119.</u> | None
Tammie Hollowell,
Information Technology Director |
| 4. | District Citywide | <u>Consideration and action on an amendment of the fiscal year 2018 budget by reallocating appropriations in the amount of \$20,000 within the Grants Fund for the acceptance of an award from the Arizona Governor's Office of Highway Safety to support personnel overtime to enhance DUI Enforcement efforts in the City of Surprise; Resolution # 2017-117.</u> | None
Randy Rody,
Commander |
| 5. | District 1 | <u>Consideration and action on the final plat entitled, "Verdugo Master Plat" dated June 20, 2017, which identifies the locations of main roads, residential parcels, and drainage tracts on approximately 189.9 acres located on the northeast corner of Pinnacle Peak Road and 163rd Avenue.</u> | None
Sergio Angulo -
Community Development |

Regular Agenda Item - Public Hearing:

- | | | | |
|----|------------|--|--------------------------|
| 6. | District 3 | <u>Consideration and action on a rezone of approximately 10 acres from Residential Ranch (RR) to Residential Medium Density with Planned Unit Development (RM-9 PUD), generally located at the</u> | None
Robert Kuhfuss - |
|----|------------|--|--------------------------|

Regular Agenda Item - Non-Public Hearing:

- | | | | |
|----|------------|---|---|
| 7. | District 1 | <u>Presentation and discussion on FY2017 unaudited Financial Status Report.</u> | None
Lindsey
Duncan,
Finance
Director |
|----|------------|---|---|

J. Other Business and Future Agenda Items:

K. Mayor/Council Reports:

L. Executive Session:

For information Purposes; Upon a public majority vote of a quorum of the City Council, the Council may hold an executive session, which will not be open to the public, but for only the following purposes:

- discussion or consideration of personnel matters (A.R.S. §38-431.03 (A)(1));
- discussion or consideration of records exempt by law from public inspection (A.R.S. §38-401.03 (A)(2));
- discussion or consultation for legal advice with the city's attorneys (A.R.S. §38-431.03 (A)(3));
- discussion or consultation with the city's attorneys regarding the city's position regarding contracts that are the subject of negotiations, in pending or contemplated litigation, or in settlement discussions conducted in order to avoid or resolve litigation (A.R.S. §38-431.03 (a)(4));
- discussion or consultation with designated representatives of the city in order to consider its position and instruct its representatives regarding negotiations with employee organizations (A.R.S. §38-431.03 (A)(5)); or
- discussion, consultation or consideration for international and interstate negotiations or for negotiations by a city or town, or its designated representatives, with members of a tribal council, or its designated representatives, of an Indian reservation located within or adjacent to the city or town. A.R.S. §38-401.03 (A)(6)).
- discussing or consulting with designated representatives of the city in order to consider its position and instruct its representatives regarding negotiations for the purchase, sale or lease of real property (A.R.S. §38-431.03 (A)(7)).

Confidentiality Requirements Pursuant to A.R.S. §38-431.03(C)(D): Any person receiving executive session information pursuant to A.R.S. §38-431.02 shall not disclose that information except to the Attorney General or County Attorney by agreement of the City Council, or as otherwise ordered by a court of competent jurisdiction.

The council may vote to hold an executive session for the purpose of obtaining legal advice from the Board's attorney on any matter listed on the agenda pursuant to A.R.S. § 38-431.03(A)(3).

M. Adjournment:

SHERRY ANN AGUILAR, CITY CLERK, MMC

POSTED:

SPECIAL NOTE: PERSONS WITH SPECIAL ACCESSIBILITY NEEDS, INCLUDING LARGE PRINT MATERIALS OR INTERPRETER, SHOULD CONTACT THE CITY CLERK'S OFFICE @ 623.222.1200 OR TTY 623.222.1002, BY NO LATER THAN 24 HOURS IN ADVANCE OF THE REGULAR SCHEDULED MEETING TIME.



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date:	October 3, 2017	Contact Person:	Bob Wingenroth, City Manager
Submitting Department:	City Mgr	District:	Citywide
Staff Recommendations:	None		

Consent	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

The American Heart Association will be presenting the Mission: Lifeline EMS-Gold Plus Achievement Award to our Surprise Fire-Medical Department.

Motion:

Background:

Objective Analysis:

Policy Compliant:

Financial Impact:

Budget Impact:

FTE Impact:

ATTACHMENTS:

[Click to download](#)

No Attachments Available



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date:	October 3, 2017	Contact Person:	Chief Tom Abbott
Submitting Department:	Fire	District:	Internal
Staff Recommendations:	None		

Consent	x	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on an amendment to the fiscal year 2018 budget by reallocating appropriations of \$16,200 within the Grants and Contingency Fund in order to accept two grants from the Arizona Governor's Office of Highway Safety to support Fire-Medical's Impaired and Distracted Driving Campaign and Car Seat Program; Resolution # 2017-118.

Motion:

I move to approve Resolution # 2017-118.

Background:

The first of these two grant applications is to support the Surprise Fire-Medical Department's Car Seat Program in the amount of \$8,503. Additionally, SFMD has applied for funding in the amount of \$7,527 to continue their efforts towards Impaired & Distracted Driving. This grant will support a second Impaired and Distracted Driving Drill to be executed at a local high school. SFMD and Surprise Police Department (SPD) personnel along with selected students from the host high school will participate. The purpose of the mock crash is to convey the importance of safe, distraction-free, sober driving. The mock crash will take place in the spring of 2018 to heighten awareness around prom and graduation.

Objective Analysis:

SFMD and the SPD collaborate on occupant safety efforts throughout the year and also share a volunteer car seat coordinator. The goal of the car seat grant is to further educate the public on proper restraint use to help decrease injuries and deaths to child passengers. SFMD frequently gets requests for car seats by citizens not only of the City of Surprise but also of neighboring communities. Providing new car seats and hosting car seat clinics for the public will garner a higher concentration of educated occupants to reduce injuries. SFMD previously received funding for a Distracted and Impaired Mock Drill that was hosted at Valley Vista High School in April 2017. This was the first drill in 5 years (since the recession). These drills are great opportunities to not only get the message out to the younger population on the long term effects of poor decisions while driving but also a great opportunity for first responders to test and apply their skills in a multi-casualty drill setting. Grant funding provides the best means to coordinate events of this nature.

Policy Compliant:

These grants are consistent with all city and council policies and will adhere to the same as well as state guidelines if awarded.

Financial Impact:

The grant awards are one time grants and total approximately \$16,030, \$7,527 from the Impaired Driving grant, and \$8,503 for the Occupation Protection grant. There are no city match requirements.

Budget Impact:

The grants were not included as part of the FY2018 adopted budget, there will be an overall decrease in grant contingency of \$16,200 to reallocate funds to the operating and revenue funds necessary for these grants.

FTE Impact:

No FTE impact.

ATTACHMENTS:

Click to download

- ☐ [Resolution 2017-118 Budget Amendment for GOHS grant](#)
 - ☐ [FFY 18 Award Letter](#)
-

RESOLUTION # 2017-118

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF SURPRISE, ARIZONA, AMENDING THE FISCAL YEAR 2018 BUDGET BY REALLOCATING APPROPRIATIONS OF \$16,200 WITHIN THE GRANTS AND CONTINGENCY FUND FOR THE PURPOSE OF ADJUSTING BUDGET AUTHORITY RELATED TO TWO GOVERNOR'S OFFICE OF HIGHWAY SAFETY GRANTS.

WHEREAS, the Governor's Office of Highway Safety has awarded the City of Surprise Fire-Medical Department a FFY18 Impaired Driving grant in the amount of \$7,527 in support of the FY18 Surprise Fire-Medical Department Impaired and Distracted Driving Campaign;

WHEREAS, the Governor's Office of Highway Safety has awarded the City of Surprise Fire-Medical Department a FFY18 Occupant Protection grant in the amount of \$8,503 in support of the FY18 Surprise Fire-Medical Department Car Seat Program;

WHEREAS, the City desires to accept the grant funding from the Governor's Office of Highway Safety in the above amounts totaling \$16,030;

WHEREAS, the FY2018 budget was adopted by Council Resolution #2017-64 on June 6, 2017;

WHEREAS, this action will necessitate a budget amendment; and

WHEREAS, the City of Surprise Administrative Policies requires the approval of the Mayor and Council for budget amendments of this nature.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Surprise, Arizona, as follows.

Section 1. That the statements and schedules attached as *Exhibit A* and incorporated by reference are adopted, amending the budget of the City of Surprise, Arizona for the fiscal year July 1, 2017 through June 30, 2018.

Section 2. The City is hereby authorized to accept the grant funding from the Governor's Office of Highway Safety in support of the FY18 Surprise Fire-Medical Department Impaired and Distracted Driving Campaign and Car Seat Program in the combined amount of \$16,030. The City Manager, or his designees, is authorized to conduct all negotiations and to execute and submit all documents and other necessary or desirable instruments in connection with said agreements.

SIGNATURES ON THE FOLLOWING PAGE

APPROVED AND ADOPTED this ____ day of _____, 2017.

Sharon R. Wolcott, Mayor

Attest:

Approved as to form:

Sherry Aguilar, City Clerk

Robert Wingo, City Attorney

EXHIBIT A
RESOLUTION # 2017-118

1. Appropriation - The allocation below represents a reallocation of appropriations in the amount of \$16,200 from Grants Contingency to two Grant projects within the Grants fund to cover anticipated expenses associated with the award of two Grants from the Governor's Office of Highway Safety. These allocations do not represent an actual transfer of funds, but only a transfer of spending authority.

Fund	Department	Project/Category	Rev/ Exp	Current Budget	Increase/ (Decrease)	Amended Budget
Grants	Fire - Medical	#G34120 FFY 18 GOHS DUI Mock Crash	E	-	7,600	7,600
Grants	General Operations	Contingency	E	12,490,000	(16,200)	12,473,800
Grants	Fire - Medical	#G34120 FFY 18 GOHS DUI Mock Crash	R	-	7,600	7,600
Grants	General Operations	Other	R	12,828,900	(16,200)	12,812,700
Grants	Fire - Medical	#G34130 FFY 18 GOHS Infant Car Seats	E	-	8,600	8,600
Grants	Fire - Medical	#G34130 FFY 18 GOHS Infant Car Seats	R	-	8,600	8,600
Expense Total				12,490,000	-	12,490,000
Revenue Total				12,828,900	-	12,828,900



DOUGLAS A. DUCEY
GOVERNOR

ALBERTO GUTIER
DIRECTOR
GOVERNOR'S HIGHWAY SAFETY REPRESENTATIVE

August 10, 2017

Fire Chief William Abbott
Surprise Fire Department
14250 West Statler Plaza
Suite 101
Surprise, Arizona 85374

Re: **FFY 2018 GOHS Grant Application**

Contract No.:	Grant Description:	Award Amount:
2018-AL-027	DUI Mock Crash Overtime, Materials and Supplies	\$7,527.00
2018-OP-015	Occupant Protection Materials and Supplies	\$8,503.00

Dear Fire Chief Abbott:

The Governor's Office of Highway Safety (GOHS) has completed the review of the proposals submitted for funding for Federal Fiscal Year (FFY) 2018 commencing on October 1, 2017. All of the proposals were carefully considered by an evaluation team at GOHS that reviewed agency performance, program priority area, problem identification, supporting fiscal/data documentation, consistency of reporting, and available funding levels.

As a result of this evaluation process, we are able to include your agency's submitted proposal(s) listed above in **Arizona's FFY 2018 Highway Safety Plan**. However, please be aware that your agency's awarded highway safety project(s) may not have been funded at the amount requested and may be subject to change. Equipment requests placed "on hold" are under further review and may not be funded due to funding constraints, as we strive to make the best use of federal taxpayers' dollars.

All FFY 2018 grants will begin on October 1, 2017. If approval from a Town/City Council or Board of Supervisors is required, your agency should begin the process of scheduling the grant award for approval.

The assigned GOHS project coordinator will be contacting you regarding your project(s) and your agency should have the contract(s) soon. **During the interim, do not make any public announcement concerning the grant and do not incur any costs or proceed with any portion of the project until GOHS has written a contract with your agency and it has been signed and executed by both parties.**

We appreciate the time and effort put forth by your agency in submitting its proposal(s). Should any questions and/or concerns arise, please feel free to contact your grant project coordinator at 602-255-3216.

Sincerely,

Alberto Gutier
Director, Governor's Office of Highway Safety



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date: October 3, 2017

Contact Person: Sherry Ann Aguilar, City Clerk

Submitting Department:

District: Citywide

Staff Recommendations: None

Consent	☒	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on the minutes of September 5, 2017 Special City Council Meeting and September 19, 2017 Regular City Council Work Session; Regular City Council Meeting and Executive Session.

Motion:

I move to approve the meeting minutes.

Background:

Objective Analysis:

Policy Compliant:

Financial Impact:

Budget Impact:

FTE Impact:

ATTACHMENTS:

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- ☐ [Sept 5 Minutes](#)
 - ☐ [Sept 19 WKS](#)
 - ☐ [Sept 19 REG](#)
-

CITY OF SURPRISE
Special City Council Meeting Minutes
16000 North Civic Center Plaza
Surprise, AZ 85374

Tuesday, September 5, 2017 @ 03:01 PM

Call to Order

Roll Call

Mayor Wolcott called the **Special City Council Meeting** to order at 03:01 p.m. at Surprise City Hall Council Chamber, 16000 North Civic Center Plaza Surprise, Arizona 85374, on **Tuesday, September 5, 2017**. Also in attendance with Mayor Wolcott were Vice Mayor Tande, Council Member Winters, Council Member Hayden, Council Member Hall, Council Member Remley, and District 3 - vacant.

Staff City Manager, Bob Wingenroth, City Attorney, Robert Wingo, and City
Present: Clerk, Sherry Ann Aguilar.

Pledge of Allegiance

Call to the Public

City Attorney Wingo stated he requested a very brief e-session last week.

Council Member Winter made the motion to recess the Special Council Meeting and enter into executive session at 3:04 PM. Vice Mayor Tande seconded the motion, six yes votes, one vacant (D3), motion carried.

Executive Session

3 - Consideration and action to enter into executive session to receive legal advice from the City Attorney pertaining to the Council vacancy procedure and process pursuant to A.R.S. 38-431.03(A)(3).

Mayor Wolcott reconvened the Special City Council Meeting at 3:09 PM.

City Clerk Aguilar read the instructions and itinerary.

Special City Council Meeting Minutes – September 5, 2017 – Page 1

Regular Agenda Item - Public Hearing

1 – PUBLIC HEARING - Interviews will take place for the applicants that filed an application for the District 3 Council vacancy. Applicants are as follows: Randal Kidd, Jr.; Patrick Duffy; Paul M. Daly; Gary Doc Sullivan; James Hodge; Gisele Norberg; & Kevin Loken (Interviews will be conducted in this order) - NO ACTION

Paul M. Daly withdrew his application.

Randal J. Kidd - statement for the record

Randal J. Kidd gave his presentation from a prepared statement entered into the record.

Mayor Wolcott - Appreciate your application, very interested in how you go about making a decision with data given to you. We are faced with any number of decisions on a regular basis. Council packets filled with items and data.

Council Member Winters - Agree with ideas on transportations.

What are the 3 greatest challenges in District 3? Economy, retail and automotive. We can't seem to provide enough in Surprise.

Council Member Hayden - Mentioned the Bond, do you feel that impact fees are a factor and need for the bond. Yes, for example an impact fee for a road, for the long term.

Vice Mayor Tande - Do you plan to also run for District 3 election? Haven't decided that yet. Are there any priorities or interests you have that the City needs to take a look at? I would like to see the expansion of the community center here.

Patrick Duffy - Discussed his bio, education and work history. He currently works part-time for CRS almost 9 years now.

Mayor Wolcott - How do you go about analyzing the data presented to Council and make a decision for the City as a whole.

Council Member Winters - 3 greatest challenges for District 3 - Pavement preservation first priority.

Council Member Hall - Lots of stats for District 5 but what about District 3?

Special City Council Meeting Minutes – September 5, 2017 – Page 3

Vice Mayor Tande - Will you run next cycle? Top 3 priorities for the City? What is your passion for the City?

Competitive sports.

Gary "Doc" Sullivan - July 2001 bought house in Surprise, joined Economic Development committee, then on to SDAB Board. 2003 City Council in District 3.

Mayor Wolcott - Big agenda packets, weighing through the documentation, how do you analyze the information to make a decision?

Council Member Winters - Why do you want to serve again, as an elected official?

Council Member Hall - What are three greatest challenges in District 3?

Vice Mayor Tande - If appointed, do you plan on running in the next Election? What are your citywide priorities?

James Hodge - Resident since 2009, in D3 in 2010, works for Discount Tire Direct, co-founded non-profit foundation, volunteer youth coach

Mayor Wolcott - how do you go about making an informed decisions?

Council Member Winters - Why do you want to serve as an elected official?

Council Member Hall - Summarized Mr. Hodges presentation: traffic congestion, small business advocacy and analysis of budget. Tell us about your foundation.

Vice Mayor - If appointed will you run next election? What is your citywide passion?

Council Member Remley - how do you foresee fulfilling the council position with other responsibilities as a Supervisor.

Gisele Norberg - Read a prepared statement - here to serve, ran for D3 who needed representation.

Mayor Wolcott - We have a book every two weeks filled with data. What is your analytical skill set and how will you use the data?

Council Member Winters - 3 top needs for District 3?

Vice Mayor Tande - Do you plan to run in 2018?

Special City Council Meeting Minutes – September 5, 2017 – Page 4

Kevin Loken -

Mayor Wolcott - Asked same question

Council Member Winters - How will you make a decision based on the information you are given in a binder?

Council Member Hall - 3 top issues in your district?

Council Member Remley - Education, Ottawa University

Vice Mayor Tande - Will you run in 2018?

Public comments:

Traci Sawyer - Sinkbell - Support for Gisele Norberg for District 3 Councilmember. Read a written statement.

Kris Cox - I am here to speak on behalf of Doc Sullivan, neighbor, he's already served on City Council before.

Regular Agenda Item - Non-Public Hearing

2 – Consideration and action to formally accept District 3 Councilmember, John Williams letter of resignation dated August 15, 2017 - APPROVED

Council Member Winters made the motion to accept District 3 Council Member Williams letter of resignation dated August 15, 2017. Council Member Remley seconded the motion. Six yes votes, one vacancy (D3), motion carried.

Adjournment

Council Member Winters made the motion to adjourn the Special City Council Meeting of September 5, 2017 at 4:58 PM. Council Member Hayden seconded the motion. Six yes votes, one vacancy (D3), motion carried.

Sharon R. Wolcott, Mayor

Special City Council Meeting Minutes – September 5, 2017 – Page 5

ATTEST:

Sherry Ann Aguilar, City Clerk

CERTIFICATION:

I, Sherry Ann Aguilar, City Clerk for the City of Surprise, Maricopa County, Arizona, do hereby verify that these are the true and correct minutes of the Special City Council Meeting of **Tuesday, September 5, 2017.**

Sherry Ann Aguilar, City Clerk

CITY OF SURPRISE
Regular City Council Work Session Minutes
16000 North Civic Center Plaza
Surprise, AZ 85374

Tuesday, September 19, 2017 @ 05:00 PM

Call to Order

Roll Call

Mayor Wolcott called the **Regular City Council Work Session** to order at 05:00 p.m. at Surprise City Hall Council Chamber, 16000 North Civic Center Plaza Surprise, Arizona 85374, on **Tuesday, September 19, 2017**. Also in attendance with Mayor Wolcott were Vice Mayor Tande, Council Member Winters, Council Member Hayden, Council Member Remley, Council Member Hall, and District 3 - Vacant.

Staff City Manager, Bob Wingenroth, City Attorney, Robert Wingo, and City
Present: Clerk, Sherry Ann Aguilar.

Pledge of Allegiance

Call to the Public

Regular Agenda Item - Non-Public Hearing

1 – Presentation and discussion pertaining to service changes in Paratransit and RideChoice programs - NO ACTION

David Kohlbeck opened up the discussion and introduced Ron Brooks from Valley Metro for Paratransit and Ride Choice Programs. Mr. Brooks gave an explanation of some of the issue with service and what has been done to resolve and improve the program and issues.

Some areas of improvement:

Additional materials for outreach on RideChoice

Enhancements to online and phone-based RideChoice accounts

Hiring a manager for RideChoice to be housed in Phoenix

Providers being added to the RideChoice Program.

Regular City Council Work Session – September 19, 2017 – Page 2

Council Member Winters - Asked for clarification on the process for RideChoice.

Council Member Hall - What was the on-time precision? 95% previously. Currently 10% lower than our contract calls for. July was very bad.

Council Member Hall - Customer fatigue? How do we regenerate this? I know some residents that stopped using the service because of unavailability for services.

Vice Mayor Tande - Questioned availability of data, costs, etc.

Council Member Remley - We now hear that dispatch is coming from Maryland, how do they know what is going on in Surprise. When are we going to get a dispatch service here in the Phoenix area. Lack of personnel, drivers, equipment, etc. I really hope we get some improvement soon.

Mr. Brooks - Maryland is for project management, the dispatch is already here in the valley.

Council Member Winters - We had 34 rides per day, then we added 12 rides per day for 2 weeks. Have those 2 weeks expired yet? This Friday.

Council Member Hayden - Attended meeting and heard explanation, I was convinced the service you were going to provide, was much better than previous.

Public Comments:

Laurie Kosmal - Thanked Council for allowing me to be here this evening. Nothing but trouble with Ride Choice and today is an example, I was supposed to pick up my son from school. I cancelled and there was a taxi in my driveway after I called to cancel. Then today, they showed up at school, when I didn't call for service. Previous service we were allowed 150 trips, and now 34, always booked. They forget about me, they go to the wrong address, charge me as a no-show, and I have waited up to 2 and a half hours for a ride outside. It's ridiculous.

Robert Kosmal - I appreciate the Council bringing this issue forward, one thing that we have noticed as a change, last year with the old system, my wife felt safe with the drivers, they knew the City well. If Uber can tell me it will cost me a certain amount, why can't the new system accommodate.

Julius Urshan - I am here today to discuss the many negative services that I have had. Why did we change from Discount when we had great service? Very disappointed in current service. Either the new drivers are not trained properly, or they just don't care. This is not acceptable.

Regular City Council Work Session – September 19, 2017 – Page 3

Mayor summarized the issues and asked that we take this as an opportunity for improvement.

Executive Session

Adjournment

Council Member Winters made the motion to adjourn the Regular City Council Work Session of September 19, 2017. Council Member Hall seconded the motion. Six yes vote, one vacancy (D3), motion carried.

Sharon R. Wolcott, Mayor

ATTEST:

Sherry Ann Aguilar, City Clerk

CERTIFICATION:

I, Sherry Ann Aguilar, City Clerk for the City of Surprise, Maricopa County, Arizona, do hereby verify that these are the true and correct minutes of the Regular City Council Work Session of **Tuesday, September 19, 2017.**

Sherry Ann Aguilar, City Clerk

CITY OF SURPRISE
Regular City Council Meeting Minutes
16000 North Civic Center Plaza
Surprise, AZ 85374

Tuesday, September 19, 2017 @ 06:20 PM

Call to Order

Roll Call

Mayor Wolcott called the **Regular City Council Meeting** to order at 06:20 p.m. at Surprise City Hall Council Chamber, 16000 North Civic Center Plaza Surprise, Arizona 85374, on **Tuesday, September 19, 2017**. Also in attendance with Mayor Wolcott were Vice Mayor Tande, Council Member Winters, Council Member Hayden, Council Member Hall, Council Member Remley, and District 3 - Vacant.

Staff City Manager, Bob Wingenroth, City Attorney, Robert Wingo, and City
Present: Clerk, Sherry Ann Aguilar.

Pledge of Allegiance

Proclamation and Community Acknowledgements

A proclamation acknowledging Constitution Week will be presented to a representative from the Daughters of the American Revolution.

Mayor Wolcott gave the proclamation to Karen Swann a representative from the Daughters of the American Revolution for Constitution Week.

A proclamation acknowledging Suicide Prevention Month will be presented to a representative of the Human Service & Community Vitality Department.

Mayor Wolcott read aloud the proclamation for Suicide Prevention Month to raise awareness. This is the first year that this will be recognized at the State level and here in the City of Surprise.

City Manager Report

Cassandra Lopez and Dasari Solis, Arizona Charter Academy, spoke of their experiences at ACA.

City Manager Wingenroth spoke of Surprise Farms Park, 8-acre park. Take the fence down and have the park open for recreation.

City Manager Wingenroth took an action to start a new department in the City, open recruitment, over 300 applicants applied, 3-day interview process, selected Kendra Pettis, 12-year employee in Surprise, AZ., currently in ED.

City Attorney Report

City Clerk Report

The City Clerk will brief Council on upcoming National Voter Registration Day event.

Call to the Public

Linda Cabrera - Surprise Community Garden Coordinator - Invite Council to visit the garden, vision of where we want to go with it. We received a grant from Surprise last year, received good questions. Boy Scouts assisted building, information center notes received, residents interested in beds for planting, high school students assisted. Let Council know we are becoming more active in Surprise. We are trying hard to accommodate.

Consent Agenda

1 – Consideration and action on the minutes of September 5, 2017 Regular City Council Work Session and Regular City Council Meeting - APPROVED

2 – Consideration and action to accept the donation from Surprise Farms III Community Association for Surprise Farms Community Park; Resolution #2017-110 - APPROVED

3 – Consideration and action accepting maintenance of the streets and public utility improvements at Austin Ranch Parcel 1, generally located on the Northwest corner of West Deer Valley Road and North Citrus Road; Resolution # 2017-100 - APPROVED

4 – Consideration and action on the final plat entitled "Verdugo Master Plat" dated June 20, 2017, which identifies the locations of main roads, residential parcels, and drainage tracts on approximately 191.31 acres located on the northeast corner of Pinnacle Peak Road and 163rd Avenue - CONTINUED TO OCTOBER 3RD COUNCIL MEETING

5 – Consideration and action pertaining to approval of the Final Plat entitled, "Final Plat of Zanjero Trails, Phase 2, Parcels 16 and 17," dated August 2, 2017, a property generally located at the Northwest corner of Peoria Avenue and Perryville Road, within Zanjero Trails Planned Area Development - APPROVED

6 – Consideration and action accepting maintenance of the streets and public utility improvements at Austin Ranch Parcel 4, generally located on the Northwest corner of West Deer Valley Road and North Citrus Road; Resolution # 2017-101 - APPROVED

7 – Consideration and action pertaining to approval of the Final Plat entitled, "Replat of Lots 2 & 3 of Repat of Final Plat Amendment of Lot 7, Stadium Village South," dated July 13, 2017, a property generally located north of the northeast corner of North Parkwood Place and West Paradise Lane, within the Stadium Village portion of the Orchards Planned Area Development - APPROVED

8 – Consideration and action accepting maintenance of the streets and public utility improvements at Zanjero Trails Parcel 13A, generally located on the Northeast corner of Desert Cove Road and Perryville Road; Resolution # 2017-90 - APPROVED

9 – Consideration and action declaring the intention to create a lighting improvement district pursuant to A.R.S. 48-616 for the purpose of purchasing facilities and energy for lighting the public streets and parks for the Zanjero Trails Parcels 16 & 17 #162 Street Lighting Improvement District; Resolution #2017-104 - APPROVED

10 – Consideration and action accepting maintenance of the streets and public utility improvements at Zanjero Trails Phase 2 - Parcel 12B, generally located on the northwest corner of Desert Cove Road and Perryville Road; Resolution # 2017-97 - APPROVED

11 – Consideration and action pertaining to approval of an amendment to the Fiscal Year 2018 budget by reallocating appropriations in the amount of \$5,929 with the Grants and Contingency fund for the purpose of accepting and adjusting the budget authority to utilize grant money from the Gila River Indian Community; Resolution # 2017-111 - APPROVED

12 – Consideration and action to approve a Series 12 (New License/Corporation - 1207B148) Liquor License for Tokyo Joe's requested by Agent, Andrea Lewkowitz to be located at 14345 W. Bell Road, Suite #106, Surprise, AZ 85374 - APPROVED

13 – Consideration and action pertaining to approval of an Intergovernmental Agreement between the City of Surprise and Central Arizona Water Conservation District for the sale and purchase of Long Term Storage Credits; Resolution # 2017-116 - APPROVED

14 – Consideration and action pertaining to approval of an Intergovernmental Agreement between the City of Surprise and Arizona Water Banking Authority for the sale and purchase of Long Term Storage Credits; Resolution # 2017-115 - APPROVED

Vice Mayor Tande made the motion to approve the consent agenda, excluding item #4. Council Member Winters seconded the motion. Six yes votes, one vacancy (D3), motion carried.

Regular Agenda Item - Public Hearing

15 – Consideration and action pertaining to approval of a Major Amendment to the Asante North Planned Area Development (PAD) to Rezone approximately 149.1 acres from PAD-residential to RM-6 with a Planned Unit Development overlay (RM-6 PUD) and RM-9 with a Planned Unit Development Overlay (RM-9 PUD), generally located north of Grand Avenue approximately 2.5 miles west of 163rd Avenue; Ordinance #2017-16 - APPROVED

City Planner, Sergio Angulo gave an overview for this item.

Council Member Winters - Page 47, triangle in upper right hand corner, what is it? Asante North PAD.

Council Member Winters - Thanked the applicant for letting the public use the open space.

Stephen Earl - on behalf of Lennar Communities. 10% will be senior community.

No public comments were made.

Council Member Winters made the motion to approve Ordinance 2017-16. Council Member Hall seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

16 – Consideration and action pertaining to approval of a Major Amendment to the Asante Planned Area Development (PAD) to rezone approximately 220.1 acres from PAD to RM-6 with a Planned Unit Development Overlay (RM-6 PUD), RM-9 with a Planned Unit Development Overlay (RM-9 PUD), and Mixed-Use with a Planned Unit Development Overlay (MU PUD), generally located north of Grand Avenue approximately 1.5 miles west of 163rd Avenue; Ordinance # 2017-17 - APPROVED

No public comments.

Council Member Winters made the motion to approve Ordinance 2017-17. Vice Mayor Tande seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

17 – Consideration and action pertaining to approval of a Planned Unit Development (PUD) Overlay District over approximately 369.2 acres of property proposed to be Rezoned [cases FS17-011 and FS17-012] from PAD to Residential Medium Density with a PUD Overlay (RM-9 PUD), Residential Medium Density with a PUD Overlay (RM-6 PUD), and Mixed-Use with a PUD Overlay (MU PUD) generally located north of Grand Avenue approximately 1.5 miles west of 163rd Avenue; Ordinance # 2017-18 - APPROVED

Stephen Hanzel - Resident of District 6, potential for continued impact on the City of Surprise. Think long and hard on what direction you want to see the City wants to go. The developers of Prasada announced they were going to re-do their plan containing an adult community. How many of these are we going to do? I am asking you today, will this and other age restricted communities help achieve the goal of attracting the bread winner jobs to our City.

Stephen Earl - Realistic concern, if we were talking about 50% converted over to active adult community, but this is 10%. We think this is a very important component.

Council Member Winters made the motion to approve Ordinance 2017-18. Council Member Hall seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

Regular Agenda Item - Non-Public Hearing

18 – Consideration and action to appoint a District 3 Councilmember to serve through December 31, 2018. The Applicants for consideration are as follows: Randal J. Kidd, Jr.; Patrick Duffy; Gary "Doc" Sullivan; James Hodge; Gisele Norberg; Kevin Loken - PATRICK DUFFY WAS SELECTED

Regular City Council Meeting Minutes – September 19, 2017 – Page 6

City Clerk Aguilar read the procedures for the selection process.

Vice Mayor Tande nominated Patrick Duffy, 4 votes (Wolcott, Tande, Hayden and Remley).

Council Member Winters nominated Gisele Norberg - 2 votes (Winters and Hall).

19 – Consideration and action to approve the following applicants to fill vacancies for the Arts & Cultural Advisory Commission: Doug Tolf with a term expiration of June 30, 2020 and John "Jack" Hastings with a term expiration of June 30, 2019.

Council Member Remley the motion to approve the following applicants to fill vacancies for the Arts & Cultural Advisory Commission: Doug Tolf with a term expiration of June 30, 2020 and John "Jack" Hastings with a term expiration of June 30, 2019. Council Member Winters seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

20 – Consideration and action pertaining to approval of a Fiscal Year 2018 Budget amendment reallocating appropriations of \$55,000 within the General Fund from the Economic Development Contingency to Services to implement the new citywide "Shop Local" program proposed by the Surprise Regional Chamber of Commerce; Resolution # 2017-112.

City Manager Wingenroth reported on this item.

Council Member Winters made the motion to approve Resolution 2017-112. Council Member Remley seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

21 – Consideration and action pertaining to adoption of a new City Council policy establishing the process to honor exceptional leadership in the City of Surprise - APPROVED

City Manager Wingenroth gave an overview for this item. Task force formed to review each recommendation before it comes to the City Council.

Vice Mayor Tande - Like the idea of community involvement, also would like to take away political influence from the dais. Read points:

Initiation - Strike this item. Don't want Council to hear about this at the dais for the first time.

Regular City Council Meeting Minutes – September 19, 2017 – Page 7

Special Task Force Membership - Open for discussion on this. Strike decision making, and replace with recommendations.

Task Force - Strike using all avenues available. Some may not be cost prohibitive.

30-days section - would like to add recommending no action as another option.

Item #4 - 2nd sentence, Council will either, change to "may", or ask that special task force perform additional work.

Council Member Hall made the motion to approve the adoption of a new City Council policy establishing the process to honor exceptional leadership in the City of Surprise. Vice Mayor Tande seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

Other Business

Mayor/Council Report

Council Member Hall - Appreciated Williams invited me to Willow Canyon for Constitution Day. 3 classes of 100 students each.

Council Member Remley - Interesting Saturday, Block Party in Original Townsite at Community Center. Thanked colleagues, fun time, youth Council present to assist.

Council Member Winters - Wed., night, CAP Meeting - tour of control room in North Phoenix. Open House for Station 305 on Reems Road.

Council Member Hayden - Task to improve reading test scores at the schools, to provide tablets for pre-school kids 5 & 6 year olds.

Vice Mayor Tande - OTS Community Event, enjoyed CAP tour, congratulate staff at the City, won top honors for government programming awards, Lock It or Lose It video.

Mayor Wolcott - Congratulated Patrick Duffy for District 3 Council seat. No better time to be a Councilperson in the City.

Today at noon, took a spin along the new Civic Center Drive. Convening a group called the Bloomberg Foundation Challenge, small group of select council members, residents, stakeholders of the community, effects and challenges of the City.

Regular City Council Meeting Minutes – September 19, 2017 – Page 8

Council Member Winters made the motion to recess the Regular Council Meeting and enter into executive session at 7:54 PM. Council Member Hall seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

Executive Session

22 - Consideration and action to enter into executive session for discussion of information technology records and information which is exempt by law from public inspection pursuant to A.R.S. 38-431.03(A)(2).

Adjournment

Council Member Hall made the motion to adjourn the Regular City Council Meeting of September 19, 2017 at 8:26 PM. Council Member Remley seconded the motion. Six yes votes, one vacancy (D-3), motion carried.

Sharon R. Wolcott, Mayor

ATTEST:

Sherry Ann Aguilar, City Clerk

CERTIFICATION:

I, Sherry Ann Aguilar, City Clerk for the City of Surprise, Maricopa County, Arizona, do hereby verify that these are the true and correct minutes of the Regular City Council Meeting of **Tuesday, September 19, 2017.**

Sherry Ann Aguilar, City Clerk



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date:	October 3, 2017	Contact Person:	Tammie Hollowell, Information Technology Director
Submitting Department:	IT	District:	Internal
Staff Recommendations:	None		

Consent	x	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on an amendment to fiscal year 2018 budget and Capital and Operating List of Items Over \$50,000 by reallocating appropriations of \$195,000 from Asset Replacement to Disk Drive Storage for the purchase of technology replacements and software; Resolution # 2017-119.

Motion:

I move to approve Resolution # 2017-119.

Background:

Council approved the technology asset replacements and desktop productivity software that was included in the Fiscal Year 2018 Capital and Operating list of items over \$50,000. Due to the increased need to store video longer, and replace unforeseen technology that was deemed end of life or no longer supported will require a reallocation of funds. The enterprise software agreement includes a new server and database licensing model that will allow us to apply new versions as they are released thus maintaining compliance and security.

Objective Analysis:

The positive impact with this item is it reflects more accurately the cost of equipment and licenses purchased. There is no negative impacts with this item as all monies have been budgeted.

Policy Compliant:

This action assures compliance with City of Surprise Procurement Code 2-338 (d) which requires the authority of the Mayor and Council when the cost to the City is greater than \$50,000.

Financial Impact:

The costs associated with these items are estimated in Exhibit A of Resolution 2017-119. With the exception of the enterprise software license agreement which is a three year agreement, the items are one-time purchases.

Budget Impact:

Funding is included in the FY2018 IT operating and capital budget within the General Fund and General Capital Fund respectively. Reprioritization of IT needs requires an amendment to the FY2018 Capital and Operating List of Items Over \$50,000. Additionally, if approved, the FY2018 Annual Budget will be amended by this action, reallocating appropriations among lawfully available appropriations and does not represent an actual transfer of funds, but only spending authority. The reallocation does not increase or decrease the total budget. The budget amendment will move \$195,000 from the Asset Replacement - IT Project to a newly created Disk Drive Storage project within the General Capital Fund.

FTE Impact:

The number of full time equivalents (FTE) is not impacted by this action.

ATTACHMENTS:

Click to download

☐ [Resolution #2017-119](#)

RESOLUTION # 2017-119

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF SURPRISE, ARIZONA, AMENDING THE FISCAL YEAR 2018 CAPITAL AND OPERATING LIST OF ITEMS OVER \$50,000 AND AMENDING THE FISCAL YEAR 2018 BUDGET BY REALLOCATING APPROPRIATIONS OF \$195,000 FROM PROJECT #A17010 - IT ASSET REPLACEMENT PROJECT TO A NEWLY CREATED DISK DRIVE STORAGE PROJECT.

WHEREAS, the FY2018 budget was adopted included funding for the procurement of technology asset replacement items and desktop and productivity software.

WHEREAS, additional data storage requirements for video archiving, unexpected end of live announcements for hardware, and additional increases in server and database licenses have become a priority since the FY18 budget adoption;

WHEREAS, the FY2018 budget, including the FY2018 Capital and Operating List of Items Over \$50,000, was adopted by Council Resolution #2017-64 on June 6, 2017;

WHEREAS, the City of Surprise Procurement Code §2-338 (d) requires the authority of the Mayor and Council when the cost to the city is greater than \$50,000.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Surprise, Arizona, as follows.

Section 1. That the statements and schedules attached as *Exhibit A* and incorporated by reference are adopted, amending the Fiscal Year 2018 Capital and Operating List of Items Over \$50,000 of the City of Surprise, Arizona for the fiscal year July 1, 2017 through June 30, 2018.

Section 2. That the statements and schedules attached as *Exhibit B* and incorporated by reference are adopted, amending the budget of the City of Surprise, Arizona for the fiscal year July 1, 2017 through June 30, 2018.

APPROVED AND ADOPTED this ____ day of _____, 2017.

Sharon R. Wolcott, Mayor

Attest:

Approved as to form:

Sherry Aguilar, City Clerk

Robert Wingo, City Attorney

RESOLUTION #: 2017-119
Exhibit A

1. List of Operating Items Over \$50,000 – Council approved the technology asset replacements and desktop productivity software that was included in the Fiscal Year 2018 Capital and Operating list of items over \$50,000. Due to the increased need to store video longer, and replace unforeseen technology that was deemed end of life or no longer supported will require a reallocation of funds. The enterprise software agreement includes a new server and database licensing model that will allow us to apply new versions as they are released thus maintaining compliance and security.

Reference #	Description	Current Amount	Increase/ (Decrease)	Amended Amount
18204	Audio Visual equipment replacement, software, cable infrastructure, professional services	\$593,000	(\$259,000)	\$334,000
18205	Network Infrastructure; network equipment, software, cabling, professional services	775,100	(30,000)	745,100
18207	Desktops, Servers, Printers, computer peripherals	149,000	94,000	243,000
18023	Enterprise software license agreement for desktop and office productivity Yr 1 of 3	330,000	76,000	406,000
NEW	Disk Drive Storage	0	195,000	195,000

RESOLUTION # 2017-119
Exhibit B

1. Appropriation - The allocations below represent a reallocation of appropriations in the amount of \$195,000 from Project #A17010 – Asset Replacement-IT to a new Disk Drive Storage within the General Capital Fund. These allocations do not represent an actual transfer of funds, but only a transfer of spending authority.

Fund	Department	Project/Category	Rev/ Exp	Current Budget	Increase/ (Decrease)	Amended Budget
General Capital Fund	Information Technology	A17010 – Asset Replacement-IT	E	1,728,400	(195,000)	1,533,400
General Capital Fund	Information Technology	TBD – Disk Drive Storage	E	-	195,000	195,000
				1,728,400	-	1,728,400



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date:	October 3, 2017	Contact Person:	Randy Rody, Commander
Submitting Department:	Police	District:	Citywide
Staff Recommendations:	None		

Consent	x	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on an amendment of the fiscal year 2018 budget by reallocating appropriations in the amount of \$20,000 within the Grants Fund for the acceptance of an award from the Arizona Governor's Office of Highway Safety to support personnel overtime to enhance DUI Enforcement efforts in the City of Surprise; Resolution # 2017-117.

Motion:

I move to approve Resolution # 2017-117.

Background:

The Surprise Police Department (PD) regularly participates in West Valley DUI enforcement campaigns. The DUI campaigns are conducted by paying officers overtime to host DUI task force operations and to consistently monitor DUI enforcement programs. The Department will compile data comparing the before and after differences in collisions, DUI arrests, citations issued, as well as compliance with restraint laws. The Arizona Governor's Office of Highway Safety (GOHS) has offered an award in the amount of \$20,000 for Surprise PD to once again participate in DUI Task Force campaigns. Acceptance of the award requires Council approval and a budget amendment.

Objective Analysis:

Acceptance of this award will allow Surprise PD to deploy officers specifically for the purpose of conducting enforcement of DUI laws. Such enforcement will contribute to fewer and less severe injuries of our citizens if they are involved in traffic accidents.

Policy Compliant:

Council policy has always been consistent with the law and especially consistent with safety laws. Acceptance of this grant award is consistent with the City's past practice of discouraging and prosecuting DUIs.

Financial Impact:

This grant award is \$20,000 for overtime salary expenses incurred as a result of participation in this

enforcement campaign. There is no city match requirement; however, all employee related expenses (ERE) associated with this overtime will be absorbed by the Police Department's current operating budget.

Budget Impact:

Acceptance of this grant will reallocate appropriations in the amount of \$20,000 from Grants Fund contingency for overtime. This does not represent an actual transfer of funds, but only a transfer of budget authority and does not increase or decrease the total budget.

FTE Impact:

This item does not have an impact on current staff levels.

ATTACHMENTS:

Click to download

- ☐ [FY2018 GOHS DUI Abatement Grant Award Letter](#)
 - ☐ [FY2018 GOHS DUI Abatement Grant](#)
 - ☐ [Resolution #2017-117](#)
-



DOUGLAS A. DUCEY
GOVERNOR

ALBERTO GUTIER
DIRECTOR

GOVERNOR'S HIGHWAY SAFETY REPRESENTATIVE

ERIC JORGENSEN
CHAIRMAN
DUI ABATEMENT COUNCIL



Chief Terry Young
Surprise Police Department
14250 West Statler Plaza, Suite #103
Surprise, Arizona 85374

PROJECT REFERENCE:

Contract No.: DUIAC-E-097

Contract Amount: \$20,000.00

Contract Title: DUI Enforcement

Purpose of Project: Personnel Services (Overtime)
to enhance DUI Enforcement throughout City of
Surprise.

Dear Chief Young:

Enclosed are two (2) copies of the referenced DUI Abatement Council Agreement for your review and signature. This is **not** an authorization to proceed with the project.

Please complete the following steps:

1. Please review the entire agreement as there have been **significant changes** throughout the agreement;
2. Have your fiscal staff complete the Reimbursement Instructions (page 16) of both copies;
3. As Project Director, sign and date the signature page of both copies;
4. Obtain the signature of Bob Wingenroth, City Manager, City of Surprise, as the Authorized Official of Governmental Unit, on the signature page of both copies;
5. Return all signed copies of the Agreement to the DUI Abatement Council, c/o Governor's Office of Highway Safety, 1700 W. Washington St., Executive Tower, Suite 430, Phoenix, AZ 85007.

Please **do not** incur any costs at this time as it would nullify the Agreement. Once the signed copies are received, the Chairman of the Oversight Council on Driving or Operating Under the Influence Abatement will approve the Agreement, and a signed original executed Agreement with a letter of authorization to proceed will be forwarded to you.

Sincerely,

Alberto Gutier, Director
Governor's Highway Safety Representative

Date

9-7-17

Enclosures
AG: sr

rec'd 9/14/17



DUI ABATEMENT GRANT PROGRAM

GRANT AGREEMENT



Douglas A. Ducey
Governor

The Oversight Council on Driving or Operating Under the Influence Abatement is hereafter referred to as the DUI Abatement Council, DUIAC or Council in this agreement. This page and the DUIAC Project Director's Manual incorporated herein by reference constitute the entire agreement between the parties hereto unless deviation is authorized in writing by the DUI Abatement Council.

APPLICANT AGENCY

Surprise Police Department

ADDRESS

14250 West Statler Plaza, Ste 103, Surprise, AZ 85374

GOVERNMENTAL UNIT

City of Surprise

ADDRESS

16000 North Civic Center, Surprise, AZ 85374

AGREEMENT NUMBER

DUIAC-E-097

PROGRAM AREA

Enforcement

AGENCY CONTACT

Mike Robbins

PROJECT TITLE

DUI Enforcement

BRIEFLY STATE PURPOSE OF PROJECT:

State DUI Abatement (E) funds will support Personnel Services (Overtime) to enhance DUI Enforcement throughout City of Surprise.

BUDGET

COST CATEGORY

Project Period SFY 2018 - 2019

I.	Personnel Services	\$20,000.00
II.	Employee Related Expenses	\$0.00
III.	Professional and Outside Services	\$0.00
IV.	Travel In-State	\$0.00
V.	Travel Out-of-State	\$0.00
VI.	Materials and Supplies	\$0.00
VII.	Capital Outlay	\$0.00
TOTAL ESTIMATED COSTS		\$20,000.00

PROJECT PERIOD

FROM: Effective Date (*Date of DUIAC
Chairman Signature*)

TO: 09-30-2018

CURRENT GRANT PERIOD

FROM: 10-01-2017

TO: 09-30-2018

TOTAL DUI ABATEMENT FUNDS OBLIGATED FOR THIS AGREEMENT PERIOD: \$20,000.00

A political subdivision or state agency that is mandated to provide a certified resolution or ordinance authorizing entry into this agreement must do so prior to incurring any expenditures. Failure to do so may result in termination of the awarded agreement.

PROBLEM IDENTIFICATION AND RESOLUTION:**Agency Background:**

The City of Surprise is located in the far northwest of the Phoenix Metropolitan. It is a growing community where families choose to live, send their children to school, do their shopping, and seek their entertainment. The population has skyrocketed above 127,000. The City of Surprise is home to four high schools which consistently add young and inexperienced drivers to their roadways. The City of Surprise is also home to the fourth largest 65+ population in the nation (per-capita) which creates a challenging dynamic when attempting to address specific causes of collisions.

In total, the Surprise Police Department (Surprise PD) is responsible for patrolling approximately 857 miles of roadway. The population and infrastructure growth of the City of Surprise has caused heavy traffic loads resulting in an increase of traffic collisions. The Surprise PD is committed to reducing traffic collisions through strategic, intensive enforcement, community education, the use of improved technology and equipment, and training.

Agency Problem/Attempts to Solve Problem:

The City of Surprise PD is requesting funding from the Governor's Office of Highway Safety to promote the Impaired Driving (AL) program to continue their commitment to the West Valley DUI Task Force. The granted funding will be used to further the mission of GOHS and the City of Surprise Police Department by removing alcohol and drug impaired drivers from the road through highly effective enforcement.

Agency Funding:

State DUI Abatement (E) funds will support Personnel Services (Overtime) and Employee Related Expenses to enhance DUI Enforcement throughout Town of Surprise.

How Agency Will Solve Problem with Funding:

Over the upcoming fiscal year, Surprise PD will continue to be committed to DUI enforcement by participating in DUI task force operations, hosting DUI task force operations and increasing the number of DUI arrests made agency-wide. With the assistance of the Governor's Office of Highway Safety, the Surprise PD requests funding to pay for overtime costs incurred throughout the year by officers participating in DUI task force operations. Surprise PD will constantly monitor the DUI Enforcement program, compiling data comparing the before and after differences in collisions, DUI arrests, citations issued, as well as compliance with restraint laws.

GOALS/OBJECTIVES:

State DUI Abatement (E) funds will support Personnel Services (Overtime) to enhance DUI Enforcement throughout Town of Surprise. The following goals and objectives shall be accomplished as a result of this funding:

Impaired Driving or Operating - Enforcement

Expenditures of funding pertaining to Impaired Driving or Operating Enforcement or Innovative Programs including Personnel Services and ERE, Materials & Supplies, Capital Equipment and/or Travel In and Out of State shall comply with the Impaired Driving or Operating Program Goals of the DUI Abatement Council in conjunction with those provided by the Arizona Governor's Office of Highway Safety. The Impaired Driving or Operating Program Goal is to reduce the incidence of alcohol and drug related driving or operating, fatalities and injuries through enforcement, education and public awareness and through innovative programs throughout the State of Arizona. Law Enforcement personnel participating in Impaired Driving or Operating Enforcement/DUI activities including DUI Task Force details under this program shall be HGN/SFST certified. This is not a requirement for those participating in DUI Innovative programs.

MEDIA RELEASE

To prepare complete press release information for media (television, radio, print and on-line) during each campaign period including a main press release, schedule of events, departmental plans and relevant data. **The material will emphasize the campaign's purpose, aggressive enforcement and the high cost of DUI / Alcohol in terms of money, criminal and human consequences.**

The Surprise Police Department will maintain responsibility for **reporting sustained DUI enforcement** activity in a timely manner. Additionally, it is the responsibility of the Surprise Police Department to report all task force enforcement statistics in which they participate to GOHS on-line at the GOHS website **no later than 10:00a.m. the morning following each day of the event.**

PLEASE NOTE: Failure to submit Statistics, Quarterly Reports and/or Report of Costs Incurred (RCIs) on time and correctly may delay reimbursement for expenditures to your agency, or a cancellation and return of unexpended advanced funding.

METHOD OF PROCEDURE:

The Surprise Police Department will make expenditures as follows to meet the outlined Program Goals/Objectives:

Personnel Services – To support Overtime for Impaired Driver or Operator Activities

PRESS RELEASE:

Agencies are required to develop and distribute a press release announcing this grant award upon receipt of the executed agreement. A copy of this press release shall be sent to the DUI Abatement Council at the same time it is sent to the media. This press release shall include the objective and specify that the funding is from the Oversight Council on Driving or Operating Under the Influence Abatement.

BAC TESTING AND REPORTING REQUIREMENTS:

Alcohol impairment is a major contributing factor in fatality and serious injury motor vehicle collisions. Accurate data on alcohol involvement is essential to understanding the full extent of the role of alcohol and to assess progress toward reducing impaired driving.

Arizona is presently and consistently below the documented average among the states in the Blood Alcohol (BAC) testing of drivers involved in fatal motor vehicle collisions.

Each law enforcement agency that receives an enforcement-related grant is required to ensure that this accurate data on all drivers involved are reported. Failure to comply may result in withholding funds and cancellation of the enforcement contract until this requirement is met.

PURSUIT POLICY:

All law enforcement agencies receiving state funds are encouraged to follow the guidelines established for vehicular pursuits issued by the International Association of Chiefs of Police (IACP) that are currently in effect.

PROJECT EVALUATION:

This project shall be administratively evaluated to ensure that the objectives have been met.

Quarterly Report

The purpose of the Quarterly Report is to provide information on agreement grant activities conducted at the conclusion of each respective quarter. The information provided is used to review progress of the funded project and the successfulness in meeting outlined goals and objectives. The information, photos, highlights, obstacles, and mandatory statistical data provided in this report are analyzed by the assigned project coordinator. It is critical that the on-line report contains the following information:

- **Original signatures on all Quarterly Reports and RCIs**
 - **Signatures must include Project Director unless prior authorization for another is on file with GOHS.**

Report Schedule

Reporting Period	Due Date
2018-1 Quarterly Report (October 1 to December 31)	January 31, 2018
2018-2 Quarterly Report (January 1 to March 31)	April 30, 2018
2018-3 Quarterly Report (April 1 to June 30)	July 31, 2018
2018-4 Quarterly Report (July 1 to September 30)	October 31, 2018
Final Statement of Accomplishment	October 31, 2018

The Quarterly Report **shall be completed on the form available on-line and submitted by mail** to the DUI Abatement Council at the Governor's Office of Highway Safety. The Quarterly Report title is based on the 3 month calendar period (Year-Calendar Quarter). **Note:** All law enforcement agencies must enter enforcement activity into the on-line GOHS DUI Reporting System

Final Statement of Accomplishments

The Project Director shall submit a Final Statement of Accomplishments Report to the DUI Abatement Council **no later than 30 days following the agreement end date**. All agencies receiving funding are required to submit a Final Statement of Accomplishments Report.

Note: Failure to comply with the outlined DUI Abatement Council reporting requirements may result in withholding of state funds or termination of the agreement and return of any unexpended advanced funds.

PROFESSIONAL AND TECHNICAL PERSONNEL:

Terry Young, Chief, Surprise Police Department, shall serve as Project Director.

Mike Robbins, Sergeant, Surprise Police Department, shall serve as Project Administrator.

Shane Radford, Governor's Office of Highway Safety, shall serve as Project Coordinator.

REPORT OF COSTS INCURRED (RCI):

The Project Director shall submit a Report of Costs Incurred (RCI) with supporting documentation attached, to the Governor's Office of Highway Safety at a minimum on a quarterly basis in correlation with the required report. Agencies may submit additional RCI forms for expenditures when funds have been expended for which reimbursement is being requested.

RCIs shall be typed and delivered via mail or hand with appropriate supporting documentation, delivered to the Governor's Office of Highway Safety. **Electronically submitted RCIs will not be accepted.** Final RCIs will not be accepted after thirty (30) days after the conclusion of the Agreement end date. **Expenditures submitted after the expiration date will not be reimbursed and the agency will accept fiscal responsibility.**

The RCI template and instructions are available on the Governor's Office of Highway Safety website at <http://www.azgohs.gov/grant-opportunities/>. Failure to meet the reporting requirements may be cause to terminate the project.

PROJECT MONITORING:

DUI Abatement Council grant project monitoring is used by GOHS project coordinators to track the progress of project objectives, performance measures and compliance with applicable procedures, laws, and regulations.

The process is used throughout the duration of the agreement project and serves as a continuous management tool. Project monitoring also presents a good opportunity for developing partnerships, sharing information and providing assistance to contracted agencies. Additionally, project monitoring outlines a set of procedures for project review and documentation.

Project monitoring also serves as a management tool for:

- Detecting and preventing problems
- Helping to identify needed changes
- Identifying training or assistance needed
- Obtaining data necessary for planning, and evaluation
- Identifying exemplary projects

Types of Monitoring

Monitoring is formal and informal, financial and operational. The most common types of monitoring are:

- Ongoing contact with the contracted grantee through phone calls, e-mails, correspondence, and meetings
- On-Site and/or In-House monitoring reviews of project operations, management, and financial records and systems
- Review of project Quarterly Reports
- Review and approval of Requests for Cost Incurred (RCIs)
- Desk review of other documents in the project-grant files for timely submission and completeness

Monitoring Schedule	
Total Awarded Amount	Type of Monitoring
Under \$50,000	Desk Review/Phone Conference.
\$50,000 and over	May have an In-House GOHS Review
\$100,000+	May have an On-Site Review
Capital Outlay Greater than \$25,000.00 (combined)	May have an On-Site Review
Desk Review and Phone Conference	Internal Review of all written documentation related to agreement project including but not limited to agreement, quarterly reports, enforcement data, financial data, e-mails, letters, notes, press releases, photographs, inventories, and other written correspondence. A phone conference call conducted during the course of the project which includes the date and time of the call, the person/s contacted and the results. Serves as an informational review to determine progress of programmatic/financial activities. Both the designated project administrator and fiscal contact should be present, if possible, during the phone conference. If identified financial or operational problems are present, GOHS reserves the right to bring the grantee in for an in-house meeting at GOHS. Monitoring form written by Project Coordinator, any findings or areas of improvement, concern or recognition will be provided to the grantee.
In-House Review	Documents performance review results including project activities, reimbursement claims review, equipment purchases, approvals, and other information. Reviews applicable information related to the project(s) including but not limited to agreement, quarterly reports, enforcement data, financial data, e-mails, letters, notes, press releases, photographs, inventories, and other written correspondence. Completed at GOHS in a meeting with appropriate operational and financial personnel. Monitoring form written by Project Coordinator, any findings or areas of improvement, concern or recognition will be provided to the grantee.
On-Site Monitoring	Documents performance review results including project activities, reimbursement claims review, equipment purchases, and other information. Reviews applicable information related to the project(s) including but not limited to agreement, quarterly reports, enforcement data, financial data, e-mails, letters, notes, press releases, photographs, inventories, and other written correspondence. Conducted on-site at the grantee's agency with monitoring form completed on-site by Project Coordinator. Any findings or areas of improvement, concern, or recognition, will be provided to the grantee.

On-site and/or In-house monitoring for grantees of designated projects with large capital outlay purchases, personnel services, and complex projects must be completed within the second or third quarter of the Agreement period. Contracted projects displaying any problems might need on-site monitoring more than once during the fiscal year.

On-site and/or In-house monitoring includes a review and discussion of all issues related to assure the effective and administration of the contracted project. The following are the most important items to review:

- Progress toward meeting goals/objectives and performance measures
- Adherence to the contract specifications, timely submission of complete and correct reports, including required documentation
- Quarterly reports
- Status of expenditures related to the outlined budget
- Accounting records
- Supporting documentation (training documentation, inventory sheets, photographs, press releases etc)

In addition, the designated project administrator will assure that any equipment purchased will be available for inspection and is being used for the purpose for which it was bought under the outlined contractual agreement.

Documentation

All findings will be documented on the GOHS Monitoring Form and placed in the grantee's respective state file. Findings will be discussed with the grantee designated agreement representative (project administrator, fiscal specialist) by phone and/or e-mail. All noted deficiencies will be provided to the grantee with guidance for improvement and solutions to problems. Grantees that exhibit significantly poor performance will be placed on a performance plan as outlined by the project coordinator. Grantee monitoring information will additionally provide documentation for potential funding in subsequent fiscal year grant proposal review.

PROJECT PERIOD:

The Project Period shall commence on the date the DUI Abatement Council Chairman or GOHS Director in the Chairman's stead, signs the DUI Abatement Grant Agreement and terminates at the end of one year on the date as indicated on the DUI Abatement Council Grant Agreement.

DURATION:

Agreements shall be effective on the date the DUI Abatement Council Chairman or GOHS Director in the Chairman's stead, signs the agreement and expire at the end of the project period.

If the Agency is unable to expend the funds in the time period specified and needs an extension, a typed extension request shall be signed by the Project Director on the Agency's letterhead and submitted via mail or hand delivered to the Chairman of the DUI Abatement Council at the Governor's Office of Highway Safety within ninety (90) days before the end of the project period.

The Agency shall address all requests to modify the contract to the Chairman of the DUI Abatement Council on Agency letterhead and either hand deliver or submit the request via regular mail to the GOHS office. All requests for modification must bear the signature of the Project Director.

Failure to comply may result in cancellation of the agreement. Any unexpended funds remaining at the termination of the agreement shall be released back to the DUI Abatement Fund.

ESTIMATED COSTS:

I.	Personnel Services (overtime)	\$20,000.00
	DUI Enforcement Overtime	
II.	Employee Related Expenses	\$0.00
	DUI Enforcement Overtime ERE	
III.	Professional and Outside Services	\$0.00
IV.	Travel In-State	\$0.00
V.	Travel Out-of-State	\$0.00
VI.	Materials and Supplies	\$0.00
VII.	Capital Outlay	\$0.00
TOTAL ESTIMATED COSTS		\$20,000.00

The DUIAC reserves the right to limit reimbursement of Employee Related Expenses from zero (0) to a maximum rate of 40 percent. This is the maximum ERE amount to be reimbursed. It is agreed and understood that the Surprise Police Department shall absorb any and all expenditures in excess of **\$20,000.00**.

CERTIFICATIONS AND AGREEMENTS

This AGREEMENT, is made and entered into by and between the STATE OF ARIZONA, by and through the Oversight Council On Driving Or Operating Under The Influence Abatement (DUIAC) hereinafter referred to as "STATE", and the Marana Police Department in this Agreement, hereinafter referred to as "AGENCY".

WHEREAS, the Arizona Revised Statutes (§§1303-1304), provides State funds to STATE for approved DUI Enforcement and DUI Innovative projects; and

WHEREAS, STATE may make said funds available to various state, county, tribal, or municipal agencies, governments, or political subdivisions upon application and approval by STATE; and

WHEREAS, AGENCY must comply with the requirements listed herein to be eligible for State funds for approved DUI Enforcement and DUI Innovative projects; and

WHEREAS, AGENCY has submitted an application for State funds for DUI Enforcement and DUI Innovative projects;

NOW, THEREFORE, IN CONSIDERATION OF MUTUAL PROMISES AND OTHER GOODS AND VALUABLE CONSIDERATION, it is mutually agreed that AGENCY will strictly comply with the following terms and conditions and the following Federal and State Statutes, Rules, and Regulations:

I. Project Monitoring, Reports, and Inspections

- A. AGENCY agrees to fully cooperate with representatives of STATE monitoring the project, either on-site or by telephone, during the life of the Agreement.
- B. AGENCY will submit Quarterly Reports (one for each three-month period of the project year) to STATE in the form and manner prescribed by STATE. Notice of the specific requirements for each report will be given in this Agreement or at any time thereafter by giving thirty (30) days written notice to AGENCY by ordinary mail at the address listed on the Agreement. Failure to comply with Quarterly Report requirements may result in withholding of State funds or termination of this Agreement.
- C. AGENCY will submit a Final Report/Statement of Accomplishment at completion of the Agreement to include all financial, performance, and other reports required as a condition of the grant to STATE within thirty (30) days of the completion of the Agreement.
- D. Representatives authorized by STATE will have the right to visit the site and inspect the work under this Agreement whenever such representatives may determine such inspection is necessary.

II. Reimbursement of Eligible Expenses

- A. AGENCY'S Project Director, or Finance Personnel, will submit a Report of Costs Incurred Form (RCI) to STATE each time there have been funds expended for which reimbursement is

being requested. Failure to meet this requirement may be cause to terminate the project under section XIX herein, "Termination and Abandonment".

- B. AGENCY will reimburse STATE for any ineligible or unauthorized expenses for which State funds have been claimed and reimbursement received, as may have been determined by a State audit.
- C. STATE will have the right to withhold any installments equal to the reimbursement received by AGENCY for prior installments which have been subsequently determined to be ineligible or unauthorized.

III. Property Agreement

- A. AGENCY will immediately notify STATE if any equipment purchased under this Agreement ceases to be used in the manner as set forth by this Agreement. In such event, AGENCY further agrees to either give credit to the project cost or to another active DUI Abatement project for the residual value of such equipment in an amount to be determined by STATE or to transfer or otherwise dispose of such equipment as directed by STATE.
- B. No equipment will be conveyed, sold, salvaged, transferred, etc., without the express written approval of STATE, or unless otherwise provided elsewhere in this Agreement.
- C. AGENCY will maintain or cause to be maintained for its useful life, any equipment purchased under this Agreement.
- D. AGENCY will incorporate any equipment purchased under this Agreement into its inventory records.
- E. AGENCY will insure any equipment purchased under this Agreement for the duration of its useful life. Self-insurance meets the requirements of this section.

IV. Travel

In-State and Out-of-State Travel

In-state and out-of-state travel claims will be reimbursed at rates provided by AGENCY'S regulations, provided that such regulations are as restrictive as those of STATE. Where they are less restrictive, ARS §38-624 will apply.

All out-of-state travel must be approved in writing in advance by STATE.

V. Standard of Performance

AGENCY hereby agrees to perform all work and services herein required or set forth, and to furnish all labor, materials, and equipment, except that labor, material, and equipment as STATE agrees to furnish pursuant to this Agreement.

VI. Hold Harmless Agreement

Neither party to this agreement agrees to indemnify the other party or hold harmless the other party from liability hereunder. However, if the common law or a statute provides for either a right to indemnify and/or a right to contribution to any party to this agreement then the right to pursue one or both of these remedies is preserved.

VII. Non-Assignment and Sub-Contracts

This Agreement is not assignable nor may any portion of the work to be performed be sub-contracted unless specifically agreed to in writing by STATE. No equipment purchased hereunder may be assigned or operated by other than AGENCY unless agreed to in writing by STATE.

VIII. Work Products and Title to Commodities and Equipment

- A. The work product and results of the project are the property of STATE, unless otherwise specified elsewhere in this Agreement. All property, instruments, non-consumable materials, supplies, and the like, which are furnished or paid for by STATE under the terms of this Agreement, unless otherwise provided for elsewhere in this Agreement, are and remain the property of STATE and will be returned at the completion of this project upon request of STATE. The work product and results of the project will be furnished to STATE upon request, if no provision is otherwise made by this Agreement.
- B. The provisions of subparagraph A apply whether or not the project agreed to herein is completed.

IX. Copyrights and Patents

Any copyrightable materials, patentable discovery, or invention produced in the course of this project may be claimed by STATE and a copyright or patent obtained by it at its expense. In the event STATE does not wish to obtain such copyright or patent, AGENCY may do so, but in any event, provision will be made by AGENCY for royalty-free, nonexclusive, nontransferable, and irrevocable licenses to be given the United States Government and STATE and its political subdivisions to use such copyrightable material, patented discoveries, or inventions in any manner they see fit. The STATE reserves the right to impose such other terms and conditions upon the use of such copyrights or patents as may be deemed in the best interest of STATE in the event AGENCY is allowed to obtain a copyright or patent.

X. Arizona Procurement Code (ARS, §41-2501, et. seq.)

AGENCY and sub-grantees will use their own procurement procedures, which reflect applicable State and local laws and regulations. The most stringent purchasing requirement at each level must be met.

The Arizona Procurement Code (ARS, §41-2501, et. seq.) and promulgated rules (A.A.C. Title 2, Chapter 7) are a part of this Agreement as if fully set forth herein and AGENCY agrees to fully comply with these requirements for any procurement using grant monies from this Agreement.

XI. Equal Opportunity

- A. Pursuant to the requirements of the Federal-Aid Highway Act of 1968 (U.S.C. §103 et. seq.), AGENCY, as a condition to receiving approval of this Agreement, hereby gives its assurance that employment in connection with the subject DUI Abatement Council Grant Project will be provided without regard to race, color, creed, sex, or national origin, and that any contract it enters into with any private agency pursuant hereto will include provisions in compliance with this paragraph (XI).

As a condition of receiving approval of this Agreement, AGENCY will be subject to and will comply with Title VI of the Civil Rights Act of 1964, providing that no person in the United States shall on the ground of race, color, creed, sex, or national origin be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under the subject DUI Abatement Council Grant Project.

- B. If AGENCY fails or refuses to comply with its undertaking as set forth in these provisions, STATE may take any or all of the following actions.
1. Cancel, terminate, or suspend, in whole or in part, the agreement, contract, or other arrangement with respect to which the failure or refusal occurred; and
 2. Refrain from extending any further State financial assistance to AGENCY under the DUI Abatement Council Grant Program with respect to which the failure or refusal occurred until satisfactory assurance of future compliance has been received from AGENCY.
- C. Pursuant to the requirement of Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. §794), AGENCY must operate this DUI Abatement Council Grant Project so that it is accessible and otherwise non-discriminatory to handicapped persons.

XII. Executive Order 2009-09

It is mutually agreed that AGENCY will comply with the terms and conditions of Executive Order 2009-09, *Non-Discrimination in Employment by Government Contractors and Subcontractors*. Executive Order 2009-09 is located in Part II of the Project Director's Manual.

XIII. Arbitration Clause, ARS §12-1518

Pursuant to ARS §12-1518, the parties agree to use arbitration, after exhausting applicable administrative reviews, to resolve disputes arising out of this Agreement where the provisions of mandatory arbitration apply.

XIV. Inspection and Audit, ARS §35-214

Pursuant to ARS §35-214, all books, accounts, reports, files, and other records relating to this Agreement will be subject at all reasonable times to inspection and audit by STATE for five (5) years after completion of this Agreement. The records will be produced at the Governor's Office of Highway Safety.

XV. Appropriation of Funds by the Arizona Legislature

It is agreed that in no event will this Agreement be binding on any party hereto unless and until such time as funds are appropriated and authorized by the Arizona Legislature and specifically allocated to the project submitted herein by the DUI Abatement Council and then only for the fiscal year for which such allocation is made. In the event no funds are appropriated by the Arizona Legislature or no funds are allocated for the project proposed herein by the DUI Abatement Council for subsequent fiscal years, this Agreement will be null and void, except as to that portion for which funds have then been appropriated or allocated to this project, and no right of action or damages will accrue to the benefit of the parties hereto as to that portion of the Agreement or project that may so become null and void.

XVI. Continuation of DUI Abatement Program

It is the intention of AGENCY to continue the DUI Abatement Program identified in this Agreement once DUI Abatement Council funding is completed. This intended continuation will be based upon cost effectiveness and an evaluation by AGENCY of the program's impact on highway safety.

XVII. E-Verify

Both Parties acknowledge that immigration laws require them to register and participate with the E-Verify program (employment verification program administered by the United States Department of Homeland Security and the Social Security Administration or any successor program) as they both employ one or more employees in this state. Both Parties warrant that they have registered with and participate with E-Verify. If either Party later determines that the other non-compliant Party has not complied with E-Verify, it will notify the non-compliant Party by certified mail of the determination and of the right to appeal the determination.

XVIII. Termination and Abandonment

- A. The STATE and AGENCY hereby agree to the full performance of the covenants contained herein, except that STATE reserves the right, at its discretion, to terminate or abandon any portion of the project for which services have not been already performed by AGENCY.
- B. In the event STATE abandons the services or any part of the services as herein provided, STATE will notify AGENCY in writing and within twenty-four (24) hours after receiving such notice, AGENCY will discontinue advancing the work under this Agreement and proceed to close said operations under the Agreement.
- C. The appraisal value of work performed by AGENCY to the date of such termination or abandonment shall be made by STATE on a basis equitable to STATE and AGENCY and a final reimbursement made to AGENCY on the basis of costs incurred. Upon termination or abandonment, AGENCY will deliver to STATE all documents, completely or partially completed, together with all unused materials supplied by STATE.
- D. AGENCY may terminate or abandon this Agreement upon thirty (30) days written notice to STATE, provided there is subsequent concurrence by STATE. Termination or abandonment

by AGENCY will provide that costs can be incurred against the project up to and including sixty (60) days after notice is given to STATE.

- E. Any equipment or commodities which have been purchased as a part of this Agreement and which have not been consumed or reached the end of its useful life will be returned to STATE upon its written request.

XIX. Cancellation Statute

All parties are hereby put on notice that this Agreement is subject to cancellation pursuant to ARS §38-511, the provisions of which are stated below.

In accordance with ARS §38-511, this Agreement may be cancelled without penalty or further obligation if any person significantly involved in initiating, negotiating, securing, drafting, or creating the Agreement on behalf of the STATE, its political subdivisions or any department or agency of either, is at any time while the Agreement or any extension of the Agreement is in effect, an employee of any other party to the Agreement in any capacity or a consultant to any other party of the Agreement with respect to the subject matter or the Agreement.

The cancellation shall be effective when written notice from the Governor or chief executive officer or governing body of the political subdivision is received by all other parties to the Agreement unless the notice specifies a later time.

AGREEMENT OF UNDERSTANDING AND CERTIFICATION OF COMPLIANCE**Acceptance of Condition**

It is understood and agreed by the undersigned that a grant received as a result of this Agreement is subject to ARS §28-602, and all administrative regulations governing grants established by the STATE. It is expressly agreed that this DUI Abatement Grant Project constitutes an official part of the STATE's DUI Abatement Council Program and that AGENCY will meet the requirements as set forth in the accompanying DUIAC Project Director's Manual, which are incorporated herein and made a part of this Agreement. All State Statutes, Rules, Regulations, and Circulars referenced in this Agreement are a part of this document as if fully set forth herein. It is also agreed that no work will be performed nor any obligation incurred until AGENCY is notified in writing that this project has been approved by the DUI Abatement Council Representative.

Certificate of Compliance

This is to certify that AGENCY will comply with all of the State Statutes, Rules and Regulations identified in this Agreement.

Certification of Non-Duplication of Grant Funds Expenditure

This is to certify that AGENCY has no ongoing nor completed projects under agreement with other Federal or State fund sources which duplicate or overlap any work contemplated or described in this Agreement. It is further certified that any pending or proposed request for other Federal or State grant funds which would duplicate or overlap work described in the Agreement will be revised to exclude any such duplication of grant fund expenditures. It is understood that any such duplication of Federal or State funds expenditures subsequently determined by audit will be subject to recovery by STATE.

Single Audit Act

If your political subdivision has had an independent audit meeting the requirements of the Single Audit Act of 1984, (31 U.S.C.A. §7501 et. seq.), please forward a copy to GOHS, Attention: Fiscal Services Officer, within thirty (30) days of the effective date of this Agreement. If such audit has not been performed, please advise when it is being scheduled.

Buy America Act

In accordance with the Buy America Act (49 U.S.C. 5323(j)):
Only steel, iron and manufactured products produced in the United States may be purchased with Federal funds unless the Secretary of Transportation determines that such domestic purchases would be inconsistent with the public interest, that such materials are not reasonably available and of a satisfactory quality, or that inclusion of domestic materials will increase the cost of the overall project contract by more than 25 percent. Clear justification for the purchase of non-domestic items must be in the form of a waiver request submitted to and approved by the Secretary of Transportation.

REIMBURSEMENT INSTRUCTIONS

1. Agency Official preparing the Report of Costs Incurred:

Name: _____

Title: _____

Telephone Number: _____ Fax Number: _____

E-mail Address: _____

2. Agency's Fiscal Contact:

Name: _____

Title: _____

Telephone Number: _____ Fax Number: _____

E-mail Address: _____

Federal Identification Number: _____

3. *REIMBURSEMENT INFORMATION:*

Warrant/Check to be made payable to:

Warrant/Check to be mailed to:

(Agency)

(Address)

(City, State, Zip Code)

Lobbying Restrictions

Certification for Contracts, Grants, Loans, and Cooperative Agreements

The undersigned certifies, to the best of his or her knowledge and belief, that:

- A. No State appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of the Arizona Legislature, an officer or employee of the Arizona Legislature, or an employee of a Member of the Arizona Legislature in connection with the awarding of any State contract, the making of any State grant, the making of any State loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any State contract, grant, loan, or cooperative agreement.
- B. If any funds other than State appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of the Arizona Legislature, an officer or employee of the Arizona Legislature, or an employee of a Member of the Arizona Legislature in connection with this State contract, grant, loan, or cooperative agreement, the undersigned will complete and submit Standard Form, "Disclosure Form to Report Lobbying," in accordance with the Arizona Secretary of State instructions.
- C. The undersigned will require that the language of this certification be included in the award documents for all sub-awards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all sub-recipients will certify and disclose accordingly.
- D. This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction.

Signature of Project Director:

Terry Young, Chief
Surprise Police Department

Signature of Authorized Official of Governmental Unit:

Bob Wingenroth, City Manager
City of Surprise

Date Telephone

Date Telephone

RESOLUTION # 2017-117

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF SURPRISE, ARIZONA AUTHORIZING THE CITY TO ACCEPT AND ENTER INTO THE ARIZONA GOVERNOR'S OFFICE OF HIGHWAY SAFETY DRIVING UNDER THE INFLUENCE ABATEMENT GRANT AND AMENDING THE FISCAL YEAR 2018 BUDGET BY REALLOCATING APPROPRIATIONS OF \$20,000 FROM CONTINGENCY TO OVERTIME WITHIN THE GRANTS FUND FOR THE RECEIPT OF GRANT FUNDING.

WHEREAS, the Arizona Governor's Office of Highway Safety (GOHS) annually awards grants to local agencies to focus upon abatement of impaired driving/driving while under the influence (DUI);

WHEREAS, the City of Surprise Police Department has been awarded grant funding in the amount of \$20,000 for overtime expenses to be used to focus upon impaired driving abatement;

WHEREAS, accepting grant funding for this purpose will cause impaired driver enforcement to be increased and educate citizens on the dangers of impaired driving;

WHEREAS, the City of Surprise Police Department desires to accept this grant award;

WHEREAS, the FY2018 budget was adopted by Council Resolution #2017-64 on June 6, 2017;

WHEREAS, this action will necessitate a budget amendment; and

WHEREAS, the City of Surprise Administrative Policies requires the approval of the Mayor and Council prior to the acceptance of grant funds and budget amendments of this nature.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Surprise, Arizona, as follows.

Section 1. The City of Surprise is authorized to accept and enter into a grant for receipt of grant funding in the amount of \$20,000 from the Arizona Governor's Office of Highway Safety for the City of Surprise, acting through its Police Department, to be able to conduct DUI and impaired driving enforcement and awareness pursuant to the Governor's Office of Highway Safety Abatement Council Grant.

Section 2. The City Manager, or his designee, is hereby authorized to conduct all negotiations and to execute and submit all documents and other necessary or desirable instruments in connection with said agreement.

Section 3. That the statements and schedules attached as *Exhibit A* and incorporated by reference are adopted, amending the budget of the City of Surprise, Arizona for the fiscal year July 1, 2017 through June 30, 2018.

APPROVED AND ADOPTED this ____ day of _____, 2017.

Sharon R. Wolcott, Mayor

Attest:

Approved as to form:

Sherry Aguilar, City Clerk

Robert Wingo, City Attorney

RESOLUTION # 2017-117

Exhibit A

The FY2018 Annual Budget is amended by reallocating appropriations among lawfully available appropriations to ensure the continued operations of the City of Surprise in the payment of necessary expenditures. These allocations do not represent an actual transfer of funds, but only a transfer of spending authority. Additionally, these reallocations do not increase or decrease the total budget.

1. Appropriation - The table below represents a reallocation of appropriations within the Grants Fund in the amount of \$20,000 from contingency to the Police Department's Patrol Program to establish a budget for the FY2018 GOHS DUI Task Force Grant. These allocations do not represent an actual transfer of funds, but only a transfer of spending authority.

Fund	Department	Project/Category	Rev/ Exp	Current Budget	Increase/ (Decrease)	Amended Budget
Grants	Police	#G31310 FY18 GOHS DUI Task Force	E	-	20,000	20,000
Grants	Police	#G31310 FY18 GOHS DUI Task Force	R	-	20,000	20,000
Grants	General Operations	Contingency	E	12,490,000	(20,000)	12,470,000
Grants	General Operations	Other	R	12,828,900	(20,000)	12,808,900
				25,318,900	-	25,318,900



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date:	October 3, 2017	Contact Person:	Sergio Angulo - Community Development
Submitting Department:	CD	District:	1
Staff Recommendations:	None		

Consent	x	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on the final plat entitled, "Verdugo Master Plat" dated June 20, 2017, which identifies the locations of main roads, residential parcels, and drainage tracts on approximately 189.9 acres located on the northeast corner of Pinnacle Peak Road and 163rd Avenue.

Motion:

I move to approve the final plat entitled, "Verdugo Master Plat" dated June 20, 2017.

Background:

Cardno, Inc. submitted a request for the Master Plat for Verdugo which identifies the locations of main roads, residential parcels, and drainage tracts on approximately 189.9 acres located on the northeast corner of Pinnacle Peak Road and 163rd Avenue.

Objective Analysis:

The applicant proposes to develop as a 629-lot subdivision to include a mixture of low-density and medium density residential lots, community parks, and a public trail, leaving a commercial parcel for future development on the northeast corner of Pinnacle Peak Road and 163rd Avenue.

Policy Compliant:

The proposed project is consistent with City and Council Policy.

Financial Impact:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

Budget Impact:

There is no anticipated budget impact related to this item.

FTE Impact:

This item does not have an impact on current staff levels.

ATTACHMENTS:

Click to download

- ☐ [00 - FS16-471 Verdugo Master Plat - Staff Report](#)
 - ☐ [01 - FS16-471 Verdugo Master Plat - Vicinity Map](#)
 - ☐ [02 - FS16-471 Verdugo Master Plat - Final Plat](#)
 - ☐ [03 - FS16-471 Verdugo Master Plat - Landscape Plan](#)
 - ☐ [04 - FS16-471 Verdugo Master Plat - Luke AFB Comments](#)
 - ☐ [05 - FS16-471 Verdugo Master Plat - ADOT Comments](#)
 - ☐ [06 - FS16-471 Verdugo Master Plat - MWD Comments](#)
 - ☐ [07 - FS16-471 Verdugo Master Plat - Presentation](#)
-

FINAL PLAT

REPORT TO THE CITY COUNCIL

Case: FS16-471

Project Name: Verdugo Master Plat

Council District: 1 - Acacia

Meeting Date: October 3, 2017

Planner: Sergio Angulo

Owners: Verdugo Land, LLC
Evergreen 163rd & Pinnacle Peak, LLC
371 on 163, LLC

Applicant: Dan Pottinger with Cardno, Inc.

Request: Master Plat to include 6 parcels and 7 tracts

Site Location: On the northeast corner of Pinnacle Peak Road and 163rd Avenue within the Verdugo Planned Area Development (PAD)

Site Size: Approximately 189.9 Acres

Density: N/A

General Plan Conformance: The proposal is consistent with the Surprise General Plan 2035

Support/Opposition: None known

Findings:

- The proposed Master Plat is consistent with the Surprise General Plan 2035
- The proposed Master Plat is consistent with the Verdugo PAD as amended under case FS14-159
- The proposed Master Plat is consistent with the Preliminary Plat approved under case FS14-159
- The reviewing agencies have indicated no objections to the request

40 **Background:**

41 **January 22, 2004:** The subject property was annexed into the City of Surprise by the
42 Mayor and City Council.

43 **February 12, 2004:** The Mayor and City Council approved the Pinnacle Peak Country
44 Estates PAD under case PAD03-110. This PAD was subsequently amended by virtue of
45 the Verdugo PAD approved in 2008.

46 **April 22, 2008:** The Mayor and City Council approved the Verdugo PAD under case
47 PAD08-171.

48 **June 9, 2009:** The Community Development Director approved a Minor Amendment to the
49 Verdugo PAD such to reduce the right-of-way dedication requirement for 163rd Avenue
50 from 100' half-width to 68' half-width adjacent to the site.

51 **December 15, 2015:** The Mayor and City Council approved a Preliminary Plat and a Mayor
52 Amendment to the Verdugo PAD under case FS14-159.

53 **August 4, 2016:** A Concept Review meeting was held for the current proposal under case
54 CR16-319.

55 **October 27, 2016:** The applicant filed a request for a Master Plat under case FS16-471,
56 the subject case.

57 **PROJECT DESCRIPTION:**

58
59 Cardno, Inc., on behalf of Verdugo Land, LLC, Evergreen 163rd & Pinnacle Peak, LLC, and
60 Walgreen Arizona Drug Company, seeks approval of a Master Plat to include 6 parcels and
61 7 tracts for the Verdugo development located on the northeast corner of Pinnacle Peak
62 Road and 163rd Avenue. The proposed Master Plat identifies five (5) tracts for Right-Of-
63 Way; Tract A (Pinnacle Peak Road), Tract B (163rd Avenue), Tract C (Asante Boulevard),
64 Tract D (San Ysidro Road), and Tract G (158th Lane). No Right-of-Way is being dedicated
65 with this Master Plat. The applicant proposes to dedicate Right-of-Way of Tracts A
66 (Pinnacle Peak Road), B (163rd Avenue), and C (Asante Boulevard) as a separate Map of
67 Dedication (MOD) application. Right-of-Way of Tracts D (San Ysidro Road) and G (158th
68 Lane) will be dedicated under the applications of the Final Plats of the adjacent Parcels.

69 This Master Plan also identifies the location of five (5) residential parcels (Parcels 1-5), one
70 (1) commercial parcel (Parcel 6), and two (2) drainage tracts (Tracts E and F) along the
71 north and east boundaries of the subject property that include a public multi-use trail, a
72 Frisbee golf course, exercise station with fitness equipment, and seating areas.

73 The site is currently vacant land that proposes to develop as a 628-lot subdivision to
74 include a mixture of low-density and medium density residential lots, community parks, a
75 public trail, and a commercial parcel on the northeast corner of Pinnacle Peak Road and
76 163rd Avenue.

77 **REVIEWING AGENCIES:**

78
79 In addition to the standard city reviewing agencies, who indicate no objections to the
80 requests, Luke Air force Base, Maricopa Water District, and ADOT were included in the
81 routing of this case. These agencies also indicate no objections.
82

83 **SUMMARY:**

84
85 The proposed Master Plat is well designed and meets the requirements of the Verdugo
86 PAD and the Surprise Municipal Code. This Master Plat does not include any Right-of-Way
87 dedication it simply identifies the locations of main roads, residential parcels, and drainage
88 tracts.
89

90 **FINDINGS:**

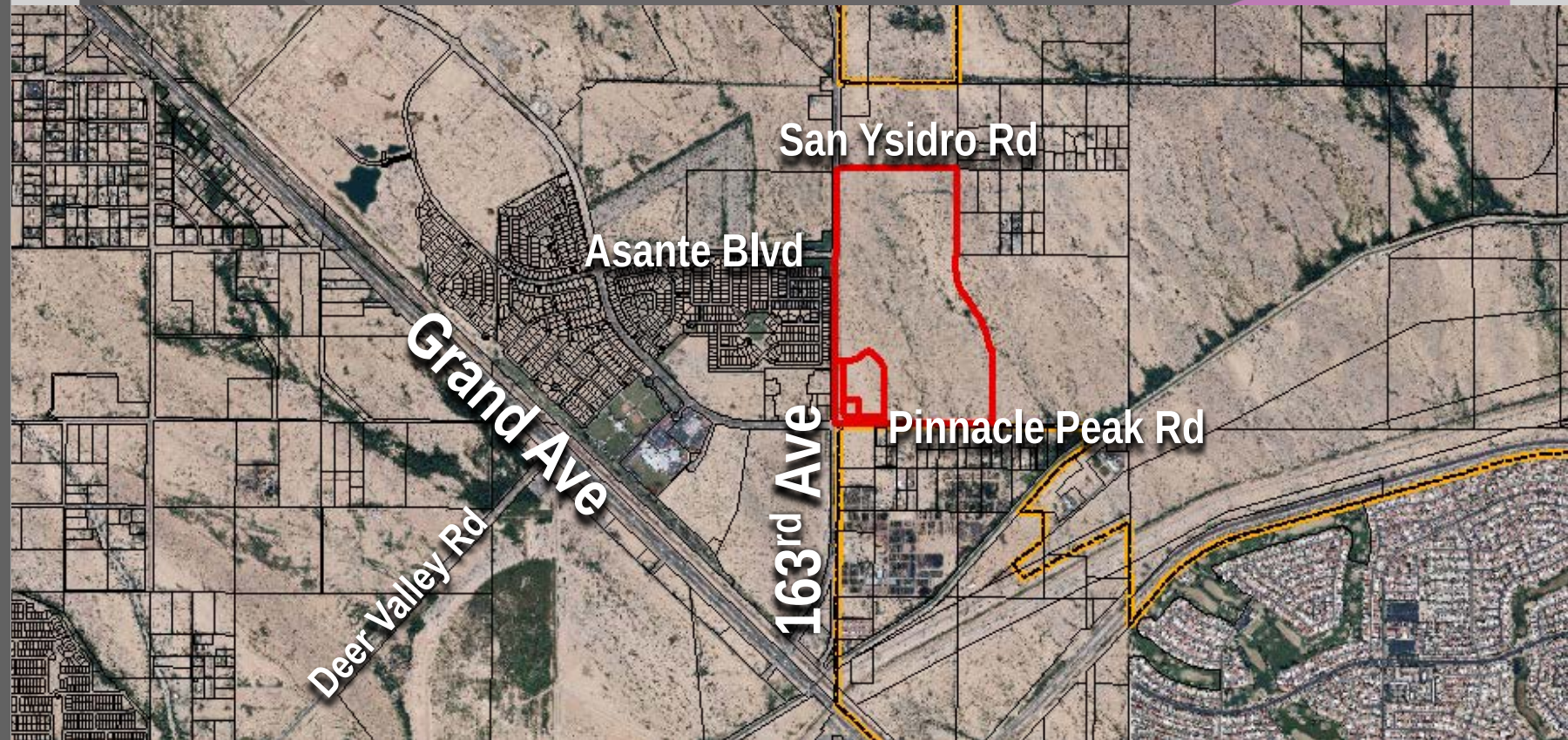
- 91
92
 - The proposed Master Plat is consistent with the Surprise General Plan 2035
 - 93 • The proposed Master Plat is consistent with the Verdugo PAD
 - 94 • The proposed Master Plat is consistent with the Preliminary Plat approved under
 - 95 case FS14-159.
 - 96 • The reviewing agencies have indicated no objections to the request

97

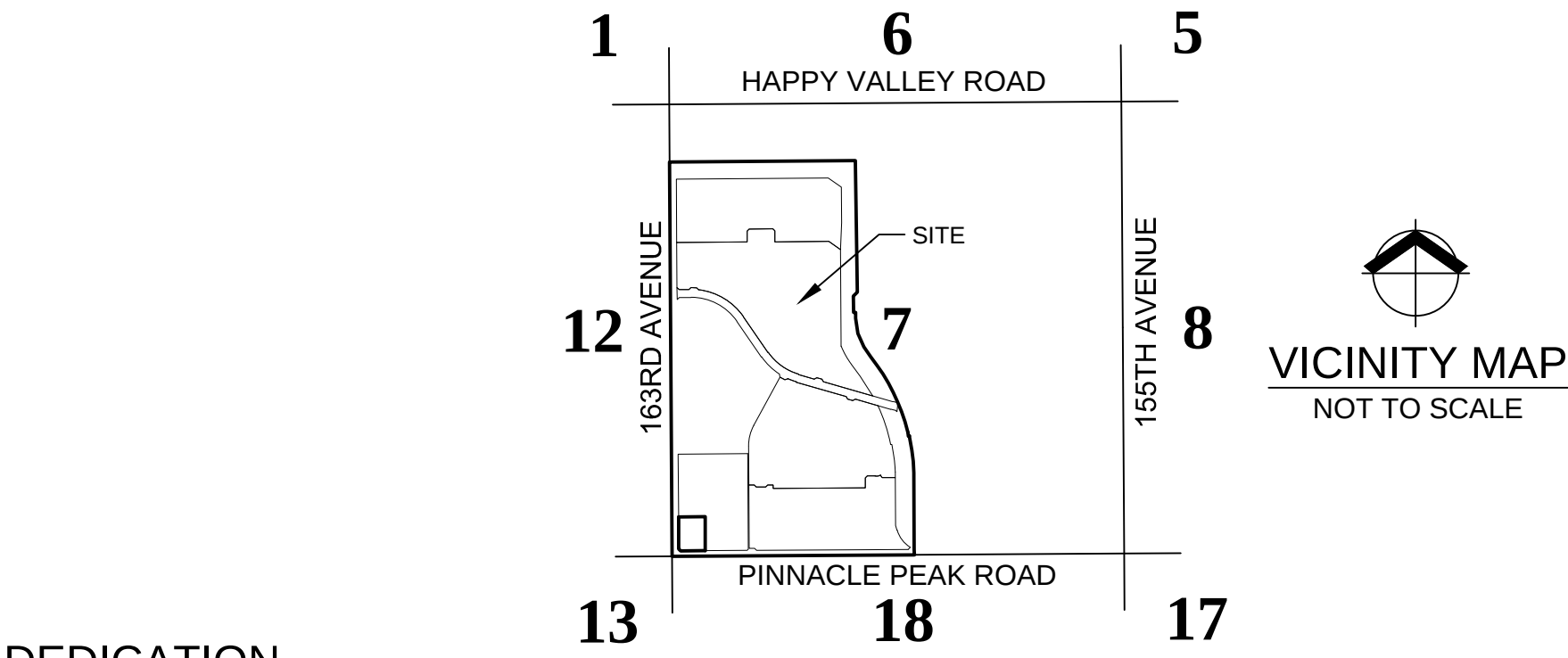
98 **Attachments:**

- 99
100 01 – Vicinity Maps
101 02 – Final Plat
102 03 – Landscape Plans
103 04 – Luke AFB Comments
104 05 – ADOT Comments
105 06 – MWD Comments

VICINITY MAP



Plot Stamp: 9/11/2017 1:43:55 PM - Scott Rowley
File: J:\Project\4161214000\Survey\Parcel Maps\Master Plat\1214-DD-MP-001.kwg



DEDICATION

STATE OF ARIZONA COUNTY OF MARICOPA
KNOW ALL PERSONS BY THESE PRESENTS: THAT VERDUGO LAND, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, EVERGREEN-163RD & PINNACLE PEAK, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND 371 ON 163, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, ("OWNERS") HAS SUBDIVIDED UNDER THE NAME "VERDUGO - MASTER PLAT", A SUBDIVISION LOCATED IN A PORTION OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA AS SHOWN AND PLATTED HEREON AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF "VERDUGO - MASTER PLAT" AND DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET, AND EASEMENT CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET, AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, AND/OR NAME GIVEN TO EACH RESPECTIVELY AS SHOWN ON THIS PLAT.
OWNERS HEREBY GRANT TO THE CITY OF SURPRISE A CROSS ACCESS EASEMENT ACROSS THE ENTIRE PLAT FOR THE PURPOSE OF PROVIDING CONTINUOUS AND UNINTERRUPTED INGRESS AND EGRESS FOR EMERGENCY AND TRASH COLLECTION VEHICLES.
OWNERS HEREBY GRANT TO THE PUBLIC A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS PUBLIC UTILITY EASEMENTS AS SHOWN ON THE PLAT FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, MAINTAINING, REPAIRING, REPLACING AND UTILIZING PUBLIC UTILITIES.
OWNERS HEREBY GRANT TO THE PUBLIC AN EASEMENT FOR RECREATION OVER, UPON, AND ACROSS THOSE AREAS DESIGNATED AS RECREATION TRAILS OR AREAS FOR THE PURPOSE OF ALLOWING THE PUBLIC ACCESS TO THE TRAIL SYSTEM.
OWNERS HEREBY GRANT TO THE CITY OF SURPRISE A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS SIGHT VISIBILITY TRIANGLES FOR THE PURPOSE OF ENSURING THAT THESE AREAS REMAIN FREE OF SIGHT VISIBILITY OBSTRUCTIONS.
OWNERS HEREBY GRANT TO THE UNITED STATES OF AMERICA DEPARTMENT OF THE AIR FORCE ("USAF") AN AVIGATION EASEMENT OVER AND ACROSS THIS PLAT AND EVERY LOT AND PARCEL THEREOF, WHICH EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE RIGHT OF FLIGHT OF AIRCRAFT OVER THIS PLAT, TOGETHER WITH ITS ATTENDANT NOISE, VIBRATIONS, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE AND AUXILIARY FIELD.
VERDUGO LAND, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, EVERGREEN-163RD & PINNACLE PEAK, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND 371 ON 163, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, ("OWNERS") DO HEREBY (1) RELEASE AND DISCHARGE THE CITY OF SURPRISE, AND (2) INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE, OF AND FROM ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE OVER, OR IN CONNECTION WITH THE AREAS LOCATED WITHIN THE NEWLY DEDICATED RIGHT-OF-WAY AS DEPICTED ON THIS PLAT UNTIL SUCH TIME THE RIGHT-OF-WAY IS IMPROVED TO CITY STANDARDS AND THOSE IMPROVEMENTS ARE APPROVED AND ACCEPTED BY THE CITY COUNCIL. THE MAINTENANCE OF THE AREA WITHIN ANY NEWLY DEDICATED RIGHT-OF-WAY AS SHOWN ON THIS PLAT SHALL BE THE RESPONSIBILITY OF THE ADJACENT OWNER/OR SUBSEQUENT ADJACENT OWNERS WITHIN THE BOUNDARY OF SAID PLAT UNTIL SUCH TIME THAT THE AREA WITHIN THE RIGHT-OF-WAY IS IMPROVED TO CITY STANDARD AND ACCEPTED BY THE CITY OF SURPRISE.
OWNERS HEREBY GRANT TO THE CITY OF SURPRISE AN ODOR EASEMENT OVER, UPON AND ACROSS THIS PLAT AND EVERY LOT AND PARCEL THEREOF, WHICH EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE RIGHT TO INVADE WITH ODORS, FUMES, SMELLS, AND PHYSICAL AIRBORNE PARTICULATES CAUSED BY THE OPERATION AND MAINTENANCE OF THE CITY'S WATER RECLAMATION FACILITIES.
THE MAINTENANCE OF LANDSCAPING WITHIN THE OPEN SPACES, LANDSCAPED TRACTS, RETENTION BASINS AND PARKS SHALL BE THE RESPONSIBILITY OF THE OWNER OR THE ASSOCIATION FORMED BY THE OWNER.
THE MAINTENANCE OF LANDSCAPING WITHIN THE ADJACENT PUBLIC RIGHTS-OF-WAY, INCLUDING LANDSCAPED MEDIANS WITHIN COLLECTORS AND LOCAL STREETS AND LANDSCAPED AREAS BETWEEN THE CURB AND THE DETACHED SIDEWALK, SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER OR THE PROPERTY ASSOCIATION FORMED BY THE ADJACENT PROPERTY.
LANDSCAPING MAINTENANCE WITHIN THE MEDIANS WITHIN THE PUBLIC RIGHT-OF-WAY WITHIN ANY ARTERIAL OR PARKWAY STREET CLASSIFICATION SHALL BE RESPONSIBILITY OF THE CITY OF SURPRISE AFTER ACCEPTANCE.
ALL IMPROVEMENTS, FOR STREETS AND PUBLIC UTILITIES OWNED AND OPERATED BY THE CITY, INSTALLED OR CONSTRUCTED BY OWNER WITHIN THE PUBLIC RIGHTS-OF-WAY, THE EASEMENTS, OR ANY TRACTS OR PARCELS HEREBY DEDICATED TO THE CITY OF SURPRISE SHALL BE DEEMED TO HAVE BEEN DEDICATED BY OWNER TO THE CITY UPON THEIR COMPLETION; HOWEVER, SUCH TRANSFER SHALL NOT OCCUR UNTIL THE CITY COUNCIL FOR THE CITY OF SURPRISE MANIFESTS ITS ACCEPTANCE BY SEPARATE FORMAL COUNCIL ACTION.
THE EASEMENTS GRANTED WITHIN THIS DEDICATION ARE PERMANENT AND PERPETUAL AND SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF.
IN WITNESS WHEREOF, OWNER HAS HEREUNTO CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER THIS _____ DAY OF _____, 20 ____.

VERDUGO LAND, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY:

BY _____

ITS _____

IN WITNESS WHEREOF: I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

BY _____ MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF NEVADA) SS
COUNTY OF CLARK)
ON THIS THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED BY _____, WHO ACKNOWLEDGED HIMSELF TO BE _____ OF VERDUGO LAND, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THAT HE, AS SUCH OFFICER, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

"VERDUGO MASTER PLAT"

A SUBDIVISION LOCATED IN A PORTION OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, CITY OF SURPRISE, ARIZONA

IN WITNESS WHEREOF, OWNER HAS HEREUNTO CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER _____ DAY OF _____, 20____, EVERGREEN-163RD & PINNACLE PEAK, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY:

BY: EVERGREEN DEVELOPMENT COMPANY-2007, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY
ITS: MANAGER

BY: EVERGREEN DEVCO, INC., L.L.C. A CALIFORNIA CORPORATION
ITS: MANAGER

BY _____
ITS _____

ACKNOWLEDGMENT

STATE OF ARIZONA) SS
COUNTY OF MARICOPA)

ON THIS THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED BY _____, WHO ACKNOWLEDGED HIMSELF TO BE _____ OF EVERGREEN-163RD & PINNACLE PEAK, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THAT HE, AS SUCH OFFICER, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF: I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

BY _____ MY COMMISSION EXPIRES: _____

IN WITNESS WHEREOF, OWNER HAS HEREUNTO CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER THIS _____ DAY OF _____, 20____,

371 ON 163, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY:

BY _____
ITS _____

ACKNOWLEDGMENT

STATE OF ARIZONA) SS
COUNTY OF MARICOPA)

ON THIS THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED BY _____, WHO ACKNOWLEDGED HIMSELF TO BE _____ OF 371 ON 163, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THAT HE, AS SUCH OFFICER, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF: I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

BY _____ MY COMMISSION EXPIRES: _____

ASSURED WATER SUPPLY

CERTIFICATE OF 100 YEAR ASSURED WATER SUPPLY
NO. 86-002344.0001 PURSUANT TO SECTION 45-576,
A.R.S. ISSUED BY THE ARIZONA DEPARTMENT OF
WATER RESOURCES ON SEPTEMBER 29, 2010.

RELEASE OF LIABILITY

VERDUGO LAND, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, EVERGREEN-163RD & PINNACLE PEAK, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND 371 ON 163, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, ("OWNERS") DO HEREBY (1) RELEASE AND DISCHARGE THE USAF AND THE CITY OF SURPRISE, AND (2) INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE, OF AND FROM ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE OVER, OR IN CONNECTION WITH AIRCRAFT OVERFLIGHTS FROM AIRCRAFT UTILIZING LUKE AIR FORCE BASE, WHETHER SUCH DAMAGE SHALL ORIGINATE FROM NOISE, VIBRATION, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE. THIS INSTRUMENT SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF. THIS INSTRUMENT DOES NOT RELEASE THE USAF FROM LIABILITY FOR DAMAGE OR INJURY TO PERSON OR PROPERTY CAUSED BY FALLING AIRCRAFT OR FALLING PHYSICAL OBJECTS FROM AIRCRAFT, EXCEPT AS STATED HEREIN WITH RESPECT TO NOISE, FUMES, DUST, FUEL, AND LUBRICANT PARTICLES.

OWNER HEREBY FURTHER AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE FROM ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE IN CONNECTION WITH THE USE OF THE SIDEWALKS LOCATED WITHIN THE RIGHT-OF-WAY.

SURVEYOR

MATTHEW G. BUCHANAN, R.L.S.
CARDNO INC.
19621 N. 23RD DRIVE, SUITE 150
PHOENIX, AZ 85027
PHONE: (602) 977-8000
FAX: (602) 977-8099

ENGINEER

DANIEL J. POTTINGER, P.E.
CARDNO INC.
19621 N. 23RD DRIVE, SUITE 150
PHOENIX, AZ 85027
PHONE: (602) 977-8000
FAX: (602) 977-8099

DEVELOPER/OWNER

VERDUGO LAND, L.L.C.
TERRY MANLEY
2375 E. CAMELBACK RD., SUITE 600
PHOENIX, AZ 85016
PHONE: (602) 275-5445
FAX: (480) 391-6100

DEVELOPER/OWNER

EVERGREEN-163RD & PINNACLE PEAK, L.L.C.
DOUG LEVENTHAL
2390 E. CAMELBACK RD., SUITE 410
PHOENIX, AZ 85016
PHONE: (602) 808-8600
FAX: (602) 567-7146

DEVELOPER/OWNER

371 ON 163, L.L.C.
KEITH MILLER
2375 E. CAMELBACK RD., SUITE 600
PHOENIX, AZ 85016
PHONE: (602) 275-5445
FAX: (480) 391-6100

SOUND ATTENUATION AND OVERFLIGHT LANGUAGE PUBLIC NOTICE
THE LOTS DEPICTED ON THIS PLAT ARE LOCATED WITHIN THE VICINITY OF LUKE AIR FORCE BASE AND MAY BE SUBJECT TO OVERFLIGHTS BY JET AIRCRAFT. ALL STRUCTURES WITHIN THIS PLAT SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE SOUND ATTENUATION STANDARDS ADOPTED BY THE CITY OF SURPRISE. A MAP DEPICTING THE MOST CURRENT ADOPTED MAG NOISE CONTOURS IN RELATION TO THIS PLAT SHALL BE DISPLAYED IN ALL SALES OFFICES. ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.

RATIFICATION

KNOW ALL MEN BY THESE PRESENTS:

THE UNDERSIGNED, DULY AUTHORIZED OF THE VERDUGO ALTA MIRA MASTER ASSOCIATION, AN ARIZONA NON-PROFIT ORGANIZATION, HEREBY RATIFIES THE RECORDATION OF THIS PLAT FOR "VERDUGO - MASTER PLAT" AND ACKNOWLEDGES THE RESPONSIBILITIES SET FORTH THEREIN.
VERDUGO ALTA MIRA MASTER ASSOCIATION,
AN ARIZONA NON-PROFIT CORPORATION

BY: _____ DATE: _____

ITS: _____

NOTES

1. SPRINKLERS ARE REQUIRED IN ALL ONE AND TWO FAMILY DWELLINGS BUILT IN AREAS WHICH DO NOT HAVE AN ADEQUATE WATER SUPPLY.
2. THE PROPERTY OWNER AT THE TIME WHEN CITY OF SURPRISE WATER, AND/OR SEWER INFRASTRUCTURE IS AVAILABLE AT THE PROPERTY, SHALL BE REQUIRED TO CONNECT IN ACCORDANCE WITH SURPRISE MUNICIPAL CODE AND PAY ALL APPLICABLE FEES. ANY OWNER OF THE PROPERTY SHALL NOTIFY PROSPECTIVE BUYERS AND THE PUBLIC OF THIS NOTE, AND SALES CONTRACT, REPORT SHALL CONTAIN SUCH NOTE.
3. THE PROPERTY OWNERS, OR ANY SUBSEQUENT OWNERS SHALL NOT PROCEED WITH ANY ON SITE GRADING OR EXCAVATION WITHOUT FIRST OBTAINING A PERMIT FROM THE CITY OF SURPRISE.
4. THE AREA PLATTED HEREON LIES WITHIN THE DOMESTIC WATER SERVICE AREA OF CITY OF SURPRISE WHICH IS DESIGNATED AS HAVING AN ASSURED WATER SUPPLY PURSUANT A.R.S. § 45-576.
5. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING FLOOD ZONE "A" AND ZONE "X"," BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 04013C1210L, WITH A DATE OF IDENTIFICATION OF OCTOBER 16, 2013, FOR COMMUNITY NO. 040053, IN MARICOPA COUNTY, STATE OF ARIZONA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
ZONE "A" AS DEFINED BY FEMA IS:
SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED.
ZONE "X" AS DEFINED BY FEMA IS:
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
6. IN ACCORDANCE WITH ARS § 9-461.07, THE CITY OF SURPRISE HAS DETERMINED THAT ALL DEDICATIONS OCCURRING WITH THIS PLAT ARE IN CONFORMANCE WITH THE SURPRISE GENERAL PLAN.
7. PURSUANT TO A.R.S. § 42-11102, THE CITY OF SURPRISE, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA, IS EXEMPT FROM ALL TAXES AND ASSESSMENTS BASED ON ASSESSED VALUE EXCEPT FOR SPECIAL DISTRICTS #14751 AND 14710, WHEN APPLICABLE.
8. THIS FINAL PLAT IS IN SUBSTANTIAL CONFORMANCE WITH THE VERDUGO PRELIMINARY PLAT, APPROVED 08-28-2015 UNDER CASE FS14-159.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 00°21'11" EAST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, AS MEASURED BETWEEN THE FOUND CITY OF SURPRISE BRASS CAP FLUSH, STAMPED "RLS #33307" MONUMENTING THE SOUTHWEST CORNER OF SAID SECTION 7, AND THE FOUND CITY OF SURPRISE BRASS CAP FLUSH MONUMENTING THE WEST QUARTER CORNER OF SAID SECTION 7.

CITY OF SURPRISE ENGINEER APPROVAL

DATA ON THIS PLAT REVIEWED AND APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY ENGINEER OF SURPRISE, ARIZONA.

APPROVED _____ DATE _____
CITY ENGINEER

CITY OF SURPRISE COUNCIL APPROVAL

APPROVED BY THE CITY COUNCIL OF THE CITY OF SURPRISE, ARIZONA. THIS _____ DAY OF _____, 20____

ATTEST: _____ DATE _____
MAYOR

CITY CLERK

CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY OF THE PREMISES DESCRIBED AND PLATTED HEREON WAS MADE UNDER MY DIRECTION DURING THE MONTH OF JUNE, 2017 AND THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

MATTHEW G. BUCHANAN R.L.S. #59228

DATE

SEE SHEET 2 FOR KEY MAP,
LEGAL DESCRIPTION,
PARCEL AND TRACT USE
AREA TABLES, LINE AND
CURVE TABLES

GROSS SITE AREA:

TOTAL PARCELS: 6
TOTAL TRACTS: 7
TOTAL ACRAGE: 8,333,620 SQ. FT. OR
191.3136 ACRES MORE OR LESS



VERDUGO MASTER PLAT

BY	DATE	DESCRIPTION



DATE | 06/20/17
DRAWN | DLP
SURVEYED | MAS
CHECKED | MGB
PROJECT # | 4161214000
SHEET TITLE |
COVER
SHEET NUMBER

1 OF 4



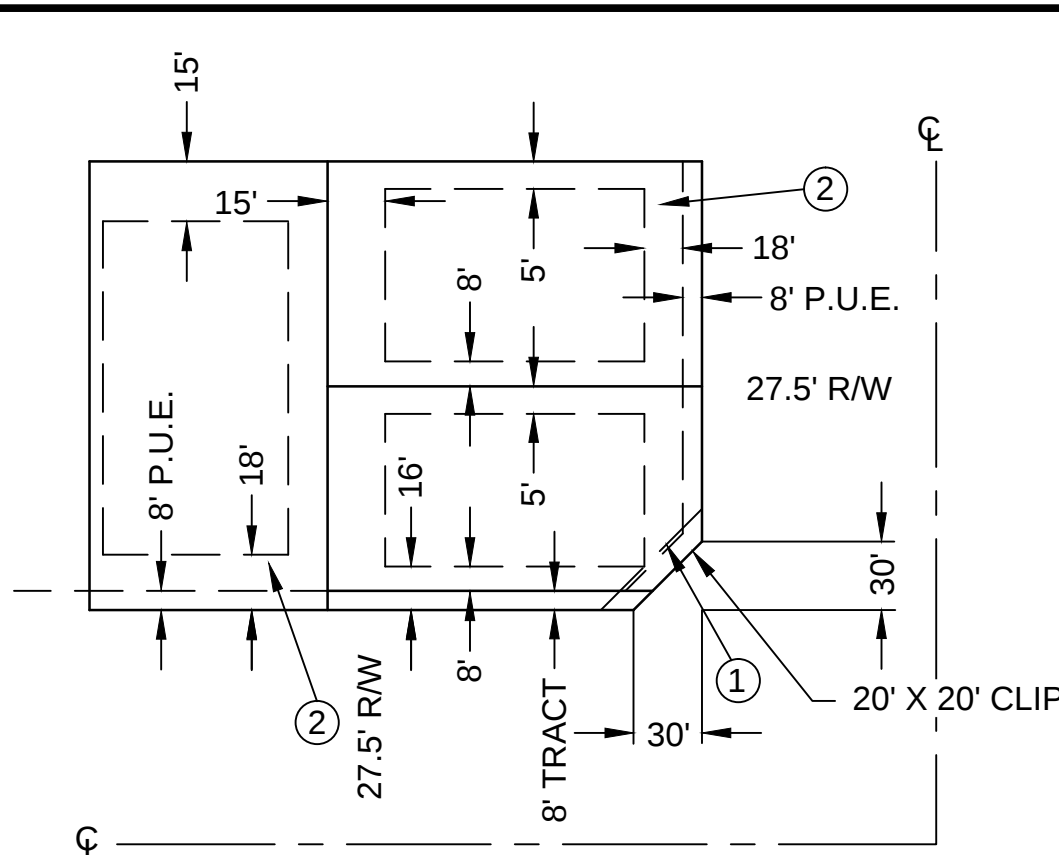
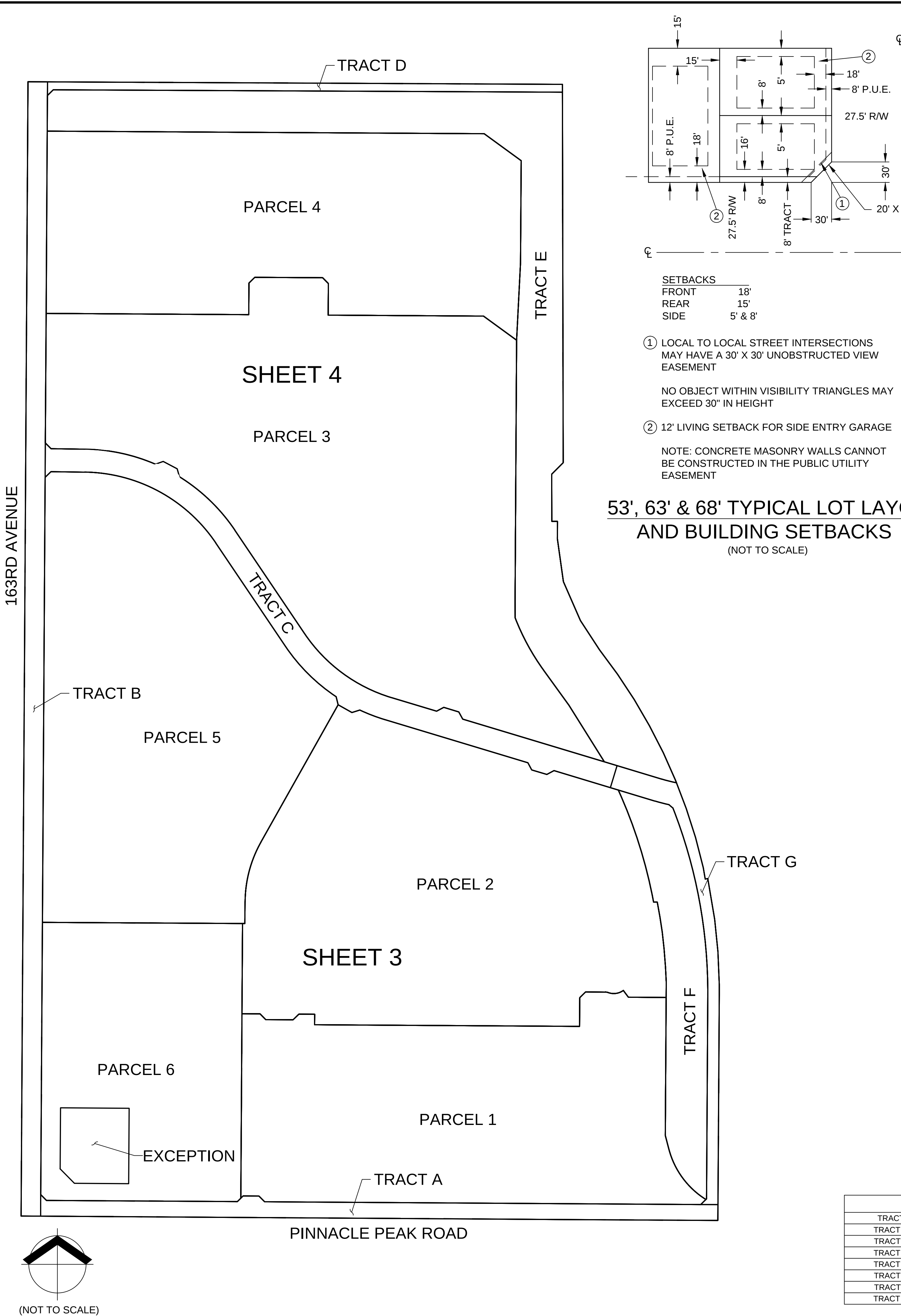
PHOENIX
19621 N. 23RD DRIVE, SUITE 150,
PHOENIX, AZ 85027
TEL:(602)977-8000 FAX:(602)977-8099 www.cardno.com

VERDUGO

VERDUGO LAND, L.L.C.

SURPRISE, AZ

Plot Stamp: 9/11/2017 1:44:57 PM - Scott Rowley
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SETBACKS	
FRONT	18'
REAR	15'
SIDE	5' & 8'

① LOCAL TO LOCAL STREET INTERSECTIONS
MAY HAVE A 30' X 30' UNOBSTRUCTED VIEW
EASEMENT

NO OBJECT WITHIN VISIBILITY TRIANGLES MAY
EXCEED 30" IN HEIGHT

② 12' LIVING SETBACK FOR SIDE ENTRY GARAGE

NOTE: CONCRETE MASONRY WALLS CANNOT
BE CONSTRUCTED IN THE PUBLIC UTILITY
EASEMENT

**53', 63' & 68' TYPICAL LOT LAYOUT
AND BUILDING SETBACKS**
(NOT TO SCALE)



PARCEL AREA TABLE		
PARCEL	SQ. FT.	ACRES
PARCEL 1	964,956.91	22.15
PARCEL 2	1,269,592.85	29.15
PARCEL 3	1,649,117.15	37.86
PARCEL 4	1,011,117.55	23.21
PARCEL 5	1,190,174.46	27.32
PARCEL 6	613,340.10	14.08

TRACT USE AND AREA TABLE			
TRACT	PRIMARY USE	SQ. FT.	ACRES
TRACT A	RIGHT OF WAY	131,439.05	3.02
TRACT B	RIGHT OF WAY	268,680.75	6.17
TRACT C	RIGHT OF WAY	196,911.04	4.52
TRACT D	RIGHT OF WAY	49,516.48	1.14
TRACT E	DRAINAGE	653,058.43	14.99
TRACT F	DRAINAGE	198,200.53	4.55
TRACT G	RIGHT OF WAY	75,979.15	1.74

LEGAL DESCRIPTION

A PORTION OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 7;

THENCE NORTH 00 DEGREES 04 MINUTES 45 SECONDS EAST, ALONG THE WEST LINE OF SAID SECTION 7, A DISTANCE OF 2634.13 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 7;

THENCE NORTH 00 DEGREES 04 MINUTES 46 SECONDS EAST, ALONG THE WEST LINE OF SAID SECTION 7, A DISTANCE OF 1317.20 FEET;

THENCE LEAVING THE WEST LINE OF SAID SECTION 7, SOUTH 89 DEGREES 59 MINUTES 23 SECONDS EAST, A DISTANCE OF 1861.31 FEET;

THENCE SOUTH 00 DEGREES 22 MINUTES 47 SECONDS EAST, A DISTANCE OF 1318.19 FEET TO THE CENTER OF SAID SECTION 7;

THENCE SOUTH 44 DEGREES 49 MINUTES 14 SECONDS WEST, A DISTANCE OF 56.37 FEET;

THENCE SOUTH 00 DEGREES 22 MINUTES 47 SECONDS WEST, A DISTANCE OF 164.41 FEET;

THENCE SOUTH 89 DEGREES 58 MINUTES 31 SECONDS EAST, A DISTANCE OF 19.81 FEET;

THENCE SOUTH 00 DEGREES 01 MINUTES 29 SECONDS WEST, A DISTANCE OF 60.00 FEET;

THENCE SOUTH 08 DEGREES 11 MINUTES 01 SECONDS EAST, A DISTANCE OF 151.36 FEET;

THENCE SOUTH 23 DEGREES 52 MINUTES 01 SECONDS EAST, A DISTANCE OF 148.00 FEET;

THENCE SOUTH 33 DEGREES 31 MINUTES 38 SECONDS EAST, A DISTANCE OF 121.44 FEET;

THENCE SOUTH 36 DEGREES 44 MINUTES 33 SECONDS EAST, A DISTANCE OF 106.11 FEET;

THENCE SOUTH 33 DEGREES 36 MINUTES 39 SECONDS EAST, A DISTANCE OF 105.48 FEET;

THENCE SOUTH 30 DEGREES 28 MINUTES 45 SECONDS EAST, A DISTANCE OF 105.48 FEET;

THENCE SOUTH 27 DEGREES 20 MINUTES 51 SECONDS EAST, A DISTANCE OF 105.48 FEET;

THENCE SOUTH 24 DEGREES 12 MINUTES 57 SECONDS EAST, A DISTANCE OF 105.48 FEET;

THENCE SOUTH 21 DEGREES 05 MINUTES 03 SECONDS EAST, A DISTANCE OF 105.48 FEET;

THENCE SOUTH 17 DEGREES 57 MINUTES 09 SECONDS EAST, A DISTANCE OF 105.48 FEET;

THENCE SOUTH 14 DEGREES 46 MINUTES 20 SECONDS EAST, A DISTANCE OF 108.76 FEET;

THENCE SOUTH 09 DEGREES 41 MINUTES 07 SECONDS EAST, A DISTANCE OF 40.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE;

THENCE EASTERLY ALONG SAID CURVE, HAVING A RADIUS OF 480.00 FEET, CONCAVE SOUTHERLY, WHOSE RADIUS BEARS SOUTH 09 DEGREES 41 MINUTES 07 SECONDS EAST, THROUGH A CENTRAL ANGLE OF 01 DEGREES 04 MINUTES 36 SECONDS, A DISTANCE OF 9.02 FEET;

THENCE SOUTH 09 DEGREES 49 MINUTES 48 SECONDS EAST, A DISTANCE OF 143.85 FEET;

THENCE SOUTH 06 DEGREES 01 MINUTES 27 SECONDS EAST, A DISTANCE OF 113.42 FEET;

THENCE SOUTH 02 DEGREES 40 MINUTES 08 SECONDS EAST, A DISTANCE OF 113.42 FEET;

THENCE SOUTH 00 DEGREES 27 MINUTES 21 SECONDS EAST, A DISTANCE OF 36.19 FEET;

THENCE SOUTH 00 DEGREES 04 MINUTES 45 SECONDS WEST, A DISTANCE OF 786.42 FEET TO THE SOUTH LINE OF SAID SECTION 7;

THENCE ALONG THE SOUTH LINE OF SAID SECTION 7, NORTH 89 DEGREES 55 MINUTES 12 SECONDS WEST, A DISTANCE OF 533.69 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 7;

THENCE ALONG THE SOUTH LINE OF SAID SECTION 7, NORTH 89 DEGREES 54 MINUTES 10 SECONDS WEST, TO THE SOUTHWEST CORNER OF SAID SECTION 7 AND THE TRUE POINT OF BEGINNING.

EXCEPT THE PARCEL OF LAND DESCRIBED IN INSTRUMENT NO. 2009-0139617, OFFICIAL RECORDS OF MARICOPA COUNTY, STATE OF ARIZONA, MORE PARTICULARLY DESRIBED AS FOLLOWS:

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 7;

THENCE ALONG THE WEST LINE OF SAID SECTION, NORTH 00 DEGREES 04 MINUTES 45 SECONDS EAST, A DISTANCE OF 377.64 FEET;

THENCE LEAVING SAID WEST LINE, SOUTH 89 DEGREES 55 MINUTES 15 SECONDS EAST, A DISTANCE OF 135.00 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 89 DEGREES 55 MINUTES 12 SECONDS EAST, A DISTANCE OF 239.00 FEET;

THENCE SOUTH 00 DEGREES 04 MINUTES 45 SECONDS WEST, A DISTANCE OF 262.75 FEET TO A LINE THAT IS 115 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION;

THENCE ALONG SAID PARALLEL LINE, NORTH 89 DEGREES 54 MINUTES 10 SECONDS WEST, A DISTANCE OF 188.99 FEET;

THENCE LEAVING SAID PARALLEL LINE, NORTH 44 DEGREES 54 MINUTES 43 SECONDS WEST, A DISTANCE OF 70.72 FEET TO A LINE THAT IS 135.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION;

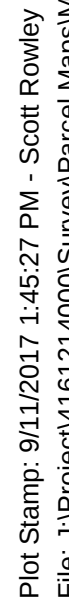
THENCE ALONG LAST SAID PARALLEL LINE, NORTH 00 DEGREES 04 MINUTES 45 SECONDS EAST, A DISTANCE OF 212.68 FEET TO THE POINT OF BEGINNING.

VERDUGO MASTER PLAT

BY	DATE	DESCRIPTION



DATE	06/20/17
DRAWN	DLP
SURVEYED	MGB
CHECKED	MGB
PROJECT #	4161214000
SHEET TITLE	KEY MAP
SHEET NUMBER	



Plot Stamp: 9/11/2017 1:45:56 PM - Scott Rowley
File: J:\Project\416121\4000\Survey\Parcel Maps\Master Plat\1214-DD-MP-004.dwg

NW COR. OF SEC. 7, T4N, R1W
FOUND ALUMINUM CAP FLUSH, RLS #36562

APN 503-73-944B
LCD ASANTE
DOC. NO. 2007-1286545, M.C.R.

W1/4 CORNER OF SEC. 7, T4N, R1W
FOUND CITY OF SURPRISE
BRASS CAP FLUSH

ASANTE PHASE ONE
BOOK 938 OF MAPS, PAGE 32,
M.C.R.

163RD AVENUE

TRACT B

N00°20'48"E 1317.10'

N00°20'48"E 1317.10'

N00°20'48"E 635.00'

N00°20'48"E 124.06'

N00°20'48"E 47.50'

L28

1317.09'

40.00'
HIGHWAY EASEMENT
DOCKET 10260, PAGE 1332, M.C.R.
DESIGNATED COUNTY ROAD
WIDTH UNDEFINED
BOOK 20 ROAD MAPS, PAGE 1, M.C.R.
BOOK 30 ROAD MAPS, PAGE 46, M.C.R.
DOC. NO. 85-554298, M.C.R.

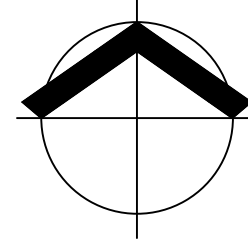
DRAINAGE ESMT
DOC. NO. 2015-0714781, M.C.R.

20.00'
SEWER LINE
EASEMENT
DOC. NO.
2009-0506791,
M.C.R.

APN 503-56-001B
163RD & HAPPY VALLEY ROAD LLC
DOC. NO. 2008-0162687, M.C.R.

TRACT D

SCALE: 1"=100'
100' 50' 0 100'



S00°07'00"E 27.50'

S89°43'33"E 1861.22'

S89°43'33"E 1773.44'

S89°39'12"E 1521.72'

S53°55'51"E 159.39'

S00°20'48"W 355.32'

S02°53'24"W 270.49'

APN 503-56-008
MOSHI FAMILY LIVING TRUST
DOC. NO. 2010-0528416, M.C.R.

APN 503-56-002L
HEIN, GLEN O. & KATHY A, ETAL
DOC. NO. 2007-1353726, M.C.R.

DRAINAGE ESMT
DOC. NO. 2015-0714781, M.C.R.

S45°02'20"W 56.36'

S89°38'19"E 19.82'

48.00'
ROADWAY AND
UTILITY
EASEMENT
DOC. NO.
2009-0787489, M.C.R.

APN 503-56-005B
371 ON 163, LLC
DOC. NO. 2010-0185393, M.C.R.

SEE SHEET 2 FOR LINE AND CURVE TABLES

LEGEND

- SURVEY MONUMENT (FOUND AS NOTED)
- CORNER OF THIS SUBDIVISION SET 1/2" REBAR WITH CAP RLS #59228 UNLESS OTHERWISE STATED
- FOUND 1/2" REBAR WITH CAP RLS #33315 UNLESS OTHERWISE STATED
- C1 CURVE NUMBER
- L1 LINE NUMBER
- P.U.E. PUBLIC UTILITY EASEMENT
- V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
- R= INDICATES RADIUS
- C.O.S. CITY OF SURPRISE
- R.O.W. RIGHT OF WAY
- M.C.R. MARICOPA COUNTY RECORDER
- A 30'x30' SIGHT VISIBILITY TRIANGLE
- B 8' P.U.E.

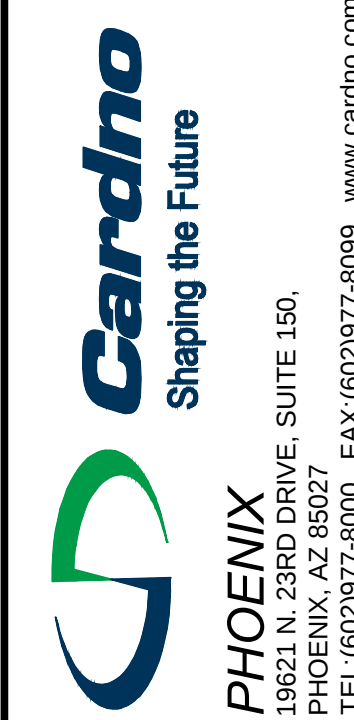
VERDUGO MASTER PLAT

BY
DATE DESCRIPTION
VERDUGO
VERDUGO LAND, LLC
SURPRISE, AZ



DATE	06/20/17
DRAWN	DLP
SURVEYED	MGB
CHECKED	MGB
PROJECT #	4161214000
SHEET TITLE	MASTER PLAT
SHEET NUMBER	

4 OF 4



- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDA, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE IMPROVEMENT DOCUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE AND/OR FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
- IN ALL CASES WHERE A CONFLICT MAY OCCUR, SUCH AS BETWEEN ITEMS COVERED IN SPECIFICATIONS AND NOTES ON THE DRAWINGS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND HE OR SHE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
- A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- DETAILS NOTED AS "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
- LANDSCAPE CONTRACTOR SHALL INSPECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER ALL EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT TO REPAIR AND/OR REPLACE, AT THEIR OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, PLANT MATERIAL, OR OTHER ITEMS DESTROYED DURING CONSTRUCTION. LIKEWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES OR ANY OTHER AREAS OUTSIDE THE CONTRACT LIMITS. THE DAMAGED ITEMS/AREAS WILL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER'S AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PLANT MATERIAL LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. PRIOR TO THE START OF WORK, ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND PROTECTED. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL CALL AND FUTURE UPDATES TO BLUE STAKE AT 602-263-1100. EXISTING UNDERGROUND SERVICES SHALL NOT BE DISTURBED OR REMOVED WITHOUT APPROVAL OF THE OWNER'S AND/OR OWNER'S AUTHORIZED REPRESENTATIVE, UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING CONSTRUCTION.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, AND DUE TO GRADE LIMITATIONS ON SITE.
- REFER TO ENGINEERING PLANS FOR DRAINAGE FLOWS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- NO PART OF THE CONTRACT DOCUMENTS ARE INTENDED TO BE IN VIOLATION OF CODES. IF DISCREPANCIES EXIST, NOTIFY LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY.
- COORDINATE AND COOPERATE WITH ALL CONTRACTORS OF ATTACHED, ADJOINING AND/OR INTERFACING WORK TO INSURE ORDERLY AND EFFICIENT COMPLETION OF ALL WORK.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (FEDERAL, STATE, LOCAL, AND HEALTH DEPARTMENTS), EXCEPT WHERE REQUIREMENTS OF CONTRACT DOCUMENTS ARE MOST STRINGENT.
- ALL EXISTING PLANT MATERIAL SHALL REMAIN UNLESS OTHERWISE NOTED.
- ANY PLANT MATERIAL THAT MUST BE REMOVED DUE TO CONSTRUCTION MUST BE APPROVED BY OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE. NOTIFY OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE AT LEAST 48 HOURS PRIOR TO REMOVAL AND/OR RELOCATION OF ALL PLANTS.
- IF ANY EXISTING PLANT MATERIAL THAT IS TO REMAIN IS DAMAGED BY CONTRACTOR, THE CONTRACTOR SHALL REPLACE THE DAMAGED PLANT WITH A NEW ONE OF THE SAME SIZE AND VARIETY AT NO COST TO THE OWNER.
- DO NOT DISTURB SOIL WITHIN BRANCH SPREAD OF TREES OR SHRUBS TO REMAIN WITHOUT APPROVAL OF THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ANY DISCREPANCIES BETWEEN THE PLANS AND CONDITIONS ON SITE SHALL BE REPORTED IMMEDIATELY TO THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE OWNER WITH ALL WARRANTY INFORMATION, INSTRUCTION MANUALS AND ANY OTHER PRODUCT INFORMATION FOR ALL NEW EQUIPMENT OR MACHINERY INSTALLED ON THE SITE WITHIN TWO WEEKS AFTER SUBSTANTIAL COMPLETION.
- NO DESIGN MODIFICATIONS SHALL BE MADE WITHOUT THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAULING AND LEGALLY DISPOSING OF MATERIALS DESIGNATED TO BE REMOVED. PROVIDE RECEIPTS FOR DUMPING TO OWNER FOR THEIR FILES.
- ALL BASE INFORMATION IS FROM OTHER PROJECT TEAM MEMBERS AS LISTED IN THE 'PROJECT TEAM' LIST ON THIS SHEET. A THOROUGH ATTEMPT HAS BEEN MADE TO KEEP UP TO DATE WITH THE MOST CURRENT BASE INFORMATION. HOWEVER, DISCREPANCIES MAY EXIST BETWEEN THESE PLANS AND OTHER TEAM MEMBERS PLANS. IN ALL CASES THE ENGINEER'S PLANS SHALL HAVE PRECEDENCE OVER THE LANDSCAPE PLANS FOR FINAL PROJECT CONFIGURATION.
- ALL SIDEWALKS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING PLANS FOR FINAL LAYOUT, GRADES, FINISHES, DETAILS, AND METHODS OF CONSTRUCTION. CARNO UNDER NO CIRCUMSTANCES ASSUMES RESPONSIBILITY FOR UNFORESEEN CONFLICTS, ENGINEERING, STRUCTURAL CALCULATIONS, OR INSTALLATION THAT IS BEYOND OUR CONTROL.
- SIGHT LINES AND VISIBILITY TRIANGLES ARE SHOWN ON THESE PLANS FOR REFERENCE ONLY. REFER TO ENGINEERING PLANS OR GOVERNING MUNICIPALITY FOR SPECIFIC GUIDELINES. IN CASES WHERE THERE IS MORE THAN ONE GOVERNING BODY, THE MOST RESTRICTIVE GUIDELINE SHALL PREVAIL.
- ALL WALLS AND VERTICAL SITE FEATURES DESIGNED IN THE INTEREST OF THIS PROJECT ARE SCHEMATIC IN NATURE. POTENTIAL CONSTRUCTION DETAILING AND TECHNIQUES ARE SHOWN FOR DESIGN INTENT CLARIFICATION ONLY. THE CONTRACTOR SHALL HAVE THE ULTIMATE RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTED ELEMENTS ON THIS PROJECT ARE STRUCTURALLY SOUND AND ARE BUILT WITHIN ALL APPLICABLE CITY, STATE, AND FEDERAL GUIDELINES. CARNO UNDER NO CIRCUMSTANCES ASSUMES RESPONSIBILITY FOR UNFORESEEN CONFLICTS, ENGINEERING, STRUCTURAL CALCULATIONS, OR INSTALLATION.
- SHOP DRAWING REVIEWS WILL BE DONE TO ENSURE THAT PRODUCT DATA, MATERIALS, AND SAMPLES MEET OR EXCEED THE ORIGINAL DESIGN INTENT OF THESE DRAWINGS ONLY. CARNO UNDER NO CIRCUMSTANCES ASSUMES RESPONSIBILITY FOR UNFORESEEN CONFLICTS, ENGINEERING, STRUCTURAL CALCULATIONS OR INSTALLATION RESULTING FROM THE PRODUCTION OF ANY SHOP DRAWINGS.

L0.01
OF 25 SHEETS

PLANTING WARRANTY & MAINTENANCE NOTES

1. MAINTAIN ALL AREAS INCLUDED IN THE CONTRACT ON A WEEKLY BASIS DURING THE PROGRESS OF WORK, A 90 DAY MAINTENANCE PERIOD, AND UNTIL THE FINAL ACCEPTANCE OF WORK IS RECEIVED IN WRITING.
2. UPON ACCEPTANCE AFTER THE 90 DAY MAINTENANCE PERIOD, THE CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY ON ALL PLANT MATERIAL AGREEING TO GUARANTEE THE CONTINUED GROWTH OF ACTIVE PLANT MATERIAL FOR THE SPECIFIED GUARANTEE PERIODS. ALL GUARANTEE PERIODS COMMENCE FROM THE TIME OF FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
3. THE CONTRACTOR SHALL WATER AND MAINTAIN ALL LANDSCAPE MATERIAL DURING THE MAINTENANCE PERIOD. THE OWNER WILL WATER AND MAINTAIN THE LANDSCAPE MATERIAL DURING THE WARRANTY PERIOD. THE CONTRACTOR SHALL INSPECT THE LANDSCAPE MATERIALS PERIODICALLY DURING THE WARRANTY PERIOD AND SHALL NOTIFY THE OWNER IN WRITING, IF, IN THE CONTRACTOR'S OPINION, THE LANDSCAPE MATERIALS ARE NOT RECEIVING PROPER CARE.
4. ALL TREES, PALMS, CACTI, ACCENTS, AND TURF SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR AND ALL SHRUBS, GROUNDCOVERS, AND OTHER NON SPECIFIED PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM THE DATE OF FINAL ACCEPTANCE. THE GUARANTEE SHALL BE AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
5. ANY PLANT MATERIALS WHICH ARE NOT APPROVED PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 15 OF THE FOLLOWING CALENDAR YEAR.
6. ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN.
7. REFER TO BOOK SPECIFICATIONS, IF INCLUDED IN THIS DOCUMENT SET, FOR ADDITIONAL INFORMATION ON THE SPECIFICS OF THE ANTICIPATED WARRANTY.
8. LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER TYPEWRITTEN MAINTENANCE GUIDELINES AT FINAL WALK-THRU AND PRIOR TO FINAL ACCEPTANCE OF WORK.
9. IF TURF IS USED ON THIS PROJECT THE LANDSCAPE CONTRACTOR SHALL REAPPLY SEED OR SOD IN ALL AREAS WHICH HAVE DEVELOPED BARE SPOTS HALFWAY THROUGH THE MAINTENANCE PERIOD. AREAS WHICH CANNOT BE RESEED FOR SUMMER GROWTH DUE TO CONTRACTOR'S INABILITY TO RESEED DURING PROPER GROWING SEASON SHALL BE OVERSEED OR SODDED WITH GRASS APPROPRIATE FOR THE CURRENT SEASON, CARED FOR THROUGHOUT THE OFF SEASON, AND PROPERLY SEEDED AT THE NEXT APPROPRIATE GROWING SEASON. THESE ARRANGEMENTS MUST BE MADE WITH THE OWNER PRIOR TO CONDITIONAL ACCEPTANCE OF THE WORK AND MAY REQUIRE A MONETARY HOLD-BACK.
10. COST FOR REPLACEMENTS DURING THE WARRANTY PERIOD IS ASSUMED PART OF THE BID QUOTATIONS AND THEREFORE WILL NOT RESULT IN ANY ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.

EXISTING LANDSCAPE NOTES

1. BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH OWNER AND/OR THE GENERAL CONTRACTOR TO REVIEW THE PROJECT. THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY CHANGES PRIOR TO THE START OF ANY WORK.
2. ALL DEMOLITION AREAS SHALL BE FLAGGED FOR APPROVAL PRIOR TO DEMOLITION.
3. ALL EXISTING PLANT MATERIAL SHALL REMAIN UNLESS OTHERWISE NOTED. SHOULD ANY CONFLICTS ARISE BETWEEN THE EXISTING PLANT MATERIAL ON-SITE AND PROPOSED IMPROVEMENTS SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

HYDROSEED NOTES

BOTANICAL NAME	COMMON NAME	LBS./AC.	BOTANICAL NAME	COMMON NAME	LBS./AC.
CYNODON DACYLON 'BLACKJACK'	BERMUDA GRASS	90			

NOTE:
SEED MIX SHALL BE PURE LIVE SEED. HYDRO MULCH SHALL BE GRADE A FIBER (NO PAPER) CONSISTING OF A SPECIALLY PREPARED VIRGIN WOOD FIBER PROCESSED TO CONTAIN NO GROWTH OR GERMINATION INHIBITING FACTORS. FURTHER, THE MULCH SHALL BE MANUFACTURED AND PROCESSED SO THE WOOD CELLULOSE FIBERS WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, 16-20-0 FERTILIZER (250 LBS./AC.), TACKIFIER (60 LBS./AC.), AND OTHER ADDITIVES TO FORM A HOMOGENOUS SLURRY. THE PROPOSED MULCH MATERIAL SHALL HAVE CHARACTERISTICS TO FORM A BLOTTER-LIKE GROUND COVER UPON APPLICATION, WITH MOISTURE AND PERCOLATION PROPERTIES AND THE ABILITY TO COVER AND HOLD SEED IN CONTACT WITH THE SOIL. HYDRO MULCH SHALL BE APPLIED AT 1,500 LBS./AC.

PLANTING GENERAL NOTES

1. VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY, THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES LISTED WITHIN THE LANDSCAPE MATERIAL SCHEDULE. THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN ON THE PLANS.
2. CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY.
3. THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY PLANT MATERIAL SUBSTITUTIONS.
4. ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS.
5. ALL PLANT MATERIAL MAY BE INSPECTED PRIOR TO ACCEPTANCE. THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE, EVEN AFTER DELIVERY TO SITE.
6. PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS. IF ANY SOIL NUTRIENT DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL.
7. PLANTING METHODS, SOIL AMENDMENT QUANTITIES (IF ANY), AND PREPARATION METHODS SHALL BE INSTALLED ACCORDING TO THE PLANTING SPECIFICATIONS AND DETAILS.
8. ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/PRE-EMERGENT PER THE GUIDELINES SET FORTH WITHIN THE SPECIFICATIONS AND DETAILS. REAPPLY AS NECESSARY TO COMPLETELY KILL NOXIOUS MATERIAL. REMOVE ALL DEAD AND/OR DYING DEBRIS PRIOR TO FINAL ACCEPTANCE.
9. ALL TREES LOCATED WITHIN SIGHT DISTANCE AREAS MUST BE TRIMMED TO 6'-0" CLEARANCE ABOVE FINISHED GRADE.
10. UNLESS OTHERWISE NOTED ON PLANS, ROCK/BARK MULCH SHALL EXTEND UNDER ALL PLANTINGS AND BE RAKED UNIFORMLY ALONG CONCRETE FLATWORK, CURBS AND ETC.
11. THE FINISH GRADE OF LANDSCAPE AREAS RECEIVING ROCK/BARK MULCH MUST BE GRADED 2-1/2" BELOW CONCRETE OR OTHER ADJACENT PAVED SURFACES PRIOR TO INSTALLATION OF THE MULCH. FINISH GRADE OF LANDSCAPE AREAS RECEIVING TURF MUST BE GRADED 1-1/2" BELOW CONCRETE OR OTHER PAVED SURFACES PRIOR TO INSTALLATION OF TURF.
12. BOULDERS, IF USED, TO BE SURFACE SELECT GRANITE WITH A MINIMUM OF SHARP EDGES AND/OR CRACKING. ANY EXPOSED SURFACE SCARRING THAT MAY HAVE OCCURRED DURING TRANSPORTING OR CONSTRUCTION IS TO BE EONITED WITH NO ADDITIONAL COST TO THE OWNER.
13. STAKE ALL NURSERY GROWN TREE STOCK A MINIMUM OF 12" OUT FROM EDGE OF PLANTING WELL. THE EDGE OF ALL TREE PLANTING WELLS SHALL BE A MINIMUM OF 2 FEET AWAY FROM ALL CURB AND SIDEWALKS AND A MINIMUM OF 12 FEET AWAY FROM ALL BUILDING FOUNDATIONS. THE EDGE OF ALL SHRUB PLANTING WELLS SHALL BE A MINIMUM OF 18" AWAY FROM ALL CURB AND SIDEWALKS AND A MINIMUM OF 3 FEET AWAY FROM ALL BUILDING FOUNDATIONS.
14. LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO EACH APPLICATION OF PRE-EMERGENT FOR VERIFICATION. CONTRACTOR SHALL PROVIDE OWNER WITH PROOF OF PRE-EMERGENT APPLICATION NO MORE THAN 7 DAYS AFTER EACH APPLICATION WITHOUT EXCEPTION.
15. ALL TREES WITHIN TURF AREAS SHALL BE INSTALLED WITH TEMPORARY PVC ARBOR GUARDS.
16. ALL TURF AREAS SHALL BE GRADED SMOOTH AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLING SOD OR SEED. ALL AREAS TO RECEIVE TURF SHALL BE COMPLETELY FREE OF ANY RUTS, TRENCH SETTLING, OR ANY MATERIAL OVER 1/2" IN DIAMETER PRIOR TO SOD OR SEED INSTALLATION.
17. LANDSCAPE CONTRACTOR IS REQUIRED TO OBTAIN ANY REQUIRED PERMITS FOR ALL ON-SITE AND OFF-SITE IMPROVEMENTS OUTLINED WITHIN THIS SET OF PLANS AND/OR ANY OTHER ADDITIONAL WORK THEY MAY PERFORM IN THE INTEREST OF THIS PROJECT.
18. ROCK/BARK MULCH SHALL BE AS SPECIFIED IN THE LANDSCAPE MATERIAL SCHEDULE. ALL PLANTING AREAS, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL RECEIVE A UNIFORM APPLICATION OF THE SPECIFIED MATERIAL. CONTRACTOR SHALL SUBMIT A SAMPLE TO THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO SCHEDULING MASS DELIVERY. OWNER MAY REQUEST THAT AN INITIAL LOAD OF MATERIAL BE DELIVERED TO THE SITE AND BE SPREAD BY THE LANDSCAPE CONTRACTOR FOR THE OWNER'S APPROVAL PRIOR TO MATERIAL APPLICATION ON THE REMAINDER OF THE SITE.
19. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE WITH THE OWNER THE FINAL LAYOUT OF ALL HARDSCAPE ITEMS FOR THIS PROJECT. OWNER MAY REQUEST ALL HARDSCAPE ITEMS (HEADERS, SIDEWALKS, FLATWORK, ETC.) BE STAKED AND/OR CHALKED OUT FOR THEIR APPROVAL PRIOR TO INITIAL POUR.
20. LANDSCAPE CONTRACTOR SHALL PRUNE ALL TREES AFTER INSTALLATION SO THAT NO BRANCH IS TOUCHING FINAL GRADE AND TRIM CANOPIES/BRANCHING TO A CLEAN AND NEAT APPEARANCE. ALL DEAD AND/OR DYING MATERIAL SHALL BE PRUNED FROM THE TREE PRIOR TO FINAL ACCEPTANCE.
21. WATER TEST ALL TREE PLANTING WELLS PRIOR TO PLANTING. IF TREE WELLS DO NOT PROPERLY DRAIN, REFER TO THE HARDPAN PLANTING DETAIL FOR ADDITIONAL INFORMATION.
22. REFER TO GENERAL CONSTRUCTION NOTES ON THE COVER SHEET FOR ADDITIONAL INFORMATION THAT RELATES TO THE SCOPE OF WORK IN THIS SECTION. ALSO REFER TO ANY WRITTEN SPECIFICATION, SHOULD THEY ACCOMPANY THESE DRAWINGS, FOR ADDITIONAL REQUIREMENTS NOT COVERED WITHIN THESE PLANS.

LANDSCAPE MATERIAL SCHEDULE

TREES ITEM	SIZE	QTY.	COMMENTS
Salvage	VARIABLES	45	
Acacia willardiana PALO BLANCO	24" BOX	54	STD. TRUNK
Chilopsis linearis DESERT WILLOW	15 GAL. 24" BOX	53 15	MULTI TRUNK
Dalbergia sissoo SISSOO TREE	15 GAL.	57	STD. TRUNK
Olneya tesota 'AZT™' IRONWOOD	24" BOX	39	MULTI TRUNK
Parkinsonia hybrid 'Desert Museum' DESERT MUSEUM PALO VERDE	24" BOX 36" BOX	19 3	MULTI TRUNK
Parkinsonia praecox 'AZT™' SONORAN PALO VERDE	36" BOX	4	MULTI TRUNK
Parkinsonia floridum BLUE PALO VERDE	15 GAL. 24" BOX	54 26	MULTI TRUNK
Prosopis 'AZT™' THORNLESS HYBRID MESQUITE	24" BOX	12	MULTI TRUNK
Prosopis glandulosa 'AZT™' THORNLESS HONEY MESQUITE	24" BOX	58	MULTI TRUNK
Vitex agnus-castus CHASTE TREE	15 GAL.	74	MULTI TRUNK
SHRUBS & ACCENTS ITEM	SIZE	QTY.	COMMENTS
Calliandra californica BAJA RED FAIRY DUSTER	5 GAL.	152	
Dasylirion wheeleri DESERT SPOON	5 GAL.	172	
Dodonaea viscosa 'Purpurea' PURPLE HOPSEED	5 GAL.	55	
Eremophila maculata 'Valentine®' VALENTINE EMU BUSH	5 GAL.	151	
Euphorbia rigida GOPHER PLANT	5 GAL.	80	
Justicia californica CHUPAROSA	5 GAL.	472	
Leucophyllum l. 'Lynn's Legacy' 'LYNN'S LEGACY' TEXAS SAGE	5 GAL.	257	
Muhlenbergia capillaris 'Regal Mist®' REGAL MIST GRASS	5 GAL.	297	
Muhlenbergia emersleyi 'El Toro®' BULL GRASS	5 GAL.	49	
Muhlenbergia l. 'Autumn Glow®' AUTUMN GLOW MUHLY	5 GAL.	358	
Ruselia equisetiformis CORAL FOUNTAIN	5 GAL.	47	
Tecoma stans 'Goldstar®' GOLDSTAR TECOMA	5 GAL.	111	
Tecoma x. 'Crimson Flare®' CRIMSON FLARE TECOMA	5 GAL.	95	
GROUNDCOVERS ITEM	SIZE	QTY.	COMMENTS
Acacia redolens 'Desert Carpet®' PROSTRATE ACACIA	1 GAL.	72	
Baccharis pilularis 'Thompson®' DWARF COYOTE BUSH	1 GAL.	305	
Convolvulus cneorum BUSH MORNING GLORY	1 GAL.	8	
Dalea greggii TRAILING INDIGO BUSH	1 GAL.	16	
Lantana 'New Gold' NEW GOLD LANTANA	1 GAL.	46	
MISCELLANEOUS ITEM	SIZE	QTY.	COMMENTS
CONCRETE HEADER	6" x 4"	20,014 L.F.	FIELD VERIFY L.F., REFER TO DETAIL 6 / L1.11
ROCK MULCH 'DESERT VISTA BROWN'	1/2" MINUS	266,391 S.F.	2" DEPTH, FIELD VERIFY S.F., REFER TO DETAIL 5 / L1.11
ANGULAR RIP RAP 'DESERT VISTA BROWN'	4" - 8"	63,896 S.F.	1 LAYER, FIELD VERIFY S.F., REFER TO DETAIL 5 / L1.11 (SIMILAR)
STABILIZED ROCK 'DESERT TAN'	1/4" MINUS	53,477 S.F.	2" DEPTH, FIELD VERIFY S.F., REFER TO DETAIL 7 / L1.11
'BLACKJACK' BERMUDA HYDROSEED		319,225 S.F.	REFER TO HYDROSEED NOTES FIELD VERIFY S.F.

SALVAGE TREE/CACTI TAG

IRONWOOD
10 3

NAME
TREE CALIPER/CACTUS HT.
ID#

NOTE:

1. TAGS FOR REGISTERED OR TRADEMARKED (® / ™) PLANT MATERIAL ARE TO REMAIN ON THE PLANTS

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LANDSCAPE CONSTRUCTION DOCUMENTS

VERDUGO - DRAINAGE CHANNEL

VERDUGO LAND, L.L.C.

SURPRISE, AZ

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

19667 MICHAEL B. DEW

One signed 06/26/17

ARIZONA, U.S.A.

EXPIRES 06/30/18

DATE 06/26/2017

DRAWN I MBD

DESIGNED I MBD

CHECKED I MBD

PROJECT # 14161214000

SHEET TITLE

PLANTING NOTES

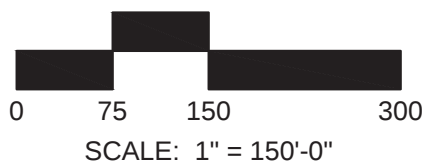
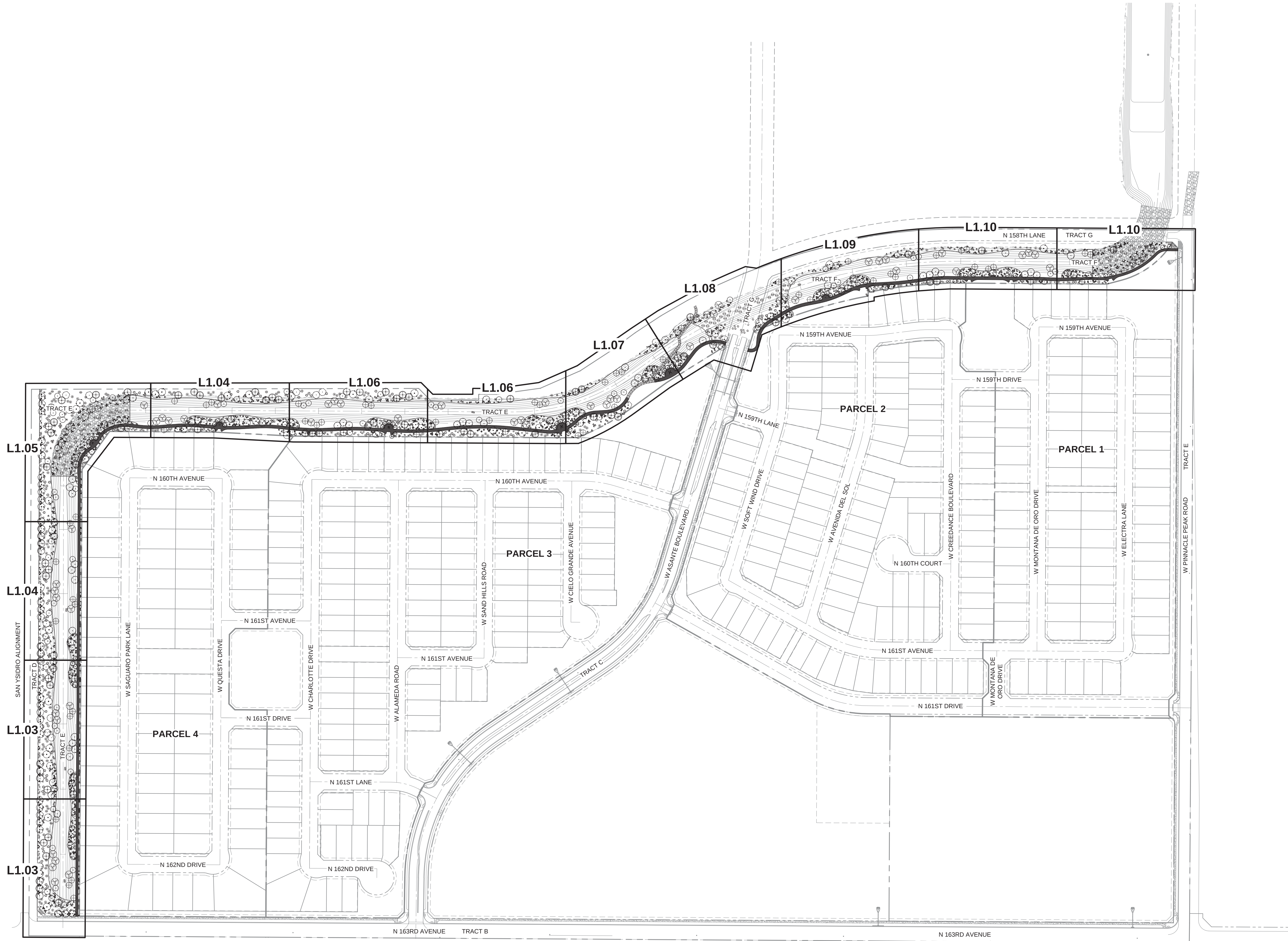
SHEET NUMBER

L1.01

02 OF 25 SHEETS

3RD SUBMITTAL

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3RD SUBMITTAL

DATE	06/26/2017
DRAWN	MBD
DESIGNED	MBD
CHECKED	MBD
PROJECT #	14161214000
SHEET TITLE	PLANTING MASTER PLAN
SHEET NUMBER	L1.02
03 OF 25 SHEETS	

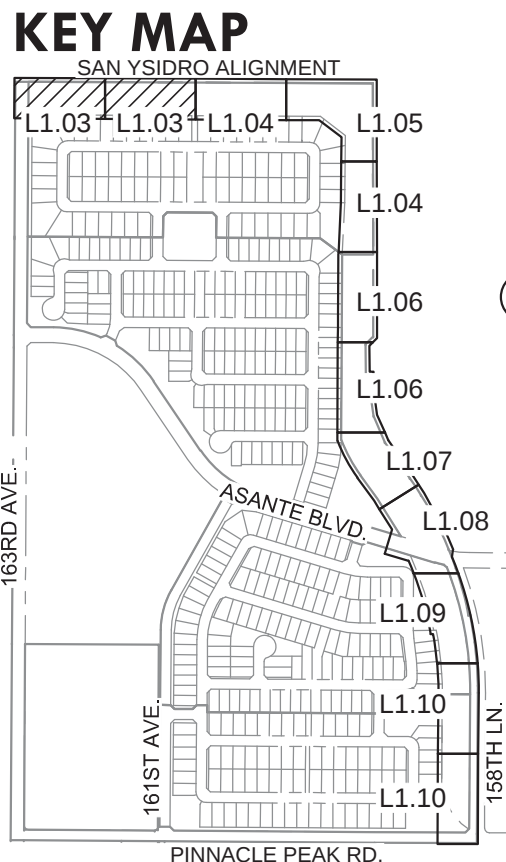
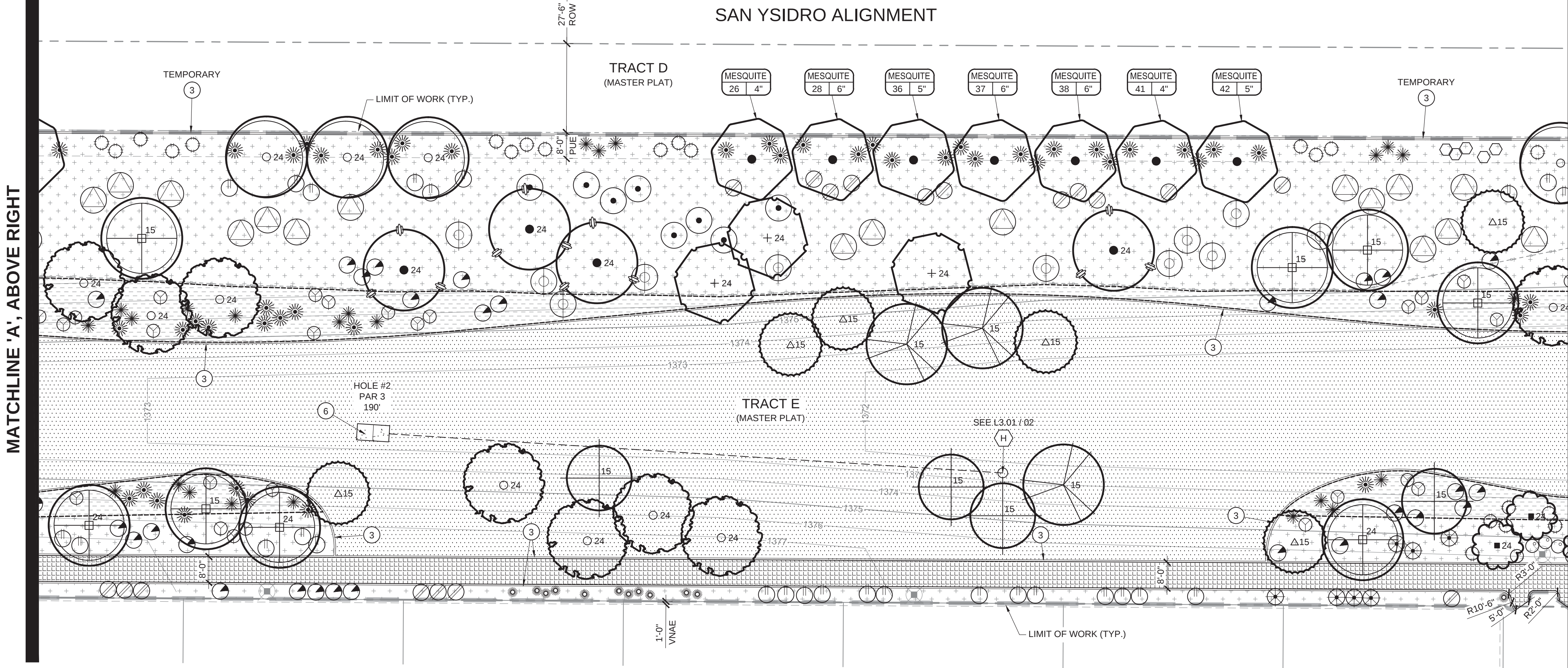


LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ



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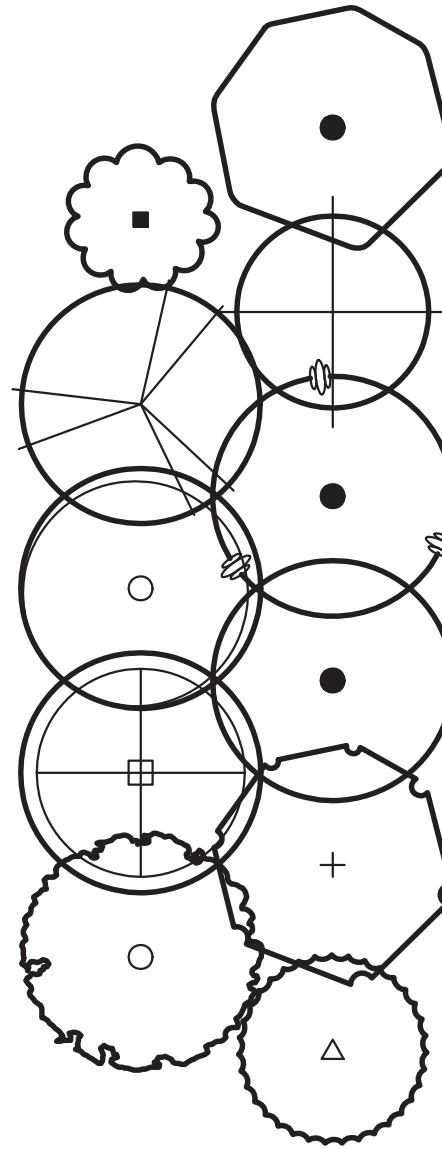
MATCHLINE 'A', ABOVE RIGHT



PAVING SCHEDULE

- ALL OPEN SPACE SIDEWALKS - NATURAL GRAY CONCRETE W/ ALTERNATING HEAVY BROOM FINISH & 6" SHINER (TROWEL FINISH) BORDER. REFER TO DETAIL 8 / L1.11.
- STABILIZED ROCK TRAIL, REFER TO LANDSCAPE MATERIAL SCHEDULE & DETAIL 7 / L1.11. MAX. 5% RUNNING SLOPE & 2% CROSS SLOPE. MAX. 14" VERTICAL DIFFERENCE BETWEEN ADJACENT CONCRETE HEADER OR ANY OTHER ADJACENT PAVED SURFACE.

LANDSCAPE PALETTE



TREES
ITEM
Salvage
Acacia willardiana PALO BLANCO
Chilopsis linearis DESERT WILLOW
Dalbergia sissoo SISSOO TREE
Olneya tesota 'AZT™' IRONWOOD
Parkinsonia hybrid 'Desert Museum' DESERT MUSEUM PALO VERDE
Parkinsonia praecox 'AZT™' SONORAN PALO VERDE
Parkinsonia floridum BLUE PALO VERDE
Prosopis 'AZT™' THORNLESS HYBRID MESQUITE
Prosopis glandulosa 'AZT™' THORNLESS HONEY MESQUITE
Vitex agnus-castus CHASTE TREE

SHRUBS & ACCENTS

ITEM
Calliandra californica BAJA RED FAIRY DUSTER
Dasyliion wheeleri DESERT SPOON
Dodonaea viscosa 'Purpurea' PURPLE HOPSEED
Eremophila maculata 'Valentine®' VALENTINE EMU BUSH
Euphorbia rigida GOPHER PLANT
Justicia californica CHUPAROSA
Leucophyllum l. 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE
Muhlenbergia capillaris 'Regal Mist®' REGAL MIST GRASS
Muhlenbergia emersleyi 'El Toro®' BULL GRASS
Muhlenbergia l. 'Autumn Glow®' AUTUMN GLOW MUHLY
Ruselia equisetiformis CORAL FOUNTAIN
Tecoma stans 'Goldstar' GOLDSTAR TECOMA
Tecoma x. 'Crimson Flare®' CRIMSON FLARE TECOMA

GROUNDCOVERS

ITEM
Acacia redolens 'Desert Carpet®' PROSTRATE ACACIA
Baccharis pilularis 'Thompson®' DWARF COYOTE BUSH
Convolvulus cneorum BUSH MORNING GLORY
Dalea greggii TRAILING INDIGO BUSH
Lantana 'New Gold' NEW GOLD LANTANA

MISCELLANEOUS

ITEM
CONCRETE HEADER

ROCK MULCH 'DESERT VISTA BROWN'
ANGULAR RIP RAP 'DESERT VISTA BROWN'
STABILIZED ROCK 'DESERT TAN'
'BLACKJACK' BERMUDA HYDROSEED

SALVAGE TREE/CACTI TAG

IRONWOOD	NAME	TREE CALIPER/CACTUS HT.
10, 3	ID#	

NOTE:

- TAGS FOR REGISTERED OR TRADEMARKED (® / ™) PLANT MATERIAL ARE TO REMAIN ON THE PLANTS

LANDSCAPE KEYNOTES

- DRAINAGE EASEMENT, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 6" x 4" CONCRETE HEADER, REFER TO DETAIL 6 / L1.11
- FITNESS EQUIPMENT, REFER TO SHEETS L3.01 & L3.02 FOR MORE INFORMATION.
- FIRE HYDRANT - TREES AND SHRUBS TO MAINTAIN A MIN. 5'-0" CLEARANCE.
- 5' x 10' x 4" CONCRETE PAD (TEE BOX)
- 5' x 10' STABILIZED ROCK (TEE BOX)

3RD SUBMITTAL

LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ

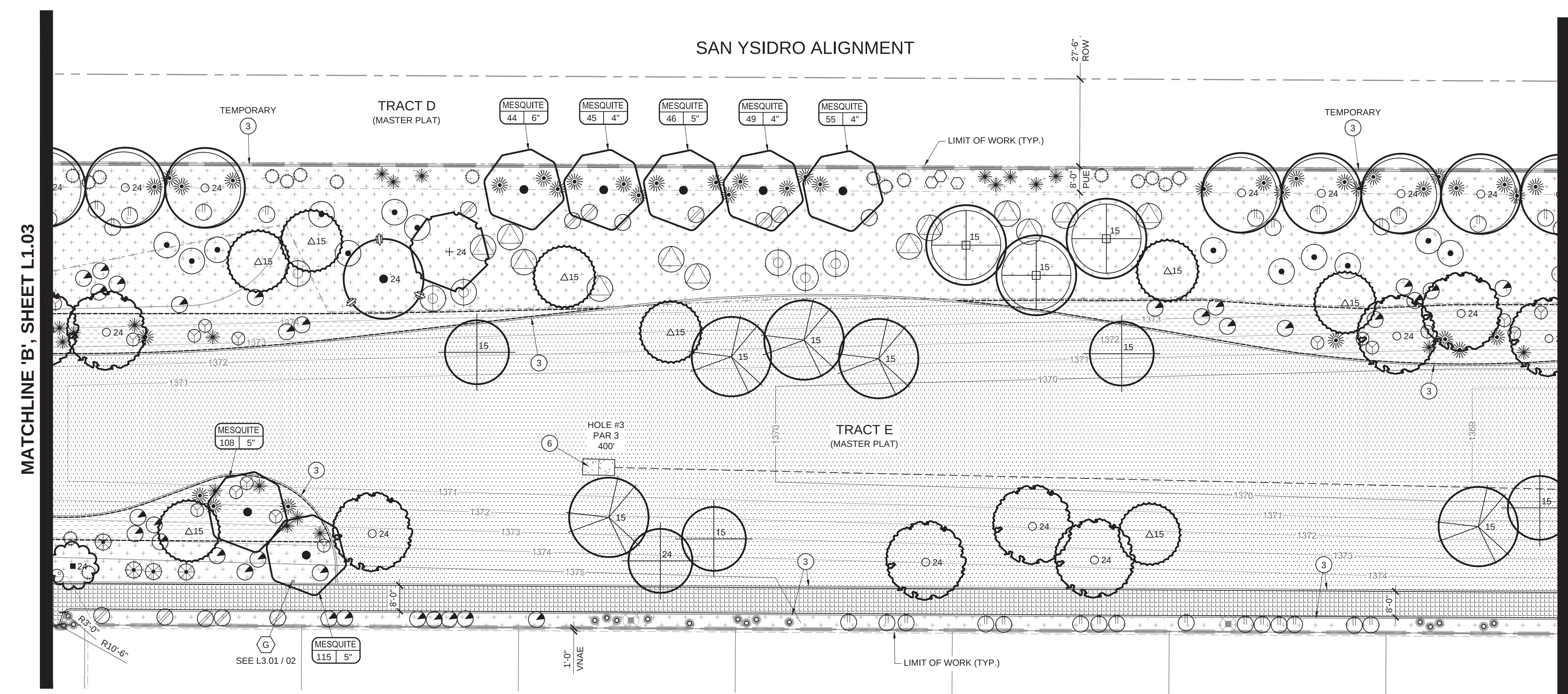


DATE	I 06/26/2017
DRAWN	I MBD
DESIGNED	I MBD
CHECKED	I MBD
PROJECT #	I 4161214000
SHEET TITLE	PLANTING PLAN
SHEET NUMBER	L1.03
	04 OF 25 SHEETS

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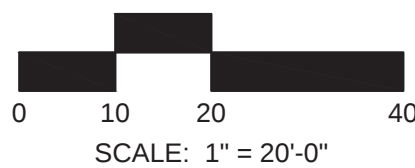
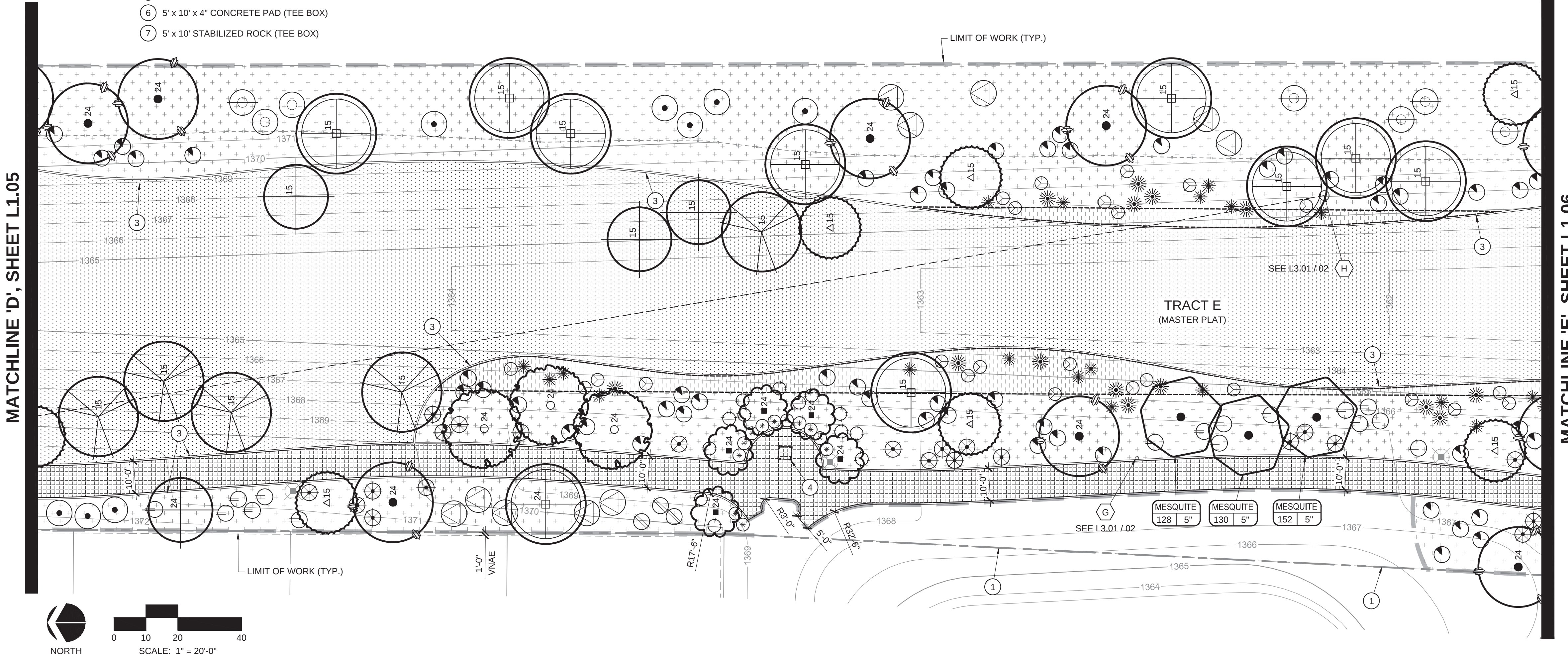
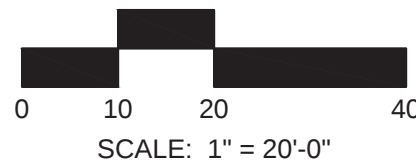


LANDSCAPE KEYNOTES

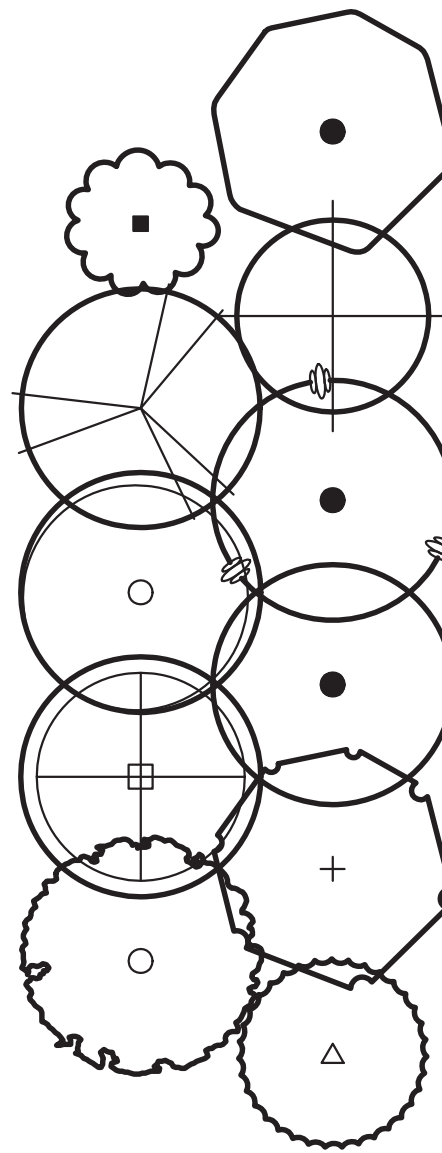
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- 6 5' x 10' x 4" CONCRETE PAD (TEE BOX)
- 7 5' x 10' STABILIZED ROCK (TEE BOX)

PAVING SCHEDULE

- ALL OPEN SPACE SIDEWALKS - NATURAL GRAY CONCRETE w/ ALTERNATING HEAVY BROOM FINISH & 6" SHINER (TROWEL FINISH) BORDER. REFER TO DETAIL 8 / L1.11.
- STABILIZED ROCK TRAIL, REFER TO LANDSCAPE MATERIAL SCHEDULE & DETAIL 7 / L1.11. MAX. 5% RUNNING SLOPE & 2% CROSS SLOPE. MAX. 1/4" VERTICAL DIFFERENCE BETWEEN ADJACENT CONCRETE HEADER OR ANY OTHER ADJACENT PAVED SURFACE.



LANDSCAPE PALETTE



TREES
ITEM
Salvage
<i>Acacia willardiana</i> PALO BLANCO
<i>Chilopsis linearis</i> DESERT WILLOW
<i>Dalbergia sissoo</i> SISSOO TREE
<i>Olneya tesota</i> 'AZT™' IRONWOOD
<i>Parkinsonia hybrid</i> 'Desert Museum' DESERT MUSEUM PALO VERDE
<i>Parkinsonia praecox</i> 'AZT™' SONORAN PALO VERDE
<i>Parkinsonia floridum</i> BLUE PALO VERDE
<i>Prosopis</i> 'AZT™' THORNLESS HYBRID MESQUITE
<i>Prosopis glandulosa</i> 'AZT™' THORNLESS HONEY MESQUITE
<i>Vitex agnus-castus</i> CHASTE TREE

SHRUBS & ACCENTS

ITEM
<i>Calliandria californica</i> BAJA RED FAIRY DUSTER
<i>Dasylirotion wheeleri</i> DESERT SPOON
<i>Dodonaea viscosa</i> 'Purpurea' PURPLE HOPSEED
<i>Eremophila maculata</i> 'Valentine®' VALENTINE EMU BUSH
<i>Euphorbia rigida</i> GOPHER PLANT
<i>Justicia californica</i> CHUPAROSA
<i>Leucophyllum l.</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE
<i>Muhlenbergia capillaris</i> 'Regal Mist®' REGAL MIST GRASS
<i>Muhlenbergia emersleyi</i> 'El Toro®' BULL GRASS
<i>Muhlenbergia l.</i> 'Autumn Glow®' AUTUMN GLOW MUHLY
<i>Ruselia equisetiformis</i> CORAL FOUNTAIN
<i>Tecoma stans</i> 'Goldstar' GOLDSTAR TECOMA
<i>Tecoma x.</i> 'Crimson Flare®' CRIMSON FLARE TECOMA

GROUNDCOVERS

ITEM
<i>Acacia redolens</i> 'Desert Carpet®' PROSTRATE ACACIA
<i>Baccharis pilularis</i> 'Thompson®' DWARF COYOTE BUSH
<i>Convolvulus cneorum</i> BUSH MORNING GLORY
<i>Dalea greggii</i> TRAILING INDIGO BUSH
<i>Lantana</i> 'New Gold' NEW GOLD LANTANA

MISCELLANEOUS

ITEM
CONCRETE HEADER
ROCK MULCH 'DESERT VISTA BROWN'
ANGULAR RIP RAP 'DESERT VISTA BROWN'
STABILIZED ROCK 'DESERT TAN'
'BLACKJACK' BERMUDA HYDROSEED

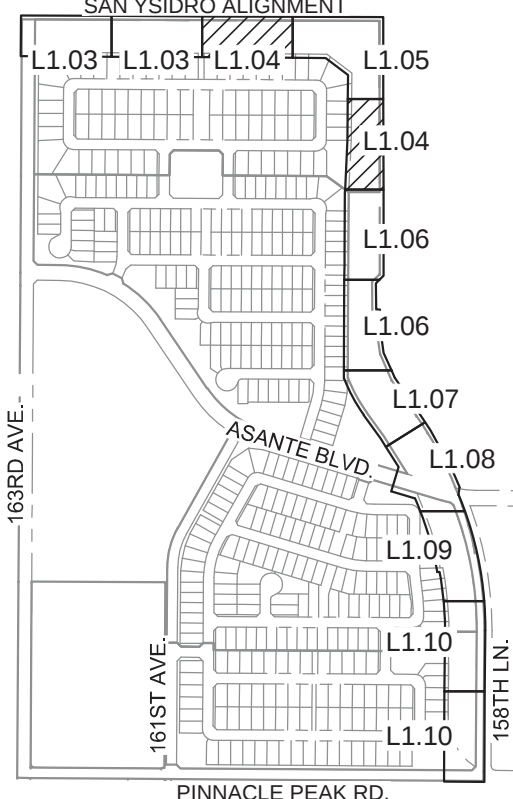
SALVAGE TREE/CACTI TAG

IRONWOOD	NAME	TREE CALIPER/CACTUS HT.
10, 3	ID#	

NOTE:

1. TAGS FOR REGISTERED OR TRADEMARKED (® / ™) PLANT MATERIAL ARE TO REMAIN ON THE PLANTS

KEY MAP



3RD SUBMITTAL

LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ



DATE	06/26/2017
DRAWN	MBD
DESIGNED	MBD
CHECKED	MBD
PROJECT #	14161214000

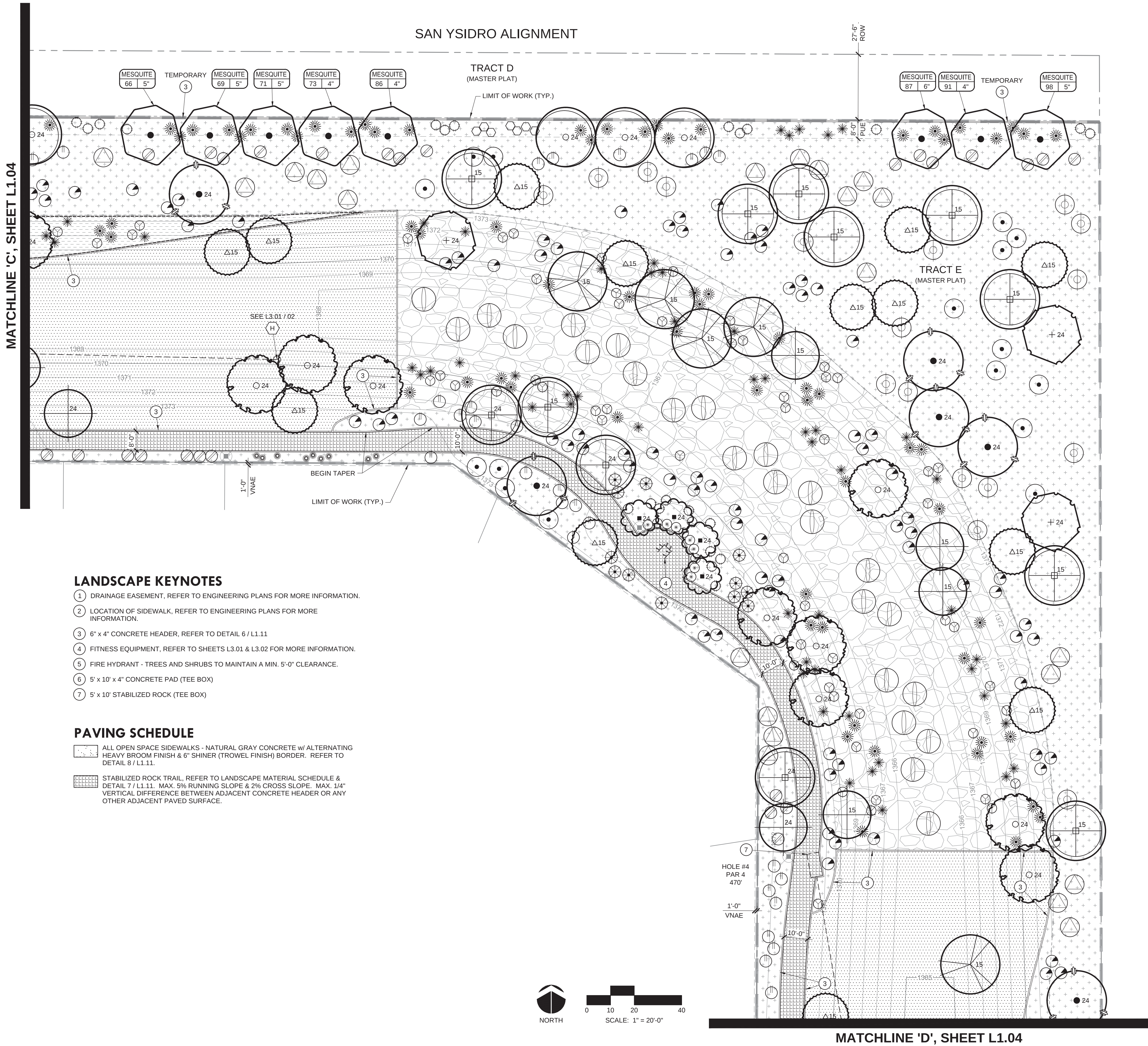
SHEET TITLE
PLANTING PLAN
SHEET NUMBER

L1.04

05 OF 25 SHEETS



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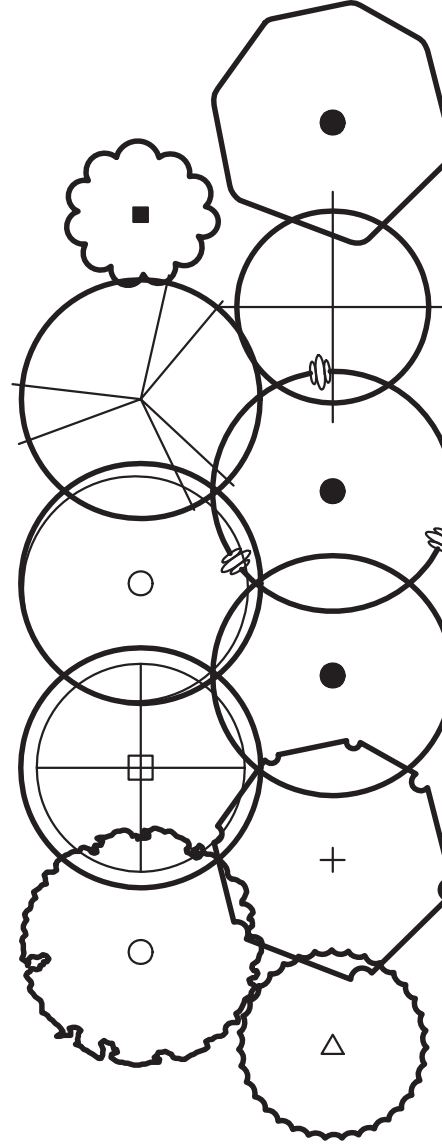
LANDSCAPE KEYNOTES

- 1 DRAINAGE EASEMENT, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 2 LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 3 6" x 4" CONCRETE HEADER, REFER TO DETAIL 6 / L1.11
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- 6 5' x 10' x 4" CONCRETE PAD (TEE BOX)
- 7 5' x 10' STABILIZED ROCK (TEE BOX)

PAVING SCHEDULE

- ALL OPEN SPACE SIDEWALKS - NATURAL GRAY CONCRETE W/ ALTERNATING HEAVY BROOM FINISH & 6" SHINER (TROWEL FINISH) BORDER. REFER TO DETAIL 8 / L1.11.
- STABILIZED ROCK TRAIL, REFER TO LANDSCAPE MATERIAL SCHEDULE & DETAIL 7 / L1.11. MAX. 5% RUNNING SLOPE & 2% CROSS SLOPE. MAX. 1/4" VERTICAL DIFFERENCE BETWEEN ADJACENT CONCRETE HEADER OR ANY OTHER ADJACENT PAVED SURFACE.

LANDSCAPE PALETTE



TREES
ITEM
Salvage
<i>Acacia willardiana</i> PALO BLANCO
<i>Chilopsis linearis</i> DESERT WILLOW
<i>Dalbergia sissoo</i> SISSOO TREE
<i>Olneya tesota</i> 'AZT™' IRONWOOD
<i>Parkinsonia hybrid</i> 'Desert Museum' DESERT MUSEUM PALO VERDE
<i>Parkinsonia praecox</i> 'AZT™' SONORAN PALO VERDE
<i>Parkinsonia floridum</i> BLUE PALO VERDE
<i>Prosopis</i> 'AZT™' THORNLESS HYBRID MESQUITE
<i>Prosopis glandulosa</i> 'AZT™' THORNLESS HONEY MESQUITE
<i>Vitex agnus-castus</i> CHASTE TREE

SHRUBS & ACCENTS
ITEM
<i>Calliandra californica</i> BAJA RED FAIRY DUSTER
<i>Dasyliion wheeleri</i> DESERT SPOON
<i>Dodonaea viscosa</i> 'Purpurea' PURPLE HOPSEED
<i>Eremophila maculata</i> 'Valentine®' VALENTINE EMU BUSH
<i>Euphorbia rigida</i> GOPHER PLANT
<i>Justicia californica</i> CHUPAROSA
<i>Leucophyllum l.</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE
<i>Muhlenbergia capillaris</i> 'Regal Mist®' REGAL MIST GRASS
<i>Muhlenbergia emersleyi</i> 'El Toro®' BULL GRASS
<i>Muhlenbergia l.</i> 'Autumn Glow®' AUTUMN GLOW MUHLY
<i>Ruellia equisetiformis</i> CORAL FOUNTAIN
<i>Tecoma stans</i> 'Goldstar' GOLDSTAR TECOMA
<i>Tecoma x.</i> 'Crimson Flare®' CRIMSON FLARE TECOMA

GROUNDCOVERS
ITEM
<i>Acacia redolens</i> 'Desert Carpet®' PROSTRATE ACACIA
<i>Baccharis pilularis</i> 'Thompson®' DWARF COYOTE BUSH
<i>Convolvulus cneorum</i> BUSH MORNING GLORY
<i>Dalea greggii</i> TRAILING INDIGO BUSH
<i>Lantana</i> 'New Gold' NEW GOLD LANTANA

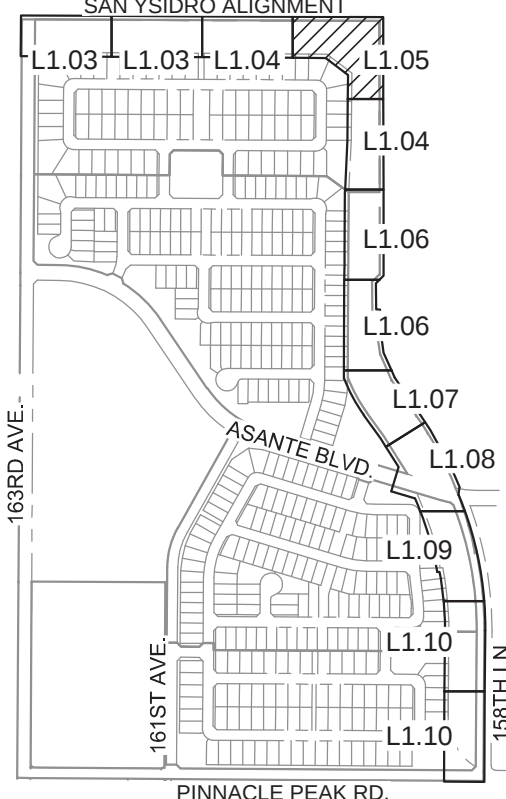
MISCELLANEOUS
ITEM
CONCRETE HEADER
ROCK MULCH 'DESERT VISTA BROWN'
ANGULAR RIP RAP 'DESERT VISTA BROWN'
STABILIZED ROCK 'DESERT TAN'
'BLACKJACK' BERMUDA HYDROSEED

SALVAGE TREE/CACTI TAG

IRONWOOD	NAME	TREE CALIPER/CACTUS HT.
10	3	ID#

- NOTE:**
1. TAGS FOR REGISTERED OR TRADEMARKED (® / ™) PLANT MATERIAL ARE TO REMAIN ON THE PLANTS

KEY MAP

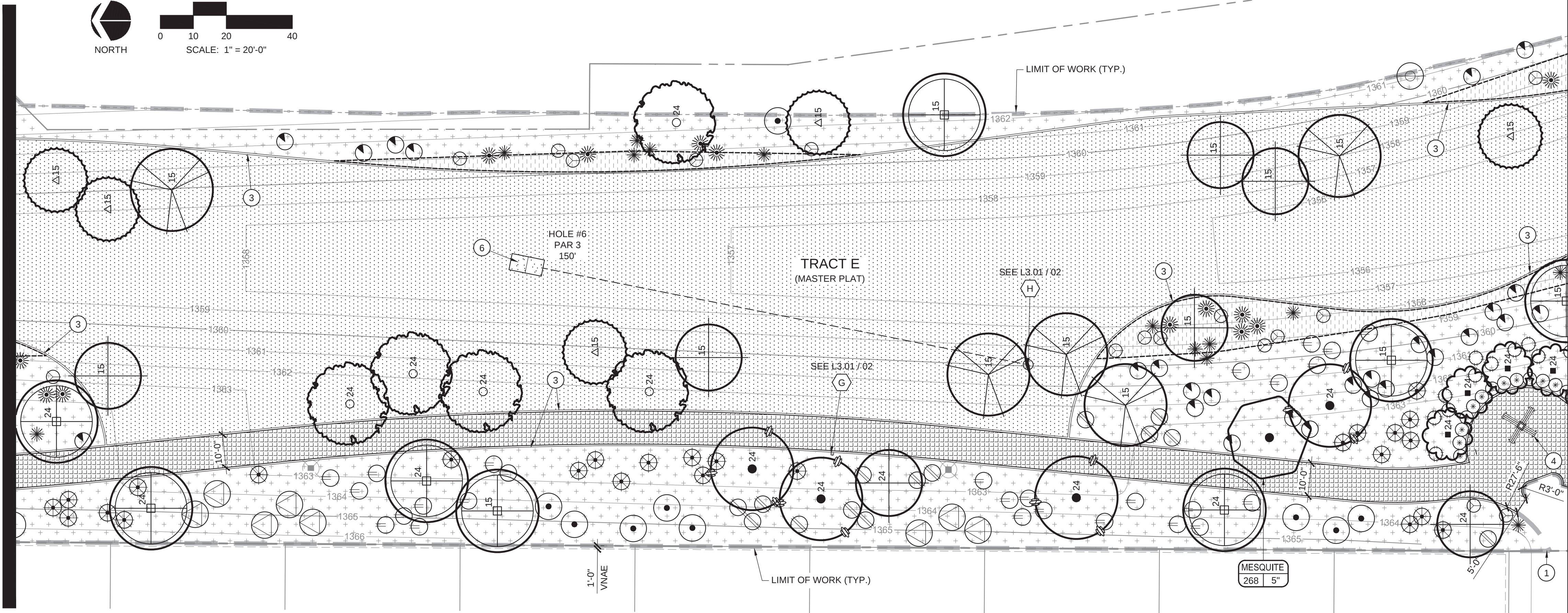


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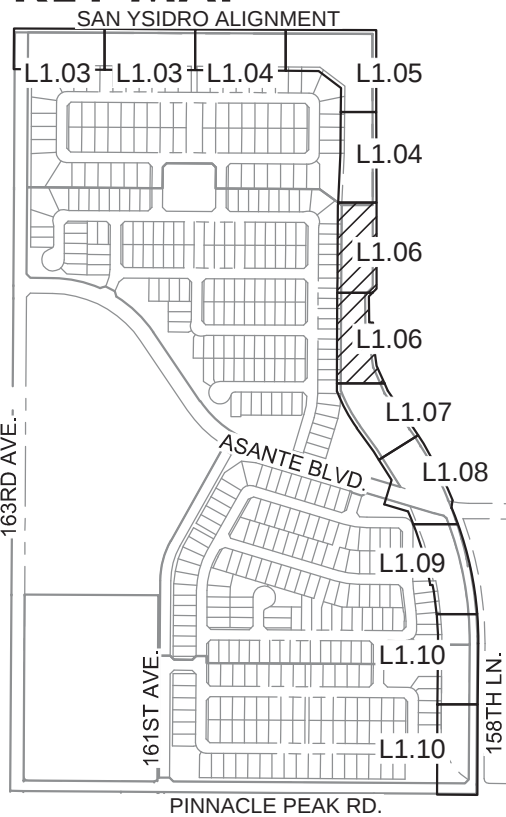
MATCHLINE 'F', ABOVE RIGHT

MATCHLINE 'E', SHEET L1.04



MATCHLINE 'G', SHEET L1.07

KEY MAP

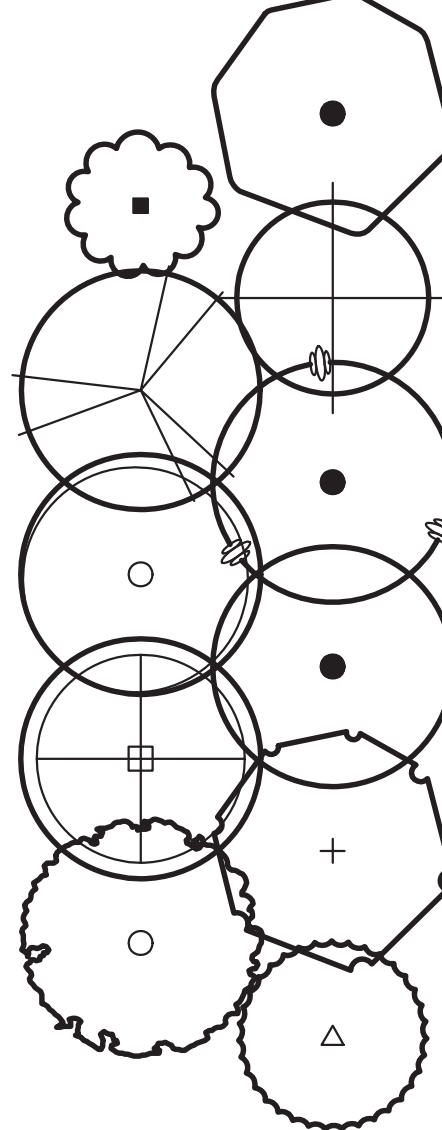


SALVAGE TREE/CACTI TAG

IRONWOOD	NAME	TREE CALIPER/CACTUS HT.	ID#
10	3		

NOTE:
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LANDSCAPE PALETTE



TREES
ITEM
Salvage
Acacia willardiana PALO BLANCO
Chilopsis linearis DESERT WILLOW
Dalbergia sissoo SISSOO TREE
Oleynia tesota 'AZT™' IRONWOOD
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Parkinsonia praecox 'AZT™' SONORAN PALO VERDE
Parkinsonia floridum BLUE PALO VERDE
Prosopis 'AZT™' THORNLESS HYBRID MESQUITE
Prosopis glandulosa 'AZT™' THORNLESS HONEY MESQUITE
Vitex agnus-castus CHASTE TREE

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ITEM
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Dasyliroton wheeleri DESERT SPOON
Dodonaea viscosa 'Purpurea' PURPLE HOPSEED
Eremophila maculata 'Valentine®' VALENTINE EMU BUSH
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Justicia californica CHUPAROSA
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GROUNDCOVERS
ITEM
Acacia redolens 'Desert Carpet®' PROSTRATE ACACIA
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Convolvulus cneorum BUSH MORNING GLORY
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Lantana 'New Gold' NEW GOLD LANTANA

MISCELLANEOUS
ITEM
CONCRETE HEADER
ROCK MULCH 'DESERT VISTA BROWN'
ANGULAR RIP RAP 'DESERT VISTA BROWN'
STABILIZED ROCK 'DESERT TAN'
'BLACKJACK' BERMUDA HYDROSEED

LANDSCAPE KEYNOTES

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PAVING SCHEDULE

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- STABILIZED ROCK TRAIL, REFER TO LANDSCAPE MATERIAL SCHEDULE & DETAIL 7 / L1.11. MAX. 5% RUNNING SLOPE & 2% CROSS SLOPE. MAX. 1/4" VERTICAL DIFFERENCE BETWEEN ADJACENT CONCRETE HEADER OR ANY OTHER ADJACENT PAVED SURFACE.

3RD SUBMITTAL

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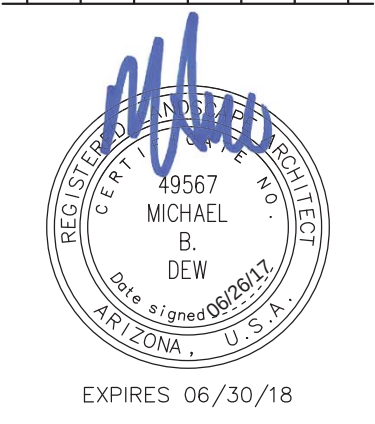
PHOENIX
19621 N 23RD DRIVE, STE 150, PHOENIX, AZ 85027
TEL: (602) 977-8000 FAX: (602) 977-8089
www.cardno.com

Call at least two full working days before you begin excavation.

ARIZONA811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-4348)
In Maricopa County: (602) 353-1100

LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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DATE	06/26/2017
DRAWN	MBD
DESIGNED	MBD
CHECKED	MBD
PROJECT #	4161214000
SHEET TITLE	PLANTING PLAN
SHEET NUMBER	L1.06
	07 OF 25 SHEETS

- ① DRAINAGE EASEMENT, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- ② LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
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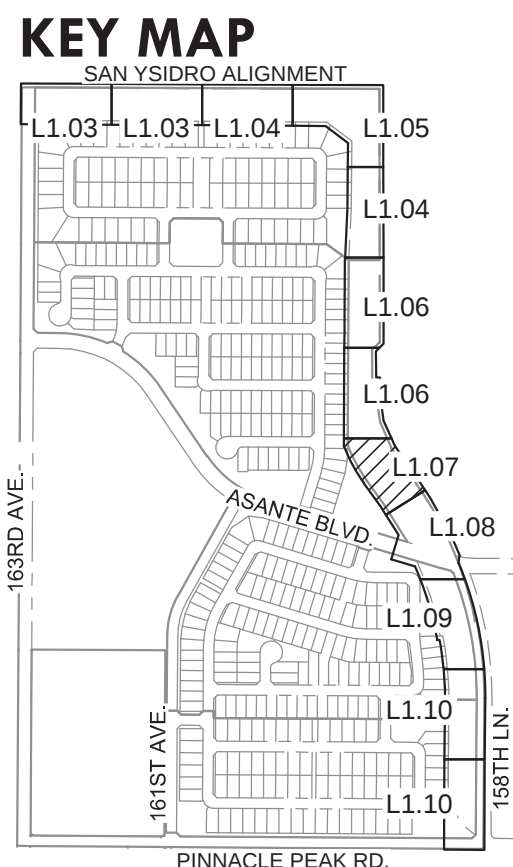


TREES
ITEM
<i>Salvage</i>
<i>Acacia willardiana</i> PALO BLANCO
<i>Chilopsis linearis</i> DESERT WILLOW
<i>Dalbergia sissoo</i> SISSOO TREE
<i>Olneya tesota</i> 'AZT™' IRONWOOD
<i>Parkinsonia hybrid</i> 'Desert Museum' DESERT MUSEUM PALO VERDE
<i>Parkinsonia praecox</i> 'AZT™' SONORAN PALO VERDE
<i>Parkinsonia floridum</i> BLUE PALO VERDE
<i>Prosopis</i> 'AZT™' THORNLESS HYBRID MESQUITE
<i>Prosopis glandulosa</i> 'AZT™' THORNLESS HONEY MESQUITE
<i>Vitex agnus-castus</i> CHASTE TREE
SHRUBS & ACCENTS
ITEM
<i>Calliandra californica</i> BAJA RED FAIRY DUSTER
<i>Dasylirotr wheeleri</i> DESERT SPOON
<i>Dodonaea viscosa</i> 'Purpurea' PURPLE HOPSEED
<i>Eremophila maculata</i> 'Valentine' VALENTINE EMU BUSH
<i>Euphorbia rigida</i> GOPHER PLANT
<i>Justicia californica</i> CHUPAROSA
<i>Leucophyllum l. 'Lynn's Legacy'</i> AUTUMN GLOW MIMULY
<i>Muhlenbergia capillaris</i> 'TEXAS SAGE' REGAL MIST GRASS
<i>Muhlenbergia emersleyi</i> 'El Toro' BULL GRASS
<i>Muhlenbergia l. 'Autumn Glow'</i> AUTUMN GLOW MIMULY
<i>Ruellia eupatoriiformis</i> CORAL FOUNTAIN
<i>Tecoma stans</i> 'Goldstar' GOLDSTAR TECOMA
<i>Tecoma x. 'Crimson Flame'</i> CRIMSON FLAME TECOMA
GROUNDCOVERS
ITEM
<i>Acacia redolens</i> 'Desert Carpet' PROSTRATE ACACIA
<i>Baccharis pilularis</i> 'Thompson' DWARF COYOTE BUSH
<i>Convolvulus cneorum</i> BUSH MORNING GLORY
<i>Dalea greggii</i> TRAILING INDIGO BUSH
<i>Lantana</i> 'New Gold' NEW GOLD LANTANA
MISCELLANEOUS
ITEM
CONCRETE HEADER
ROCK MULCH 'DESERT VISTA BROWN'
ANGULAR RIP RAP 'DESERT VISTA BROWN'
STABILIZED ROCK 'DESERT TAN'
'BLACKJACK' BERMUDA HYDROSEED

SALVAGE TREE/CACTI TAG

NOTE:

1. TAGS FOR REGISTERED OR TRADEMARKED (® / ™) PLANT MATERIAL ARE TO REMAIN ON THE PLANTS



3RD SUBMITTAL

LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ

DATE	06/26/2017
DRAWN	MBD
DESIGNED	MBD
CHECKED	MBD
PROJECT #	4161214000
SHEET TITLE	
PLANTING PLAN	
SHEET NUMBER	

L1.07

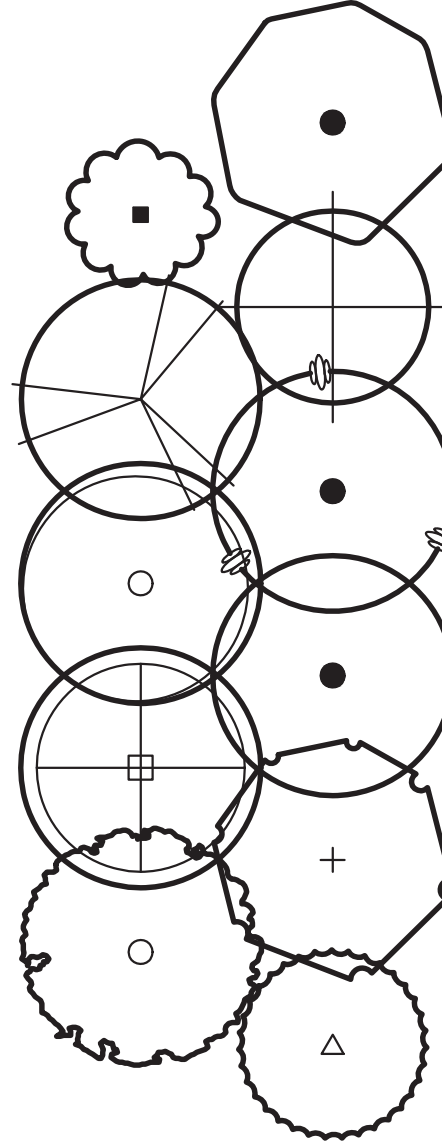
LANDSCAPE KEYNOTES

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LANDSCAPE PALETTE



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Salvage
Acacia willardiana PALO BLANCO
Chilopsis linearis DESERT WILLOW
Dalbergia sissoo SISSOO TREE
Olneya tesota 'AZT™' IRONWOOD
Parkinsonia hybrid 'Desert Museum' DESERT MUSEUM PALO VERDE
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Parkinsonia floridum BLUE PALO VERDE
Prosopis 'AZT™' THORNLESS HYBRID MESQUITE
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Justicia californica CHUPAROSA
Leucophyllum l. 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE
Muhlenbergia capillaris 'Regal Mist®' REGAL MIST GRASS
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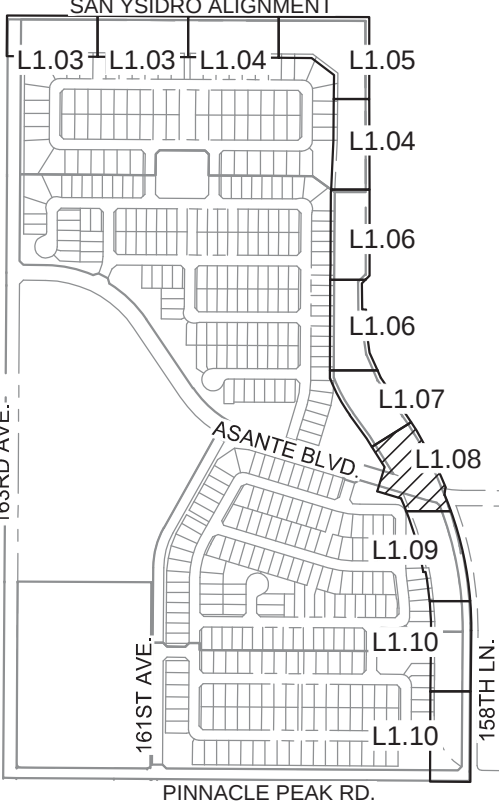
SALVAGE TREE/CACTI TAG

IRONWOOD	NAME
10	TREE CALIPER/CACTUS HT.
3	ID#

NOTE:

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KEY MAP



Cardno

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PHOENIX

19621 N 23RD DRIVE, STE 150, PHOENIX, AZ 85027

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VERDUGO - DRAINAGE CHANNEL

VERDUGO LAND, L.L.C.

SURPRISE, AZ

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

13567

MICHAEL B. DEW

Exp. 06/30/18

DATE

06/26/2017

DRAWN

MBD

DESIGNED

MBD

CHECKED

MBD

PROJECT #

4161214000

SHEET TITLE

PLANTING PLAN

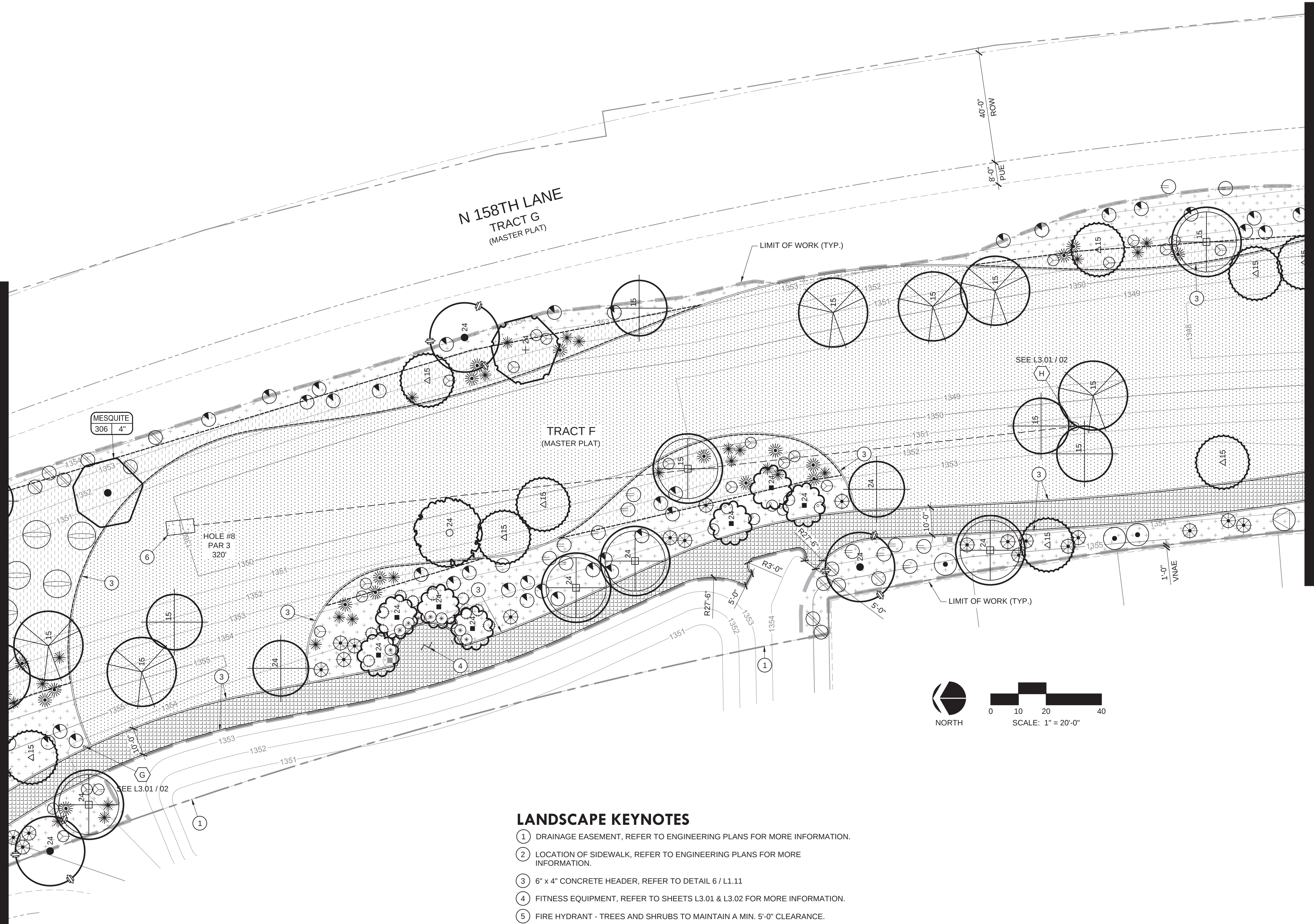
SHEET NUMBER

L1.08

09 OF 25 SHEETS

3RD SUBMITTAL

MATCHLINE 'I', SHEET L1.08



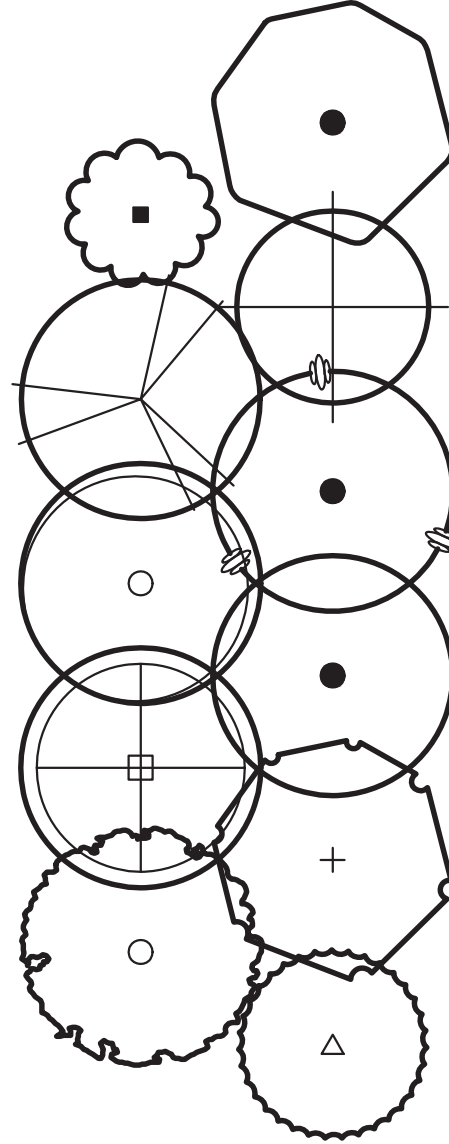
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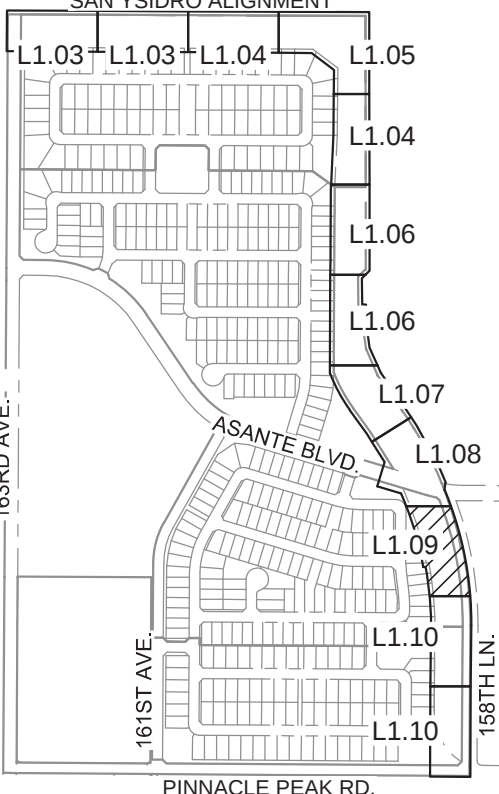
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'BLACKJACK' BERMUDA HYDROSEED

SALVAGE TREE/CACTI TAG

IRONWOOD	NAME
10	TREE CALIPER/CACTUS HT.
3	ID#

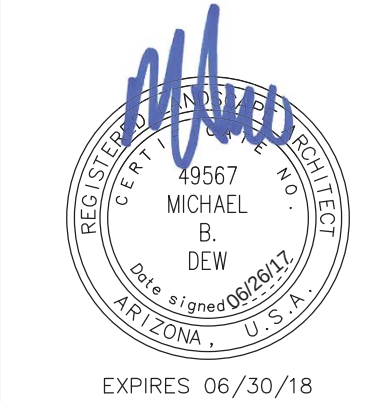
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KEY MAP



3RD SUBMITTAL

LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ



DATE	06/26/2017
DRAWN	MBD
DESIGNED	MBD
CHECKED	MBD
PROJECT #	4161214000
SHEET TITLE	PLANTING PLAN
SHEET NUMBER	

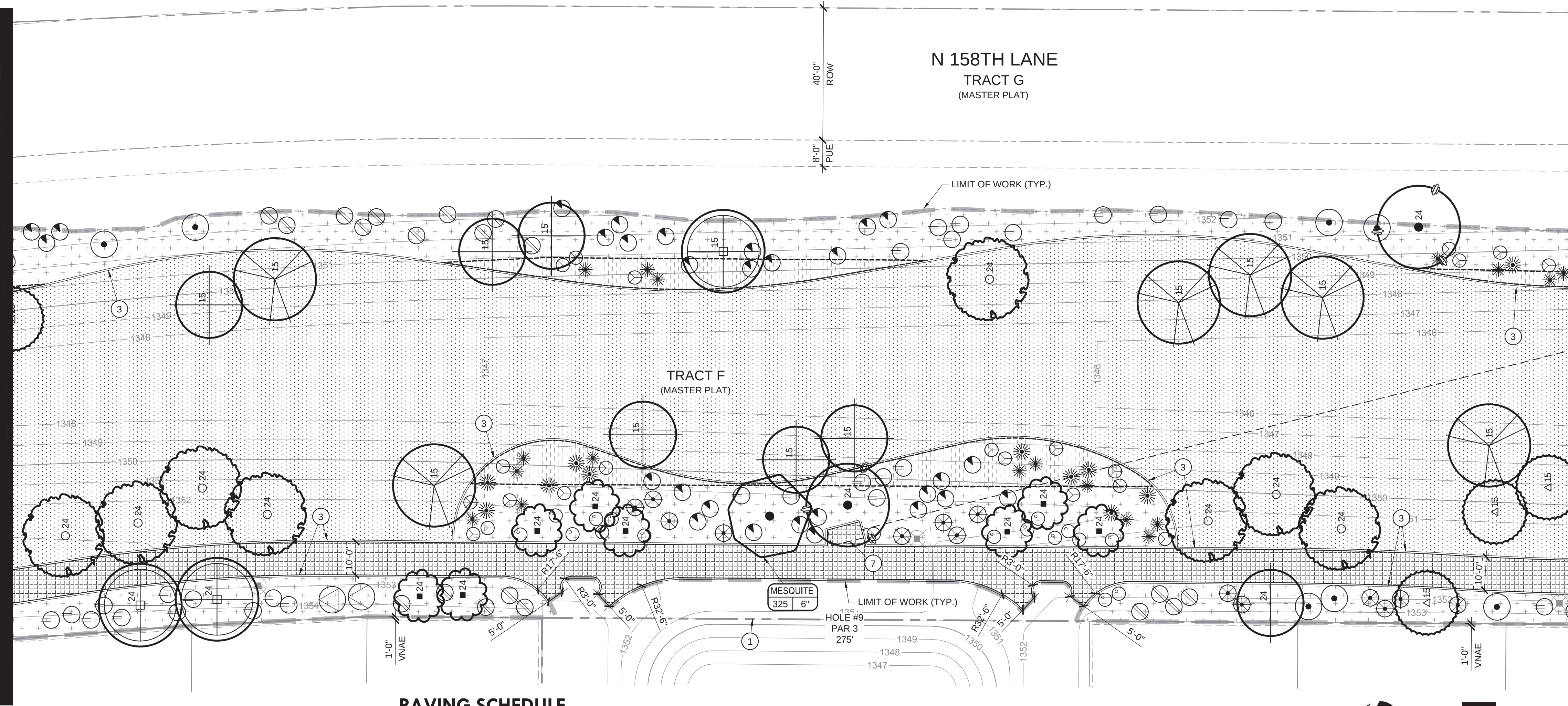
L1.09
10 OF 25 SHEETS



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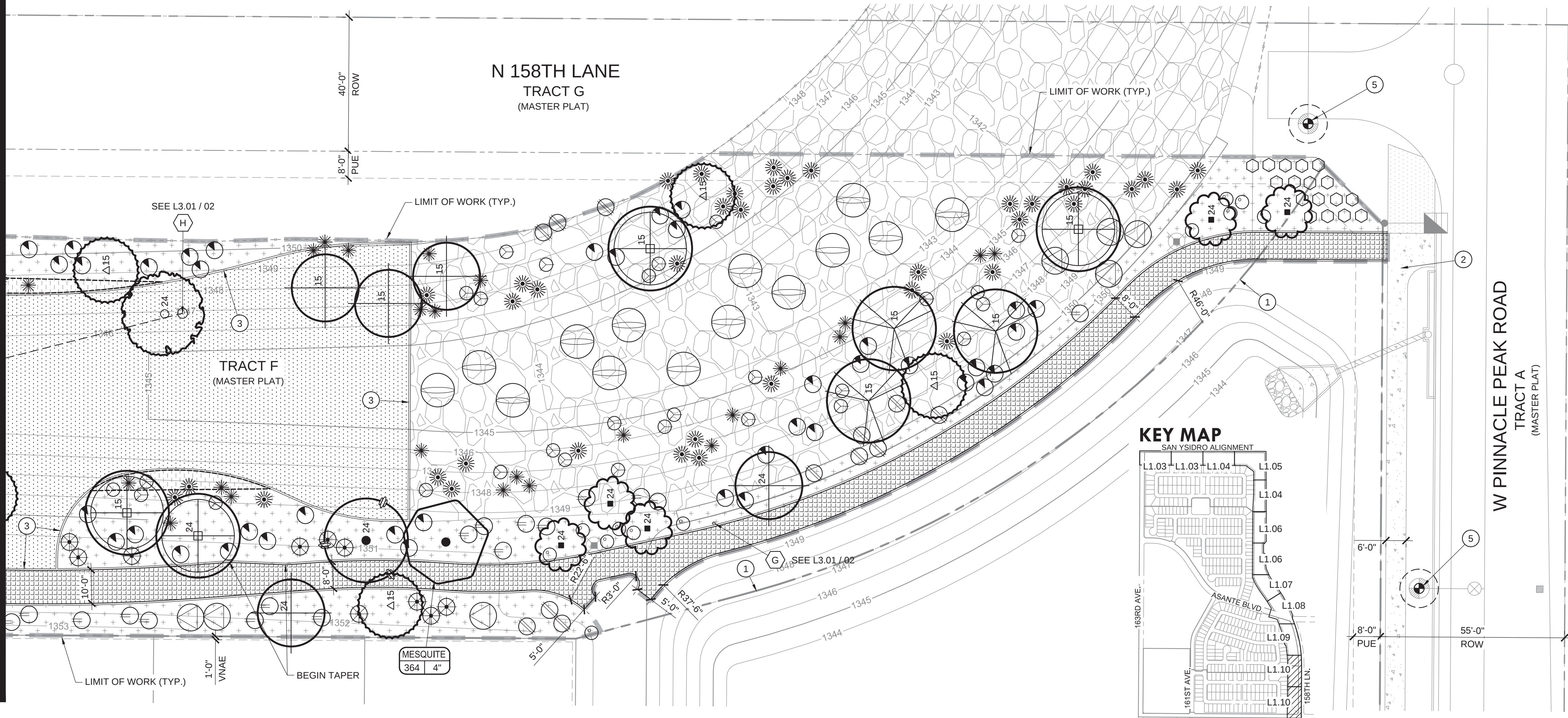
MATCHLINE 'K', THIS SHEET

MATCHLINE 'J', SHEET L1.09

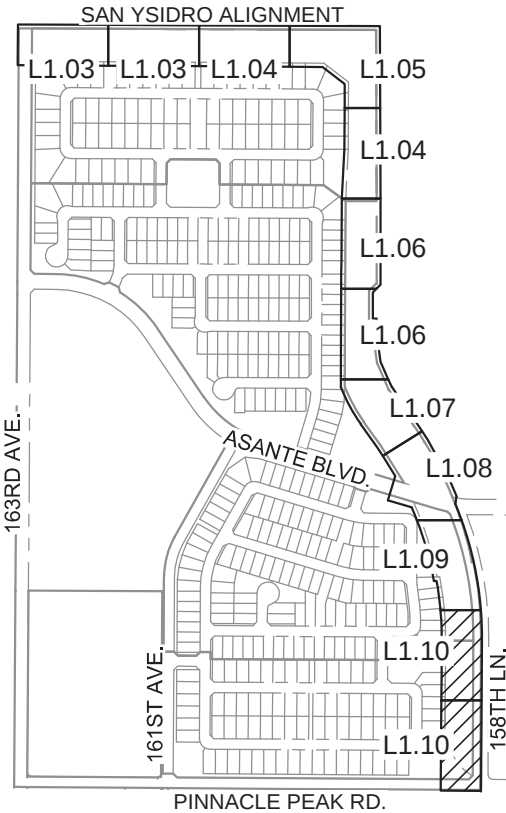


PAVING SCHEDULE

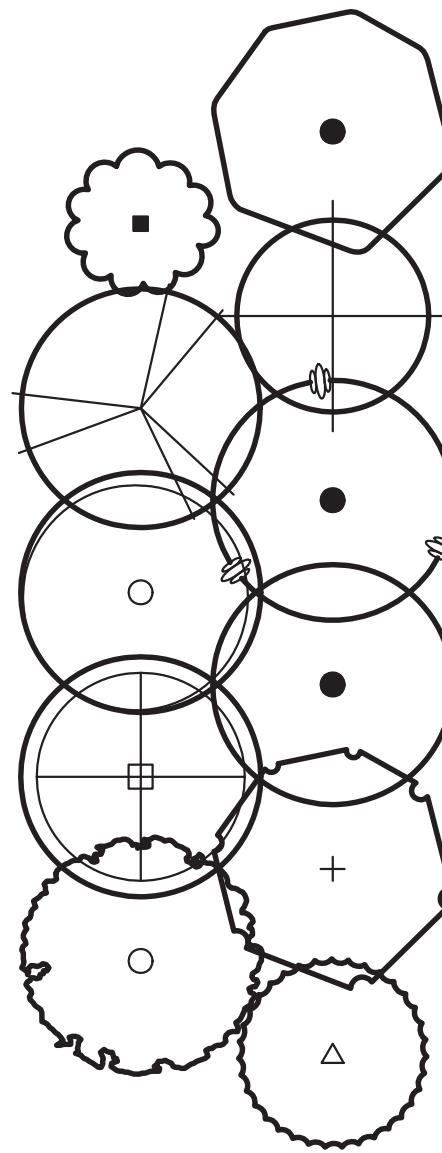
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KEY MAP



LANDSCAPE PALETTE



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MISCELLANEOUS
ITEM
CONCRETE HEADER

ROCK MULCH 'DESERT VISTA BROWN'
ANGULAR RIP RAP 'DESERT VISTA BROWN'
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SALVAGE TREE/CACTI TAG

IRONWOOD	NAME	TREE CALIPER/CACTUS HT.
10	3	ID#

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LANDSCAPE KEYNOTES

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3RD SUBMITTAL

LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ



DATE	I 06/26/2017
DRAWN	I MBD
DESIGNED	I MBD
CHECKED	I MBD
PROJECT #	I 4161214000
SHEET TITLE	PLANTING PLAN
SHEET NUMBER	

L1.10
11 OF 25 SHEETS



8 SIDEWALK FINISH DETAIL NOT TO SCALE

The diagram illustrates a cross-section of a sidewalk finish detail. It shows a vertical section of a concrete sidewalk with a central expansion joint. The joint is filled with a 1/2-inch thick bituminous material. The concrete is labeled as Class 'B' and its thickness, finish, and color are specified as per plans. Below the concrete is a layer of A.B.C. (Asphalt Bound Course) with a thickness also specified as per plans, if applicable. The base of the sidewalk is a 95% compacted subgrade. The diagram is labeled 'NOT TO SCALE'.

- CAULKING
- 1/2" BITUMINOUS EXPANSION JOINT
- CLASS 'B' CONCRETE
THICKNESS, FINISH, & COLOR
PER PLANS
- A.B.C., THICKNESS PER PLANS
(IF APPLICABLE)
- 95% COMPACTED SUBGRADE

9 EXPANSION JOINT NOT TO SCALE

3/8" RADIUS TOOLED CONTROL JOINT 1/3 THE DEPTH OF SLAB

CLASS 'B' CONCRETE - THICKNESS, FINISH, & COLOR PER PLANS

CLASS 'A' CONCRETE - THICKNESS PER PLANS (IF APPLICABLE)

95% COMPACTED SUBGRADE

10 CONCRETE JOINT

NOT TO SCALE

1/4" RADIUS SCORE JOINT TO BE A MIN. 1/2" IN DEPTH AND OCCUR A MIN. DISTANCE A PART EQUAL TO THE WIDTH OF CONCRETE OR AS SHOWN ON PLANS FOR ALL SIDEWALK APPLICATIONS.

CLASS 'B' CONCRETE - THICKNESS, FINISH, & COLOR PER PLANS

A.B.C., THICKNESS PER PLANS (IF APPLICABLE)

95% COMPACTED SUBGRADE

11	SCORE JOINT	NOT TO SCALE
----	-------------	--------------

SINGLE TRUNK

12" MIN.
18" MAX.
TYP.

DOUBLE TRUNK

TREE TRUNK, MULTI-TRUNKED TREES SHALL HAVE ALL MAJOR LEADERS STAKED OR SUPPORTED.

ONE CONTINUOUS PIECE OF #12 GAUGE PLASTIC COATED MULTI-STRAND STEEL, TYP.

NEW 1/2" RUBBER HOSE, 18" MIN., TYP.

NEATLY TWIST GUY WIRE A MIN. OF 5 TIMES AT ALL LOCATIONS & BEND DOWN, TYP.

#12 GAUGE PLASTIC COATED MULTI-STRAND STEEL, TYP.

WRAP WIRE AROUND LODGEPOLE A MINIMUM OF 5 TIMES & BEND DOWN, TYP.

2"Ø x 8' LODGEPOLE PINE STAKES FOR 15 GAL. TREE, 2"Ø x 12' STAKES FOR 24" BOX OR LARGER. DRIVE STAKES 2"± INTO GROUND, 6" MIN. BELOW ROOTBALL, TYP.

MULTI-TRUNK

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ROCK/BARK MULCH

NOT TO SCALE

NOTE:

- Primary control joints occur at 2'-0" o.c. Expansions joints to occur at a max. spacing of 30'-0" & between all adjacent concrete surfaces.
- Landscape contractor to show layout of header w/ marking paint or 1/2" pvc tubing for owner approval prior to initial pour.
- All curved headers shall be smooth, continuous transitions w/ a uniform width as noted on plans.
- All curbing & headers shall not impeded onsite drainage flows. Should this occur, provide swale depressions as required.

6 CONCRETE HEADER NOT TO SCALE

NOTE:

- Plants delivered w/ cracked or broken containers will be rejected.
- Thin, tall trees may need more than one tie.
- Remove nursery stake after planting.
- Install temporary pvc arbor guards on all trees planted in turf.

12 GA. PLASTIC COATED MULTI STRAND STEEL WIRE. WRAP END OF WIRE A MIN. OF 5 TIMES AROUND STAKE. INSTALL HOSES AT LOWEST HEIGHT POSSIBLE ON THE TRUNK THAT KEEPS THE LEADER UPRIGHT, WHILE ALLOWING MAXIMUM MOVEMENT OF THE CROWN.

(2) 2"Ø X 8' LODGEPOLE PINE STAKES FOR 15 GAL. TREE. (2) 2"Ø X 12' LODGEPOLE PINE STAKES FOR 24" & 36" BOX (48" BOX AND LARGER DO NOT REQUIRE STAKING). SEE TREE STAKING DETAIL MORE INFORMATION.

FERTILIZER TABLETS, AGRIFORM 21 GRAM 20-10-5, 4 PER 15 GAL., 6 PER 24" BOX, AND 8 PER 36" BOX OR LARGER, 3" MIN. BELOW FINISH GRADE EVENLY AROUND ROOTBALL.

ROCK/BARK MULCH, REFER TO LANDSCAPE MATERIAL SCHEDULE FOR MULCH SPECIFICATIONS.

FINISH GRADE

1 1/2"

6" MIN.

UNDISTURBED NATIVE SOIL

PLANT PIT IS 2x THE WIDTH & EQUAL TO THE DEPTH OF THE ROOTBALL. SCARIFY SIDES & BOTTOM PRIOR TO PLANTING.

ROOT BALL, SCARIFY SIDES PRIOR TO PLANTING. DO NOT COVER CROWN OF ROOTBALL w/ SOIL. PLANT 1" TO 2" ABOVE FINAL GRADE TO ALLOW FOR SETTLEMENT.

1 TREE PLANTING

NOT TO SCALE

The diagram illustrates the correct technique for planting a shrub. It shows a cross-section of the ground with a shrub being planted. The root ball is shown with its original soil, and the surrounding area is filled with native soil. A layer of rock/bark mulch is applied around the base of the plant, and fertilizer tablets are placed in the soil near the root ball. The diagram also shows the finish grade and the undisturbed native soil level.

TYPICAL SHRUB

FERTILIZER TABLETS, AGRIFORM 21 GRAM 20-10-5, 1 PER 1 GAL., 2 PER 5 GAL., 4 PER 15 GAL., 3" MIN. BELOW FINISH GRADE EVENLY AROUND ROOTBALL.

ROCK/BARK MULCH, REFER TO LANDSCAPE MATERIAL SCHEDULE FOR MULCH SPECIFICATIONS.

FINISH GRADE

UNDISTURBED NATIVE SOIL

ROOT BALL, SCARIFY SIDES PRIOR TO PLANTING. DO NOT COVER CROWN OF ROOTBALL w/ SOIL. PLANT 1" TO 2" ABOVE FINAL GRADE TO ALLOW FOR SETTLEMENT.

BACKFILL w/ NATIVE SOIL. TAMP & WATER SETTLED ONCE PRIOR TO SHRUB PLANTING & ONCE AFTER THE SHRUB WELL HAS BEEN BACKFILLED. SECOND WATERING SHALL BE WITHIN 24 HOURS.

PLANT PIT IS 2x THE WIDTH & EQUAL TO THE DEPTH OF THE ROOTBALL. SCARIFY SIDES & BOTTOM PRIOR TO PLANTING.

2 SHRUB PLANTING

NOTES TO SCALE

The diagram illustrates the required planting details for a shrub. It shows a cross-section of the ground with the following components and labels:

- TREE/SHRUB (REFER TO TREE OR SHRUB PLANTING DETAIL FOR GUIDELINES)**: Points to the canopy of the shrub.
- ROOTBALL**: Points to the root system of the shrub.
- FINISH GRADE**: Points to the ground surface level.
- COMPACTED PAD FOR ROOT BALL SUPPORT. PAD TO BE GRADED TO ALLOW FOR POSITIVE DRAINAGE AWAY FROM ROOTBALL & INTO WELLS.**: Points to the layer of compacted material surrounding the rootball.
- 8"Ø x 5'-0" DEEP AUGER DUG WELL FILLED w/1" - 3" PEA GRAVEL. WELLS TO EXTEND BEYOND HARDPAN LAYER. WELLS TO OCCUR @ ALL 4 CORNERS OF TREE PLANTING WELLS & @ DOWNHILL SIDE OF SHRUBS. LOCATE WELLS TO THE SIDE OF THE ROOTBALL, NOT UNDER.**: Points to the gravel-filled wells.
- HARDPAN/CALICHE CONDITION**: Points to the hard layer in the soil.
- 6" MIN**: A dimension indicating the minimum depth of the wells below the hardpan layer.

NOTE:

- Test all planting wells prior to planting. Fill all wells with water and modify all wells that do not completely drain within 24 hours.
- It shall be the responsibility of the contractor to review the site prior to bidding for soil conditions. No change orders will be processed for hard dig conditions after acceptance of bid.

3 PLANTING IN HARDPAN

LOCATION 'C'

BEGIN TAPER TO 8'-0"

TRACT E

1'-0" VNAE

R71.0'

R63.0'

R62.0'

1'-0" VNAE

10'-0"

20'-7"

1'-0" VNAE

10'-0"

0 10 20 40
SCALE: 1" = 20'-0"

NORTH

3. THESE NOTES ARE GENERAL AND MAY BE SUPERSEDED BY EITHER THE SPECIFICATIONS OR LOCAL TRADE PRACTICES.
2. ALL FORMWORK ALIGNMENT SHALL BE STRAIGHT AND EVEN. RADII AND CURVES ARE TO HAVE SMOOTH, CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS. JOINT LOCATIONS NOT SPECIFICALLY INDICATED ON THE PLANS SHALL BE EVENLY SPACED AND VISUALLY UNOBTUSIVE.
3. ALL REINFORCING STEEL, DOWELS, ANCHOR BOLTS, AND OTHER INSERTS SHALL BE FIRMLY SECURED IN THE PROPER POSITION PRIOR TO PLACING CONCRETE.
4. ALL FLATWORK SHALL BE LAID WITH A CONSTANT SLOPE BETWEEN TWO SPOT ELEVATIONS. CHANGES IN SLOPE SHALL BE ACCOMPLISHED IN A GRADUAL MANNER. ALL LANDSCAPE SHALL SLOPE AWAY FROM BUILDINGS AT 1% SLOPE UNLESS NOTED OTHERWISE ON DRAWINGS.
5. NEW CONCRETE PAVING SHALL MATCH EXISTING IN COLOR AND TEXTURE, UNLESS NOTED OTHERWISE ON DRAWINGS.
6. IT IS RECOMMENDED THAT THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED GEOTECHNICAL ENGINEER TO PERFORM NECESSARY TESTING AND INSPECTIONS FOR QUALITY CONTROL TO ENSURE THAT THE REQUIREMENTS REFERENCED ARE COMPLIED WITH.
7. THE LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED IN THE DRAWINGS.
8. ALL STEEL SURFACES SHALL BE CLEAN AND FREE OF OILS, BURRS, WELD RESIDUE AND OTHER DELETERIOUS MATERIALS PRIOR TO FINISHING.
9. CONTRACTOR SHALL PROVIDE COMPLETE SHOP DRAWINGS BASED ON FIELD DIMENSIONS, FOR ALL STEEL ELEMENTS PRIOR TO CONSTRUCTION, FOR REVIEW BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUBMIT FINISH SAMPLE FOR REVIEW BY OWNER AND/OR LANDSCAPE ARCHITECT.
10. MEMBER SIZES INDICATED ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL ENGINEER FOR STRUCTURAL INTEGRITY. FIELD VERIFY DIMENSIONS OF ADJACENT AND ADJOINING WORK. REPORT ANY DISCREPANCIES TO OWNER AND/OR LANDSCAPE ARCHITECT.
11. WELD CONNECTIONS CONTINUOUS AND SOLID. REMOVE ANY SPLATTER AND SLAG AND GRIND WELDS SMOOTH. PREPARE SURFACE FOR PAINTING TO CLEAN, SMOOTH, AND FREE OF OBJECTIONABLE MATERIAL. WASH, STEAM CLEAN, SANDBLAST, OR WIRE BRUSH TO BASE METAL.
12. BOLTS TO BE CADMIUM PLATED OR STAINLESS STEEL.
13. CAP EXPOSED ENDS OF TUBING.
14. REINFORCING MARKED "CONTINUOUS" MAY BE SPLICED WITH A LAP OF 30 BAR DIAMETERS (2'-0" MINIMUM) IN CONCRETE, 40 BAR DIAMETERS (2'-6" MINIMUM IN MASONRY), UNLESS NOTED OTHERWISE.
15. ALL REINFORCING SHALL BE SUPPORTED IN CONFORMANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE STRUCTURES" LATEST EDITION.
16. REINFORCING SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS OTHERWISE INDICATED:
 - A. WALLS @ 1-1/2"
 - B. FORMED SURFACE IN CONTACT WITH EARTH @ 2"
 - C. SURFACE DEPOSITED DIRECTLY AGAINST EARTH @ 3"
19. ANY DOWELS USED SHALL BE EQUAL IN SIZE AND SPACING TO VERTICAL BARS.
17. MASONRY UNITS: SHALL BE GRADE "N" TYPE I CONFORMING TO LATEST ASTM STANDARD SPECIFICATION C-90 AND MANUFACTURED IN ACCORDANCE WITH "CONCRETE MASONRY ASSOCIATION" STANDARDS. SPECIALTY BLOCK SHALL BE AS NOTED ON PLANS.
18. MORTAR: SHALL BE TYPE S, CONFORMING TO ASTM C270, WITH A 28 DAY COMPRESSIVE STRENGTH OF 1800 PSI.
19. GROUT: FRESHLY PREPARED AND UNIFORMLY MIXED. GROUT SHALL BE COMPOSED BY VOLUME OF 1 PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND, TO WHICH MAY BE ADDED NOT MORE THAN ONE-TENTH PART LINE. WATER SHALL BE ADDED TO PRODUCE CONSISTENCY FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENTS. GROUT SHALL ATTAIN A COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
20. PORTLAND CEMENT: SHALL BE TYPE II AND CONFORM TO LATEST ASTM STANDARD SPECIFICATION C-150.
21. WATERPROOF ALL MASONRY BELOW GRADE.

[illegible][illegible]

HARDSCAPE KEYNOTES

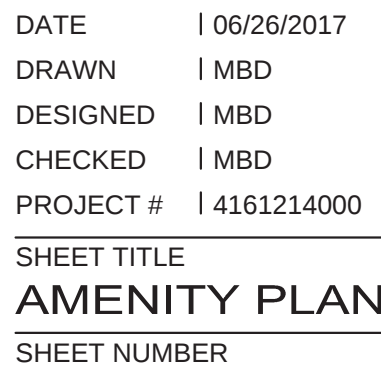
- 1 DRAINAGE EASMENT, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 2 LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 3 6' x 4" CONCRETE HEADER, REFER TO DETAIL 6 / L1.11
- 4 4' x 10' x 4" CONCRETE PAD (TEE BOX)
- 5 LIGHTING, TYP. REFER TO OPEN SPACE ELECTRICAL PLANS PREPARED BY WRIGHT AND ASSOCIATES.

 ALL OPEN SPACE SIDEWALKS - NATURAL GRAY CONCRETE w/ ALTERNATING HEAVY BROOM FINISH & 6" SHINER (TROWEL FINISH) BORDER. REFER TO DETAIL 8.1/L.11.

 STABILIZED ROCK TRAIL, REFER TO LANDSCAPE MATERIAL SCHEDULE & DETAIL 7.1/L.11. MAX. 5% RUNNING SLOPE & 2% CROSS SLOPE. MAX. 1/4" VERTICAL DIFFERENCE BETWEEN ADJACENT CONCRETE HEADER OR ANY OTHER ADJACENT PAVED SURFACE.

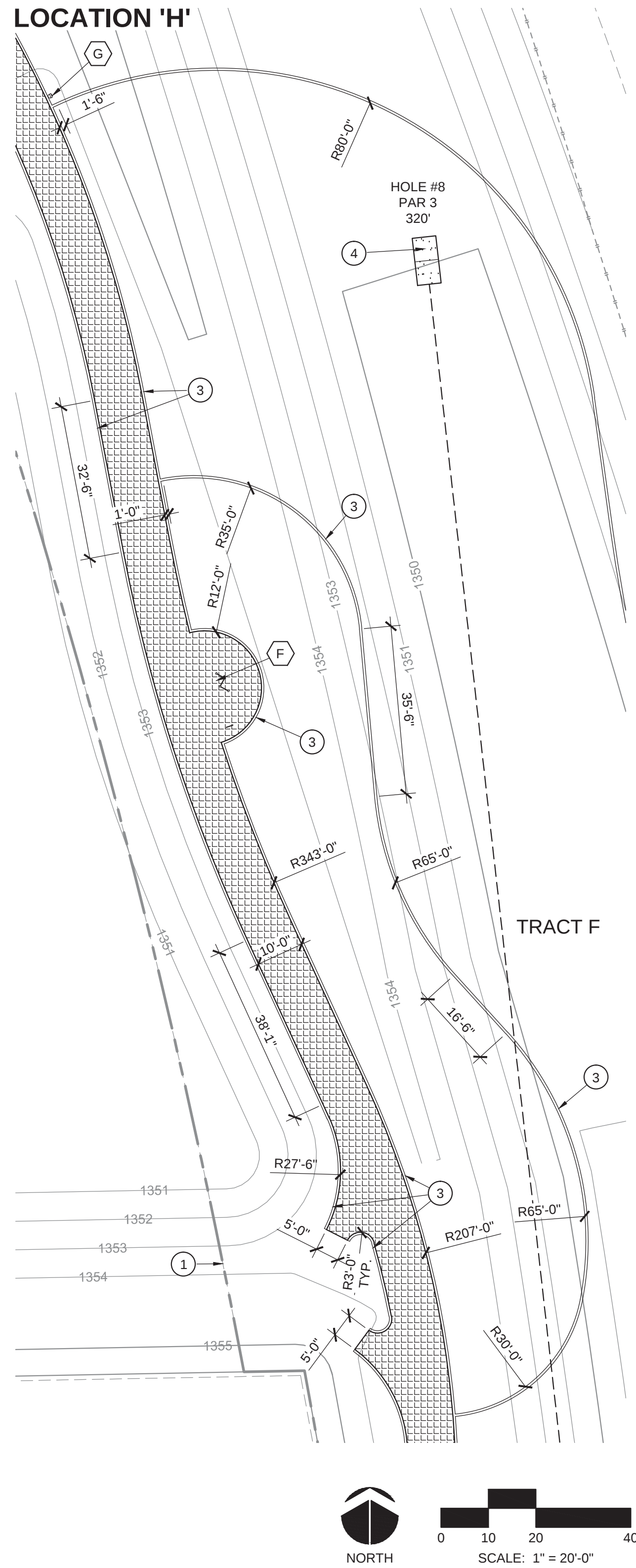
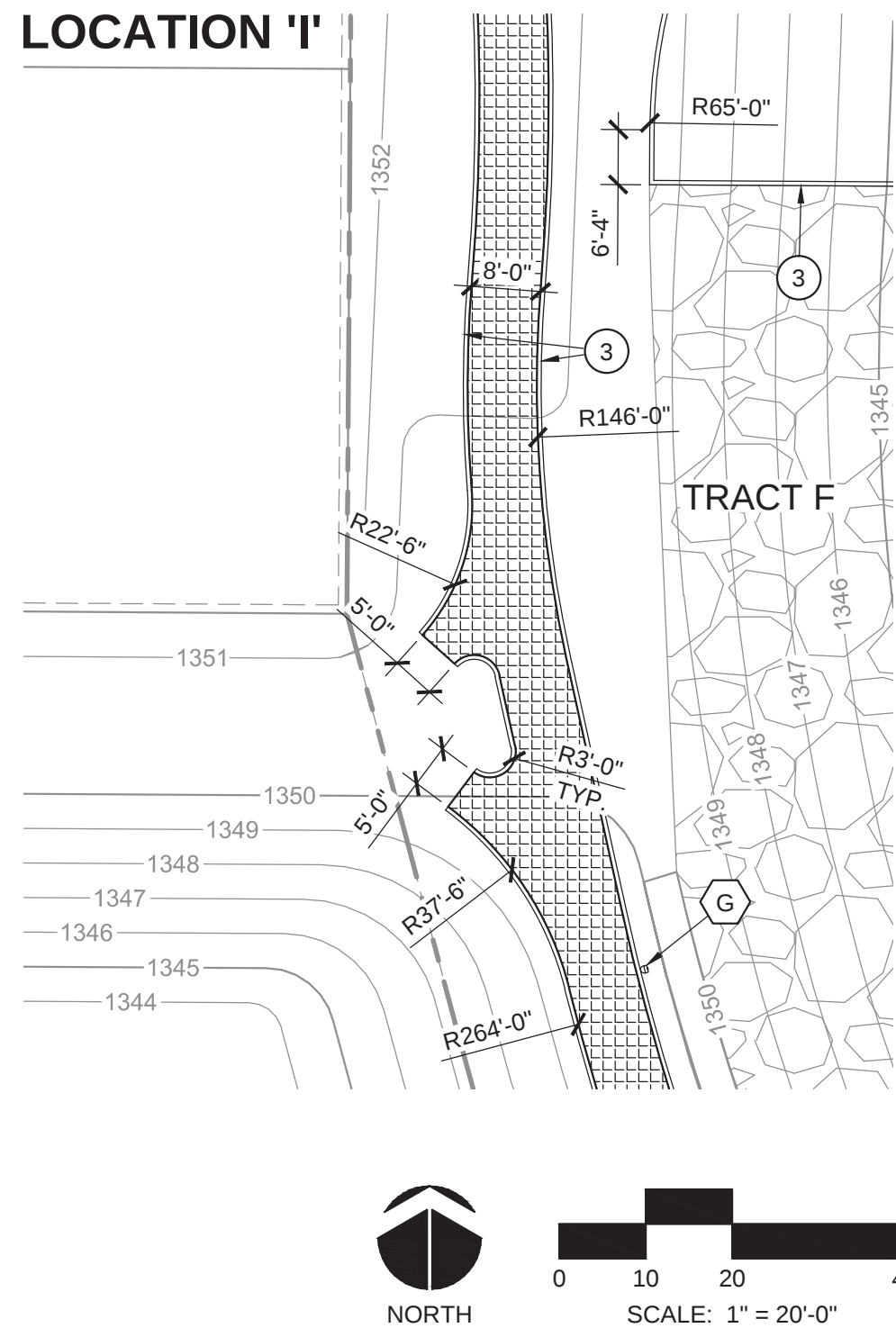
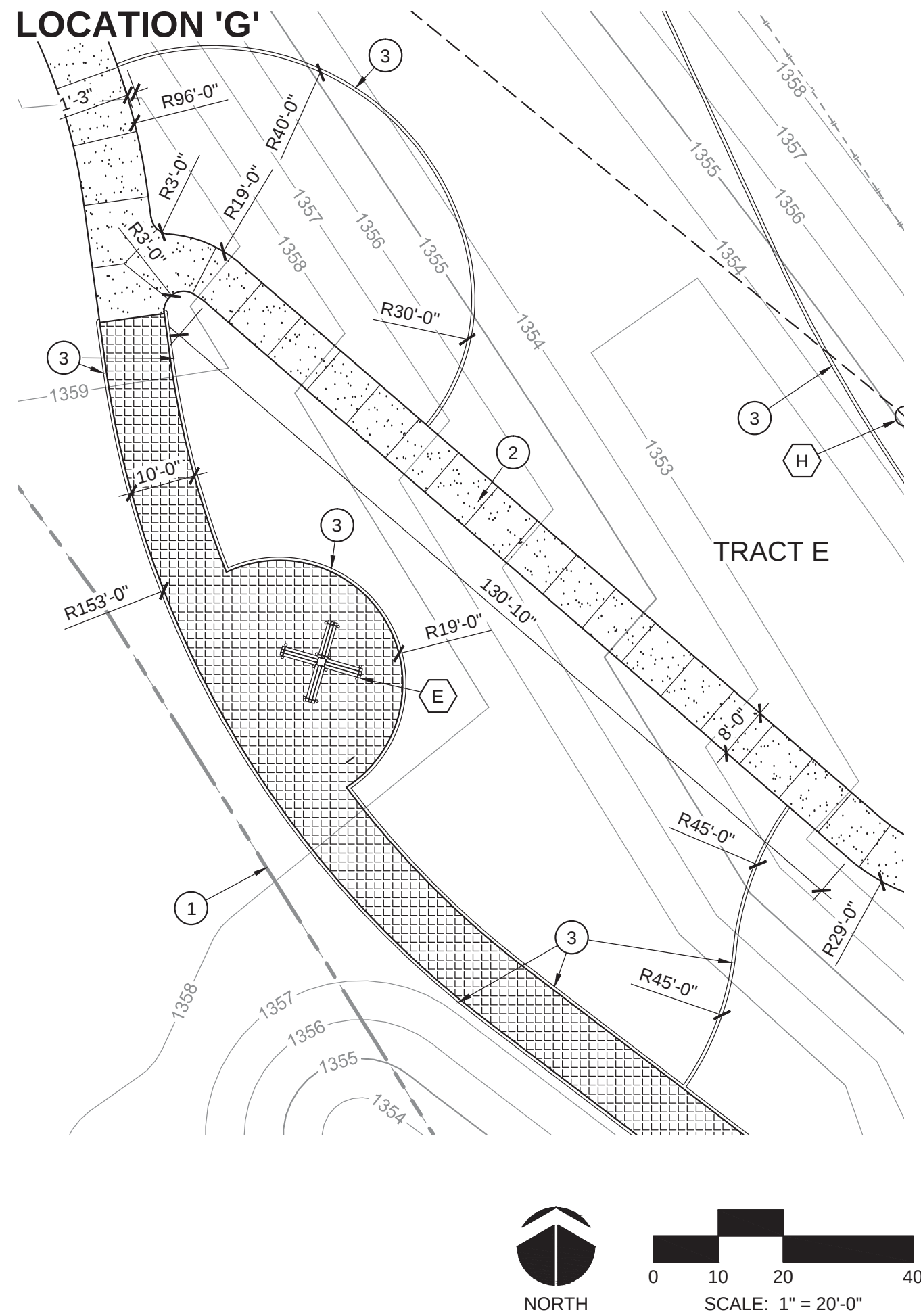
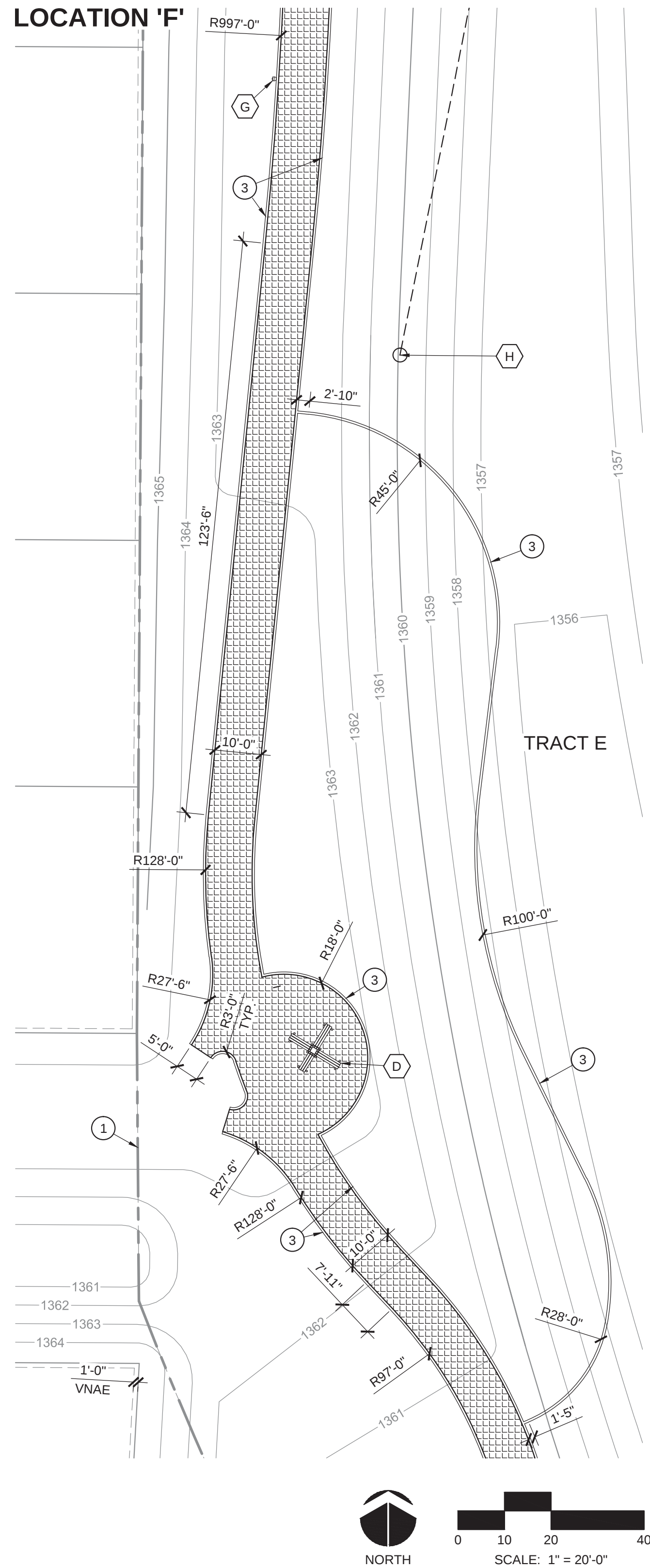
LANDSCAPE CONSTRUCTION DOCUMENTS
VERDUGO - DRAINAGE CHANNEL
VERDUGO LAND, L.L.C.
SURPRISE, AZ

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L3.01
OF 25 SHEETS

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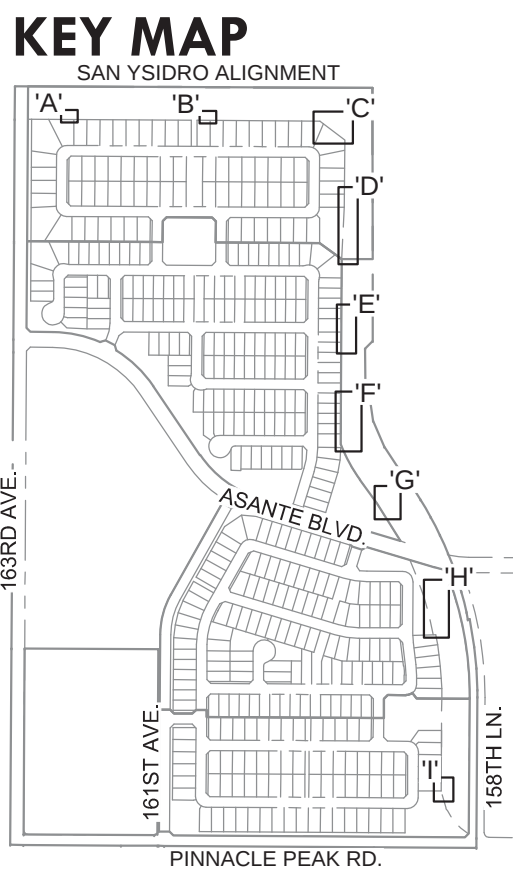
AMENITY SCHEDULE		
A	ITEM QUANTITY COLOR	FITNESS STATION 1 1
	SPECIFICATIONS	'EVERGREEN' POSTS & GRAPHIC FRAME w/ 'COFFEE TAN' CROSS MEMBERS (GREEN GRAPHIC PANEL) PIPELINE 'ARM STRETCH' (MODEL #9708-03) - INSTALL PER MRF'S SPEC'S.
	MANUFACTURER	TIMBERFORM - www.timberform.com (1.800.426.9788)
B	ITEM QUANTITY COLOR	FITNESS STATION 2 1
	SPECIFICATIONS	'EVERGREEN' POSTS & GRAPHIC FRAME w/ 'COFFEE TAN' CROSS MEMBERS (GREEN GRAPHIC PANEL) PIPELINE 'BODY PULL' (MODEL #9710-03) - INSTALL PER MRF'S SPEC'S.
	MANUFACTURER	TIMBERFORM - www.timberform.com (1.800.426.9788)
C	ITEM QUANTITY COLOR	FITNESS STATION 3 1
	SPECIFICATIONS	'EVERGREEN' POSTS & GRAPHIC FRAME w/ 'COFFEE TAN' CROSS MEMBERS (GREEN GRAPHIC PANEL) PIPELINE 'SIT UP' (MODEL #9713-03) w/ SODFEK BENCHES - INSTALL PER MRF'S SPEC'S.
	MANUFACTURER	TIMBERFORM - www.timberform.com (1.800.426.9788)
D	ITEM QUANTITY COLOR	FITNESS STATION 4 1
	SPECIFICATIONS	'EVERGREEN' POSTS & GRAPHIC FRAME w/ 'COFFEE TAN' CROSS MEMBERS (GREEN GRAPHIC PANEL) PIPELINE 'BODY TUCK' (MODEL #9709-03) w/ SODFEK BENCHES - INSTALL PER MRF'S SPEC'S.
	MANUFACTURER	TIMBERFORM - www.timberform.com (1.800.426.9788)
E	ITEM QUANTITY COLOR	FITNESS STATION 5 1
	SPECIFICATIONS	'EVERGREEN' POSTS & GRAPHIC FRAME w/ 'COFFEE TAN' CROSS MEMBERS (GREEN GRAPHIC PANEL) PIPELINE 'TOE REACH' (MODEL #9702-03) w/ SODFEK BENCHES - INSTALL PER MRF'S SPEC'S.
	MANUFACTURER	TIMBERFORM - www.timberform.com (1.800.426.9788)
F	ITEM QUANTITY COLOR	FITNESS STATION 6 1
	SPECIFICATIONS	'EVERGREEN' POSTS & GRAPHIC FRAME w/ 'COFFEE TAN' CROSS MEMBERS (GREEN GRAPHIC PANEL) PIPELINE 'PUSH OFF' (MODEL #9714-03) - INSTALL PER MRF'S SPEC'S.
	MANUFACTURER	TIMBERFORM - www.timberform.com (1.800.426.9788)
G	ITEM QUANTITY COLOR	PET WASTE STATION (6 TOTAL) 6 GREEN
	SPECIFICATIONS	ONE PULL BAG SYSTEM & ROUND MESH WASTE CAN (MODEL #DEPOT-222-B) - INSTALL PER MRF'S SPEC'S.
	MANUFACTURER	DOG WASTE DEPOT - www.dogwastedepot.com SEE PLANTING PLANS FOR ALL LOCATIONS. (800.678.1612)
H	ITEM QUANTITY COLOR	DISC GOLF BASKET / HOLE 9 STANDARD (GALVANIZED STEEL)
	SPECIFICATIONS	MACH II DISC GOLF BASKET w/ IN-GROUND INSTALL & NUMBER PLATE CONVERSION KIT, BASIC COLOR TEE SIGN (6' x 10') TO BE INCLUDED AT THE TEE BOX. SEE PLANTING PLANS FOR ALL LOCATIONS.
	MANUFACTURER	DISC GOLF ASSOCIATION (DGA) - www.discgolf.com (831.722.6037)

HARDSCAPE KEYNOTES

- ① DRAINAGE EASMENT, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- ② LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- ③ 6" x 4" CONCRETE HEADER, REFER TO DETAIL 6 / L1.11
- ④ 4' x 10' x 4" CONCRETE PAD (TEE BOX)
- ⑤ LIGHTING, TYP. REFER TO OPEN SPACE ELECTRICAL PLANS PREPARED BY WRIGHT AND ASSOCIATES.

PAVING SCHEDULE

-  ALL OPEN SPACE SIDEWALKS - NATURAL GRAY CONCRETE w/ ALTERNATING HEAVY BROOM FINISH & 6" SHINER (TROWEL FINISH) BORDER. REFER TO DETAIL 8/L1.11.
-  STABILIZED ROCK TRAIL, REFER TO LANDSCAPE MATERIAL SCHEDULE & DETAIL 7/L1.11. MAX. 5% RUNNING SLOPE & 2% CROSS SLOPE. MAX. 1/4" VERTICAL DIFFERENCE BETWEEN ADJACENT CONCRETE HEADER OR ANY OTHER ADJACENT PAVED SURFACE.



3RD SUBMITTAL



**DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND**

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 W. Falcon St.
Luke AFB AZ 85309-1629

3 November 2016

Ms. Jamie Sullivan
Planning Project Coordinator
City of Surprise Planning Department
16000 N. Civic Center Plaza
Surprise AZ 85374

Re: FS16-471, 472, 473, 474, 475, 476, 477; Verdugo Master Plan, Modifications and Parcels 1, 2, 3, & 4

Dear Ms. Sullivan

Thank you for the opportunity to provide comments on the Final Master Plat, modifications and Parcels 1, 2, 3 and 4 Final Plat applications for the Verdugo Master Plat. The site is located on 173-acres at the northeast corner of 163rd Avenue and Pinnacle Peak Road in Surprise AZ. The development is proposing 629 single-family residential lots for a gross density of 3.63 dwellings units per acres. The site is located approximately 3 ¼ miles from Luke AFB Auxiliary Field #1 2004 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport," for Luke AFB, also defined by A.R.S. § 28-8461.

In an effort to promote a more compatible co-existence Luke AFB follows the guidelines in the Graduated Density Concept (GDC). The GDC proposes, in the absence of a more restrictive state, county or municipal general or comprehensive plan, graduating densities away from the 65 Ldn as follows: a maximum of 2 du/acre from the 65 Ldn to 1/2 mile, a maximum of 4 du/acre from 1/2 mile to 1 mile and a maximum of 6 du/acre from 1 to 3 miles. The Verdugo Master Plat with and overall density of 3.63 du/ac meets these guidelines.

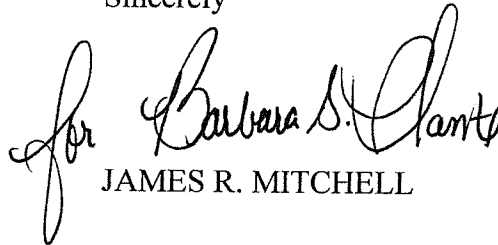
Parcels 1-4 cover 121.37 acres and make up 409 single-family lots of the overall master plan. Parcel 1 is 22.15 acres with 73 lots for a density of 3.3 du/ac; Parcel 2 is 29.15 acres with 117 lots for an overall density of 4.01 du/ac; Parcel 3 is 37.86 acres with 141 lots for an overall density of 3.72 du/ac and Parcel 4 is 23.21 acres which will consist of 78 lots for a 3.36 du/ac.

As described in the narratives, this development will not negatively impact the flying operation at Luke AFB. Since Verdugo will be located within the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights a day, with some as low

as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant would be essential to inform potential residents about Luke AFB operations.

If there are any questions, please contact my Community Planner, Ms. Barbara Plante, at (623) 856-9981.

Sincerely

for Barbara S. Plante
JAMES R. MITCHELL

cc:

Colonel David G. Shoemaker, Vice Commander, 56th Fighter Wing

Ms. Cindy L. Calderon, GS-13, General and Environmental Law Attorney, 56th Fighter Wing

Sergio Angulo

From: Vanessa Nunez <VNunez@azdot.gov>
Sent: Tuesday, November 01, 2016 11:07 AM
To: Jamie Sullivan
Cc: Bob Patoni; Dennis Haley
Subject: Verdugo Electronic Submittals
Attachments: FS16-471 Vergugo Master Plat Electronic Submittal; FS16-472 Vergugo MOD Pinnacle Peak Electronic Submittal; FS16-473 Vergugo MOD 163rd Ave Electronic Submittal; FS16-474 Vergugo MOD Asante Blvd Electronic Submittal; FS16-475 Vergugo Parcel 1 Electronic Submittal; FS16-476 Vergugo Parcel 2 Electronic Submittal; FS16-477 Vergugo Parcel 3 Electronic Submittal; FS16-478 Vergugo Parcel 4 Electronic Submittal

RE: FS16-471; FS16-472; FS16-473; FS16-474; FS16-475; FS16-476; FS16-477; FS16-478
Verdugo Master Plat; Verdugo MOD Pinnacle Peak; Verdugo MOD 163rd Ave; Verdugo MOD Asante Blvd;
Verdugo Parcel 1; Verdugo Parcel 2; Verdugo Parcel 3; Verdugo Parcel 4
NEC of 163rd Ave & Pinnacle Peak Rd

Attn: Jamie Sullivan

Thank you for your notices for the above-referenced development.

After review, the development location is more than 1/4 mile from any ADOT proposed or existing highway facilities. As such, ADOT has no comment.

Please feel free to contact Bob Patoni at BPatoni@azdot.gov should you have any further questions. We appreciate the opportunity to review and comment. Thank you.

Vanessa Nuñez

Administrative Assistant II

205 South 17th Avenue
MD 612E, Room 302
Phoenix, Arizona 85007-3212
602.712.7184

www.azdot.gov



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Sergio Angulo

From: Leslie Jarrell <LeslieJ@mwdaz.com>
Sent: Tuesday, April 04, 2017 1:18 PM
To: Jamie Sullivan
Cc: Daniel Pottinger, Cardno; Glen Vortherms; Chris Cain; Don Breeding
Subject: Verdugo Development - MWD Beardsley Canal Potential Impact

Jamie,

MWD has had a chance to review the grading and drainage improvement plans for the Verdugo Development and MWD has approved them, therefore, no further drawings are required.

Thank you,

Leslie Jarrell
Property & Contracts Specialist
Maricopa Water District
14825 W. Grand Avenue
Surprise, AZ. 85374
Phone: (623)546-8266 Ext. 204
Fax: (623)584-2536
E-mail: lesliej@mwdaz.com

From: Jamie Sullivan [<mailto:Jamie.Sullivan@surpriseaz.gov>]
Sent: Wednesday, February 08, 2017 2:03 PM
To: Leslie Jarrell <LeslieJ@mwdaz.com>
Cc: Chris Cain <ChrisC@mwdaz.com>
Subject: RE: Verdugo Development & Altamira Development - MWD Beardsley Canal Potential Impact

Thanks Leslie – I will pass on to the applicant for each project.

Jamie Sullivan
Planning Project Coordinator
16000 N Civic Center Plaza
Surprise, AZ 85374
623.222.3099
jamie.sullivan@surpriseaz.gov

From: Leslie Jarrell [<mailto:LeslieJ@mwdaz.com>]
Sent: Wednesday, February 08, 2017 1:00 PM
To: Jamie Sullivan
Cc: Chris Cain
Subject: Verdugo Development & Altamira Development - MWD Beardsley Canal Potential Impact

Jamie,

On July 19, 2016, Maricopa Water District (MWD) received the attached City of Surprise Notification for the Verdugo development and MWD originally responded that this was a *No Impact*, however, as a result our review of the Verdugo Drainage Report, prepared by Cardno dated October 20, 2016, which was submitted to us for the Altamira Development, MWD has determined that it could possibly affect the Beardsley Canal. Therefore, the developers for Verdugo and Altamira will need to provide copies of drainage and grading improvement plans to MWD for review and approval pursuant to the attached *MWD Drawing Requirements*, along with the payment of the applicable plan review fees pursuant to the attached *MWD Fees & Payment Schedule*.

Upon our review of the above mentioned improvement plans once they are provided by the developers, MWD will copy the City on our approval and/or comments.

Thank you.

Leslie Jarrell
Property & Contracts Specialist
Maricopa Water District
14825 W. Grand Avenue
Surprise, AZ. 85374
Phone: (623)546-8266 Ext. 204
Fax: (623)584-2536
E-mail: lesliej@mwdaz.com

City Hall offices open at 8 a.m. and close at 5 p.m. Monday through Friday. More info at www.surpriseaz.gov.

This e-mail and any accompanying files transmitted are intended solely for the use of the individual or entity to whom they are addressed; if you have received this e-mail in error please delete it and notify the sender. In addition, under Arizona law, e-mail communications and e-mail addresses may be public records.

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08 Feb 2017 21:03:35 -0000

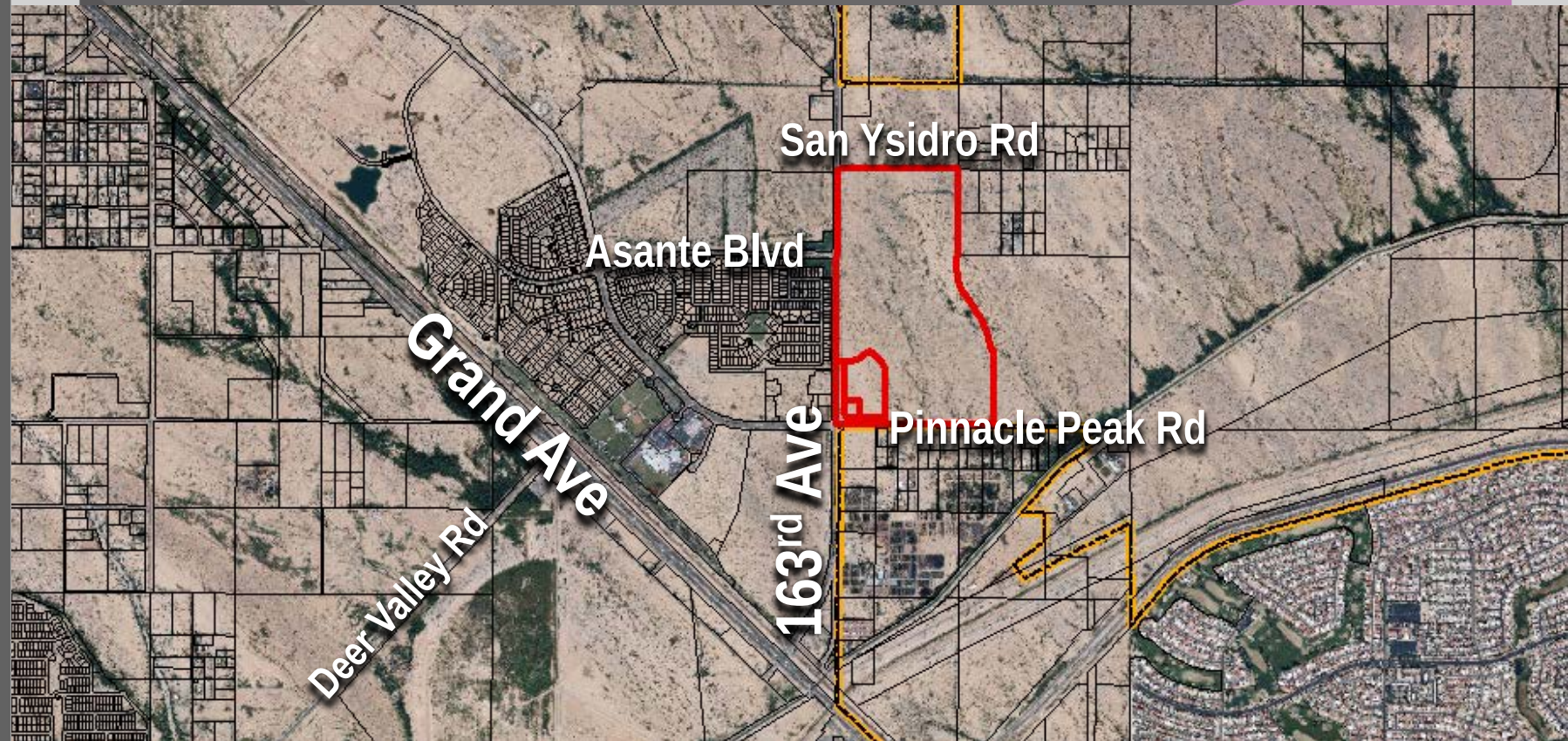


SURPRISE
ARIZONA

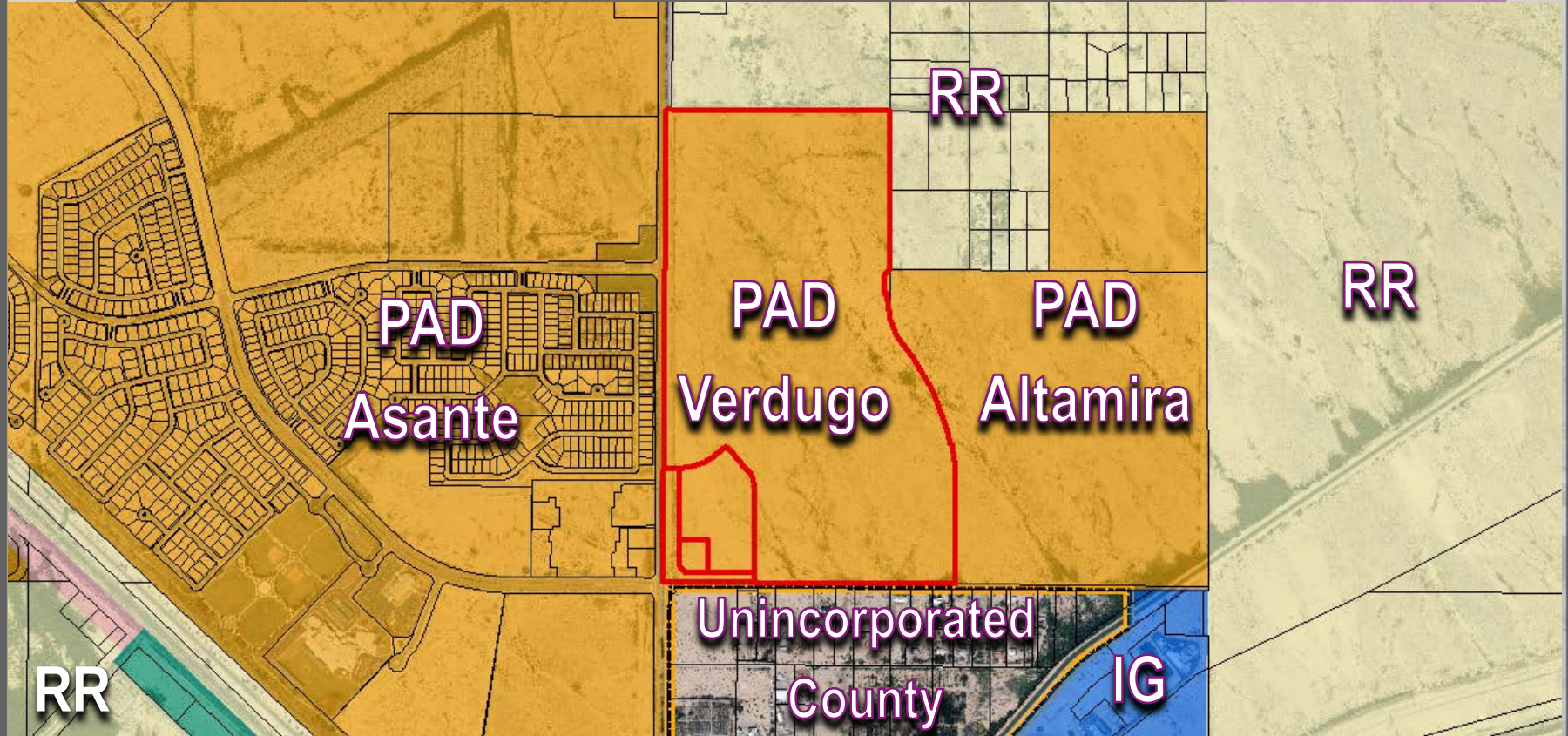
FS16-471
Verdugo
Master Plat

City Council
October 3, 2017

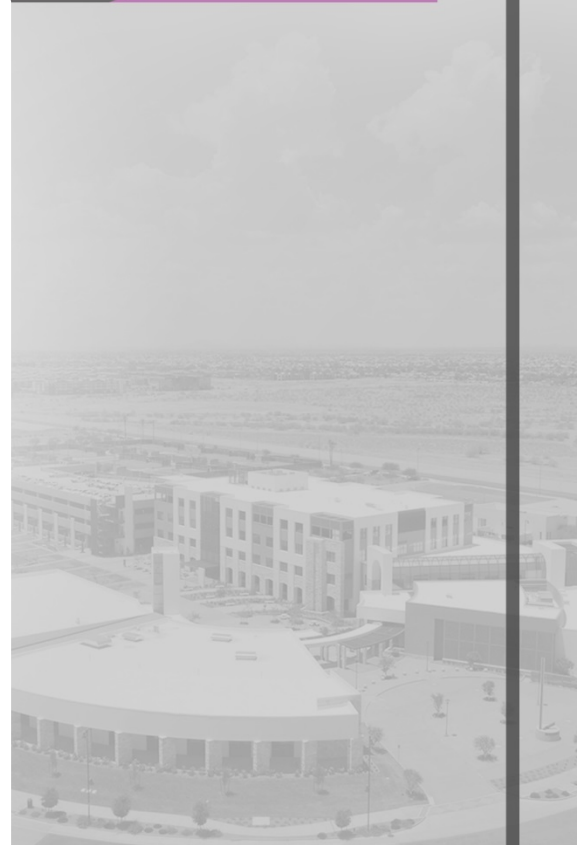
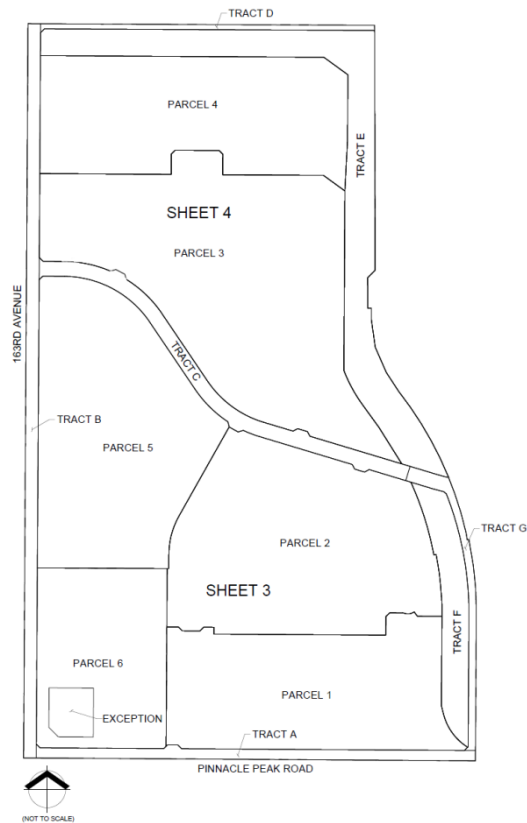
VICINITY MAP



Surrounding Zoning



Master Plat



[illegible]

APN 503-57-008A
HUEY, RICHARD G. & IRENE ETAL
PUB. 03/26/2004 04:24 PM

342A
A 5R
3710649,

APN 503-57-010N
CAMPION CERAM TILE

-042B
ABETH

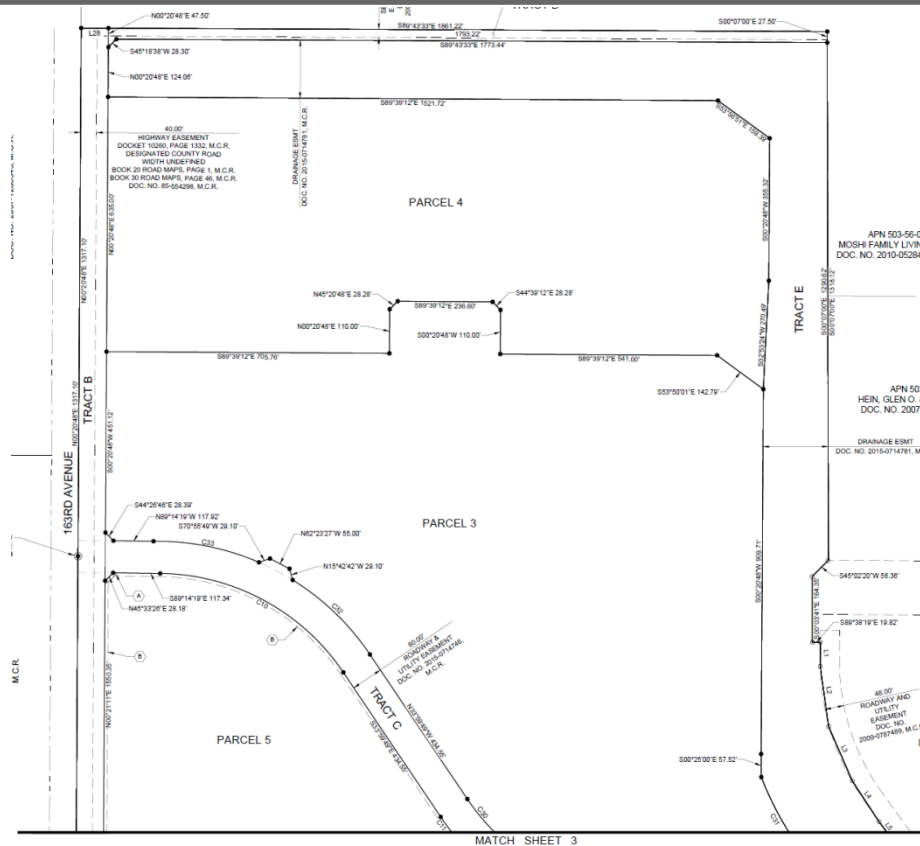
043A
LAURA
1208137

APN 503-57-010L
MIDWOOD, KAREI

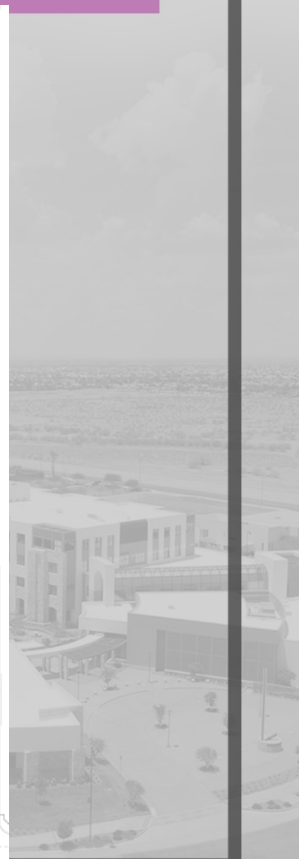
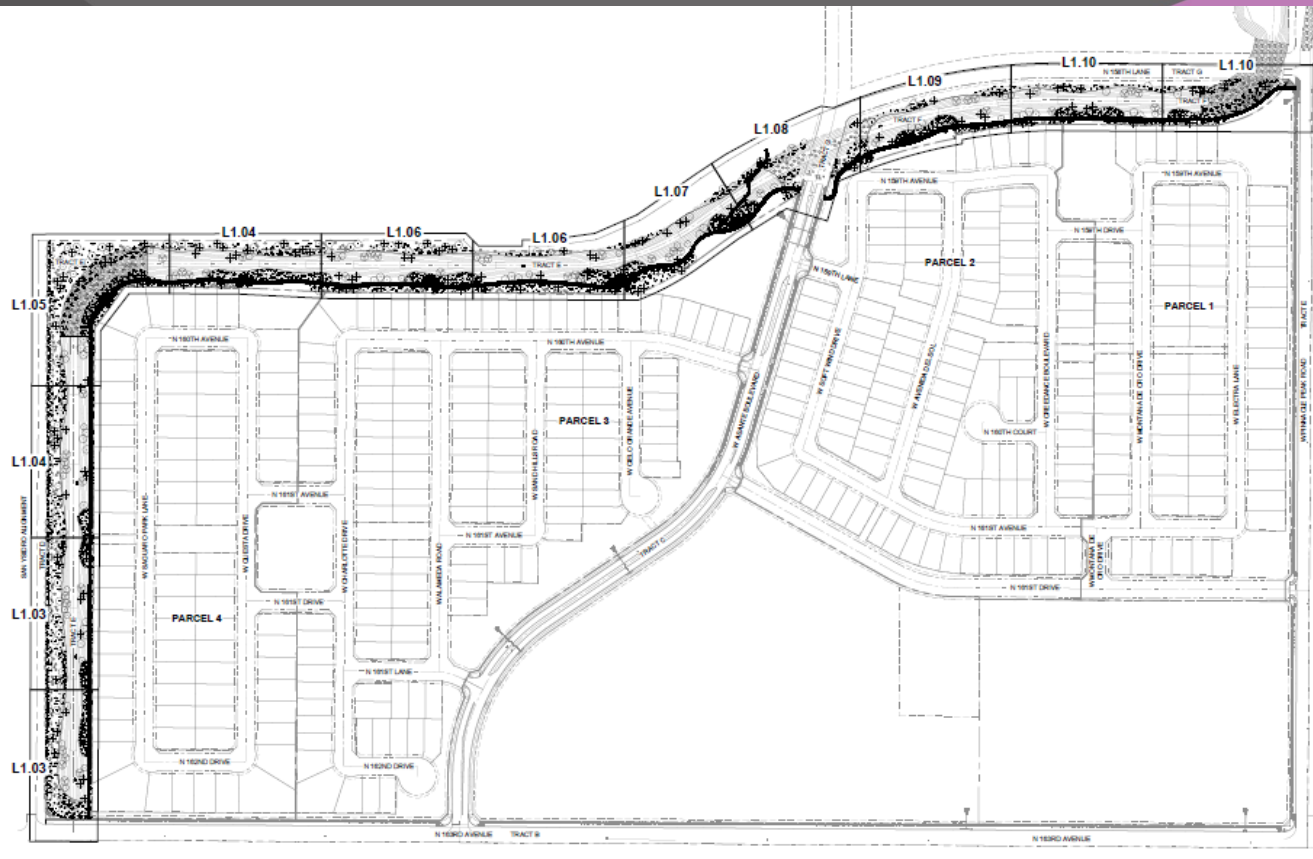
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ANV B.8.

LWB & 50000

05
MIRO[illegible]



Landscape





Compliance

- Consistent with the Surprise General Plan 2035
 - Consistent with the Verdugo PAD
 - Consistent with the approved Preliminary Plat
 - Consistent with the Municipal Code
- 



SURPRISE
ARIZONA

**QUESTIONS OR
COMMENTS?**

Thank You



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date:	October 3, 2017	Contact Person:	Robert Kuhfuss - Community Development
Submitting Department:	CD	District:	3
Staff Recommendations:	None		

Consent	Regular	Public Hearing	x	Report/Discussion
---------	---------	----------------	---	-------------------

Agenda Wording:

Consideration and action on a rezone of approximately 10 acres from Residential Ranch (RR) to Residential Medium Density with Planned Unit Development (RM-9 PUD), generally located at the southeast corner of 175th Avenue and Sweetwater Road; Ordinance # 2017-02.

Motion:

I move to approve Ordinance # 2017-02.

Background:

Mark Reddie of LVA Urban Design Studio, on behalf of A & B Investments, Inc. requests approval of a rezone from Residential Ranch (RR) to Medium Density Residential (RM-9) with a PUD Overlay to allow deviations from the base development standards. The subject request involves the rezoning of approximately 10 acres of recently incorporated land from Residential Ranch (RR) to RM-9 with a PUD Overlay to allow modifications from the base development standards. These modifications relate to minimum lot width, minimum lot area, minimum lot depth, and rear yard setback, in addition to the deletion of the traffic circle requirement at the ends of the cul-de-sacs, the separation distance between cul-de-sacs and adjacent streets, as well as the area and width of residential driveways. The project will provide ample open space and amenities, and will cap at 5.0 D.U./Ac. as opposed to 9 D.U./Ac., which would normally be the case with RM-9 zoning. The Planning and Zoning Commission heard the original rezone case involving this property on January 5, 2017 in conjunction with the Magnolia project. On February 7, 2017, the City Council remanded the subject case, together with the Magnolia case, and their respective Preliminary Plats back to the Commission at the applicant's request. Since that time, the various owners of the previous land assemblage have been working to bring forth revised submittals independently. The subject case is the first of those revised submittals. Staff notes that while the original FS16-931 submittal included both a Zone Change request and Preliminary Plat, the subject request only includes a Zone Change request. The related Preliminary Plat will be presented at a later date under a separate case number.

Objective Analysis:

The subject zone change request contemplates a change from RR to RM-9 PUD. Unlike typical "PAD"

zoning, the subject request falls under the current SUDC. As such, the uses associated with each of the proposed zoning districts are per Section 122-43 of the SUDC. The proposed PUD Overlay, however, will allow certain deviations from the development standards as specified in the SUDC. The 175th & Sweetwater project is well designed and is consistent with the General Plan and SUDC. The proposed development standards requested under the PUD Overlay will allow the applicant to develop the site in a creative manner in keeping with the intent of the SUDC. The proposed zone change is consistent with the Surprise General Plan 2035 and the proposed development standards will allow the property to be reasonably developed in a manner consistent with the listed companion cases.

Policy Compliant:

The Surprise General Plan 2035 shows the subject property as lying within the Neighborhood Character Area, which supports residential development of up to 8 DU/Ac or more, provided appropriate transitions are made between the various Neighborhood types included within the character area. The subject proposal contemplates up to 50 dwelling units, which equates to approximately 5.0 DU/Ac. As such the proposed zoning most closely aligns with the Suburban Neighborhood type and is consistent with the General Plan.

Financial Impact:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

Budget Impact:

There is no anticipated budget impact related to this item.

FTE Impact:

This item does not have an impact on current staff levels.

ATTACHMENTS:

Click to download

- ☐ [00 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Staff Report](#)
 - ☐ [01 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Vicinity Map](#)
 - ☐ [02 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Case Map](#)
 - ☐ [03 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Narrative August 2017](#)
 - ☐ [04 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Public Participation Final Report & Update Excerpt](#)
 - ☐ [05 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Luke AFB Comments](#)
 - ☐ [06 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - ADOT Comments](#)
 - ☐ [07 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - MWD Comments](#)
 - ☐ [08-FS16-391 Ordinance 2017-02 175th and Sweetwater](#)
 - ☐ [09 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Public Engagement Form](#)
 - ☐ [10 - FS16-391 175th & Sweetwater Zone Change, RFLS# 5459 - Presentation](#)
-

ZONE CHANGE

REPORT TO THE CITY COUNCIL

Case: FS16-391

Project Name: 175th & Sweetwater Rezone

Council District: 3

Meeting Date: **October 5, 2017** (remanded to the Planning and Zoning Commission by City Council on February 7, 2017)

Planner: Robert H. Kuhfuss, AICP

Owner: A & B Investments, Inc.

Applicant: Mark Reddie of LVA Urban Design Studio on behalf of A & B Investments, Inc.

Request: Zone change from Residential Ranch (RR) to Medium Density Residential (RM-9) with a PUD Overlay

Site Location: Generally located at the southeast corner of 175th Avenue and the Sweetwater Avenue alignment.

Site Size: 10 acres (approx.)

Density: 5.0 DU/Ac

General Plan Conformance: The proposal is consistent with the Surprise General Plan 2035

Support/Opposition: None known

Commission Recommendation: **Approve**, per staff-recommended stipulations 'a' and 'b'

41 **Introduction:**

42
43 Initially, the applicant sought approval of five (5) separate requests in what was then a county island
44 located in the western portion of Surprise, near Sarah Ann Ranch. Those five requests are listed
45 below:

46
47 Case FS16-391 – 175th & Sweetwater

- 48 • Zone Change from RR to RM-9 PUD
- 49 • Preliminary Plat

50 Case FS16-392 – Magnolia

- 51 • Rezone from RR to RM-6 PUD; from RR to RM-9 PUD; from RH PUD to RM-9 PUD; from RR
52 to RH PUD with Flex Zone; from RR to CR PUD with Flex Zone and from RR to CR PUD.
- 53 • Preliminary Plat

54 Case FS16-427 – Annexation

55
56 The two Zone Change requests and their related Preliminary Plats were presented to the Planning
57 and Zoning Commission, who made a favorable recommendation to the City Council. The City
58 Council approved the annexation on January 17, 2017, but continued the two Zone Change
59 requests and two Preliminary Plats to a date-certain of February 7, 2017 at the applicant's request.
60 During the February 7, 2017 City Council meeting, the applicant informed the Council that due to
61 contractual issues, the collective of projects could not move forward at that time. The Council then
62 remanded two Zone Change requests and two Preliminary Plats back to the Planning and Zoning
63 Commission until such time as the development plans could be revised. Since that time, the various
64 owners of the previous land assemblage have been working to bring forth revised submittals
65 independently. The subject case is the first of those revised submittals. Staff notes that while the
66 original FS16-931 submittal included both a Zone Change request and Preliminary Plat, the subject
67 request only includes a Zone Change request. The related Preliminary Plat will be presented at a
68 later date under a separate case number.

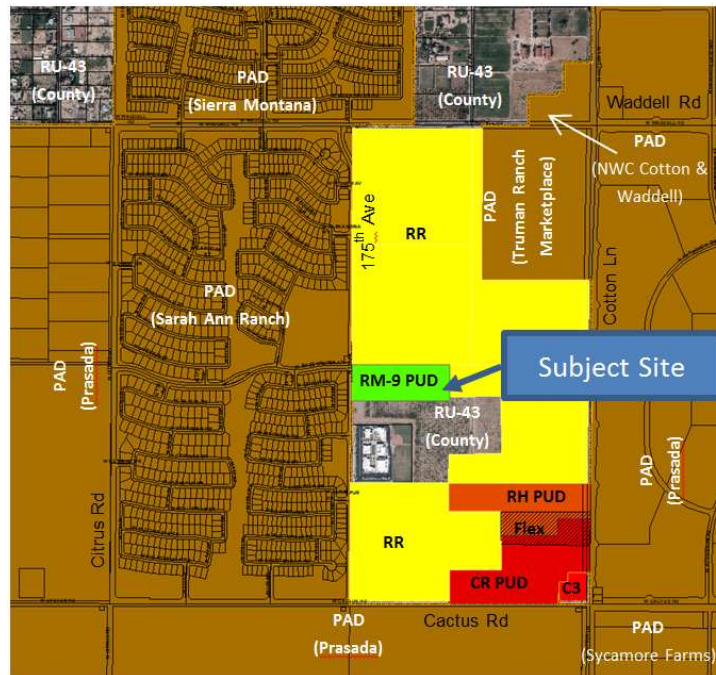
69
70 **Project Description:**

71
72 The subject request involves the rezoning of approximately 10 acres of recently incorporated land
73 from Residential Ranch (RR) to RM-9 with a PUD Overlay to allow modifications from the base
74 development standards. These modifications relate to minimum lot width, minimum lot area,
75 minimum lot depth, and rear yard setback, in addition to the deletion of the traffic circle
76 requirement at the ends of the cul-de-sacs, the separation distance between cul-de-sacs and
77 adjacent streets, as well as the area and width of residential driveways. The project will provide
78 ample open space and amenities, and will cap at 5.0 D.U./Ac. as opposed to 9 D.U./Ac., which
79 would normally be the case with RM-9 zoning.

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82 [Continued following page.]
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Existing Zoning:

The following map and associated chart depict the existing zoning of the subject site and its surrounds.



PAD (Sarah Ann Ranch)	Residential Ranch (RR)	Residential Ranch (RR)
PAD (Sarah Ann Ranch)	Residential Ranch (RR)	Residential Ranch (RR)
PAD (Sarah Ann Ranch)	Rural-43 (County)	Rural-43 (County)

Background:

April 21, 2016: Staff discussed a proposal involving the subject property during a regularly scheduled Concept Review meeting under CR16-171.

July 28, 2016: Staff met with the applicant to discuss the project during a regularly scheduled Concept Review meeting under CR16-305.

August 8, 2016: Staff met with the applicant to discuss annexation logistics.

August 23, 2016: Staff met with the applicant to discuss product design.

September 12, 2016: The applicant filed a request for a Zone Change and Preliminary Plat under case FS16-391. The applicant filed a second request for a companion Zone Change and Preliminary Plat under case FS16-392. The latter also included an annexation request.

September 28, 2016: On behalf of the applicant, staff opened case FS16-427 relating to the annexation of the subject property.

October 19, 2016: The applicant held a neighborhood outreach meeting to discuss the project.

October 31, 2016: Staff met with the applicant to discuss review comments.

November 8, 2016: The applicant filed their second submittal for the subject case.

November 15, 2016: The City Council approved the blank annexation petition relating to the annexation of the subject property as well as other proximal properties under case FS16-427.

December 1, 2016: Staff met with the applicant to discuss the Final Plat relating to the project during a regularly scheduled Concept Review meeting under CR16-511.

December 15, 2016: The Commission continued the case to a date-certain of January 5, 2017 due to an advertising error.

January 5, 2017: The Planning and Zoning Commission recommended approval of the then requested zone change subject to staff-recommended stipulations “a” through “c”.

January 17, 2017: The City Council approved the annexation of the subject property under case FS16-427.

January 17, 2017: The City Council continued the subject request, along with case FS16-392, a companion case, to a date-certain of February 7, 2017 at the applicant’s request.

February 7, 2017: The City Council remanded the subject request, along with case FS16-392, to the Planning and Zoning Commission at the request of the applicant.

June 1, 2017: Staff met with the applicant to discuss a property located at the southeast corner of 175th Avenue and Waddell Road under CR17-232. Said property was previously part of Mangolia

June 29, 2017: Staff met with the applicant to discuss a property located at the southeast corner of 175th Avenue and Waddell Road under CR17-294. Said property was previously part of Mangolia.

July 6, 2017: Staff met with the applicant to discuss a property general located north of Sweetwater Avenue between 175th Avenue and Cotton Lane CR17-312. Said property was previously part of Mangolia.

July 11, 2017: The applicant submitted a revised Preliminary Plat concerning the subject property for review under case FS17-403. Said case is still under review.

August 2, 2017: The applicant held a second neighborhood outreach meeting to discuss the project.

September 7, 2017: The Planning and Zoning Commission recommended approval of the revised zone change request subject to staff-recommended stipulation “a” through “c”

Citizen Outreach:

The site was posted in accordance with the SUDC and state statute. The City of Surprise also sent notices via First Class mail in accordance with the SUDC and state statute. The applicant held a citizen outreach meeting on October 19, 2016, which was well attended. The applicant held a second outreach meeting on August 2, 2017, which was sparsely attended. While staff has received no items of opposition or support for the project, the applicant’s Citizen Participation Final Report indicates one (1) member of the public offered positive feedback and two (2) members of the public offered negative feedback. The summary report also indicated that seven (7) people offered neutral comments and suggestions. The body of the summary report is included as an attachment to this report.

Analysis and Discussion:

The subject zone change request contemplates a change from RR to RM-9 PUD. Unlike typical “PAD” zoning, the subject request falls under the current SUDC. As such, the uses associated with the proposed zoning district are per Section 122-43 of the SUDC. The proposed PUD Overlay, however, will allow certain modifications to the development standards as specified in the SUDC. The following table as taken from the zoning narrative expresses the proposed residential development standards applicable to the site. Those items expressed in red font deviate from the base standard. Also of note is a footnote which serves to clarify how the front setbacks are to be applied.

[Continued following page.]

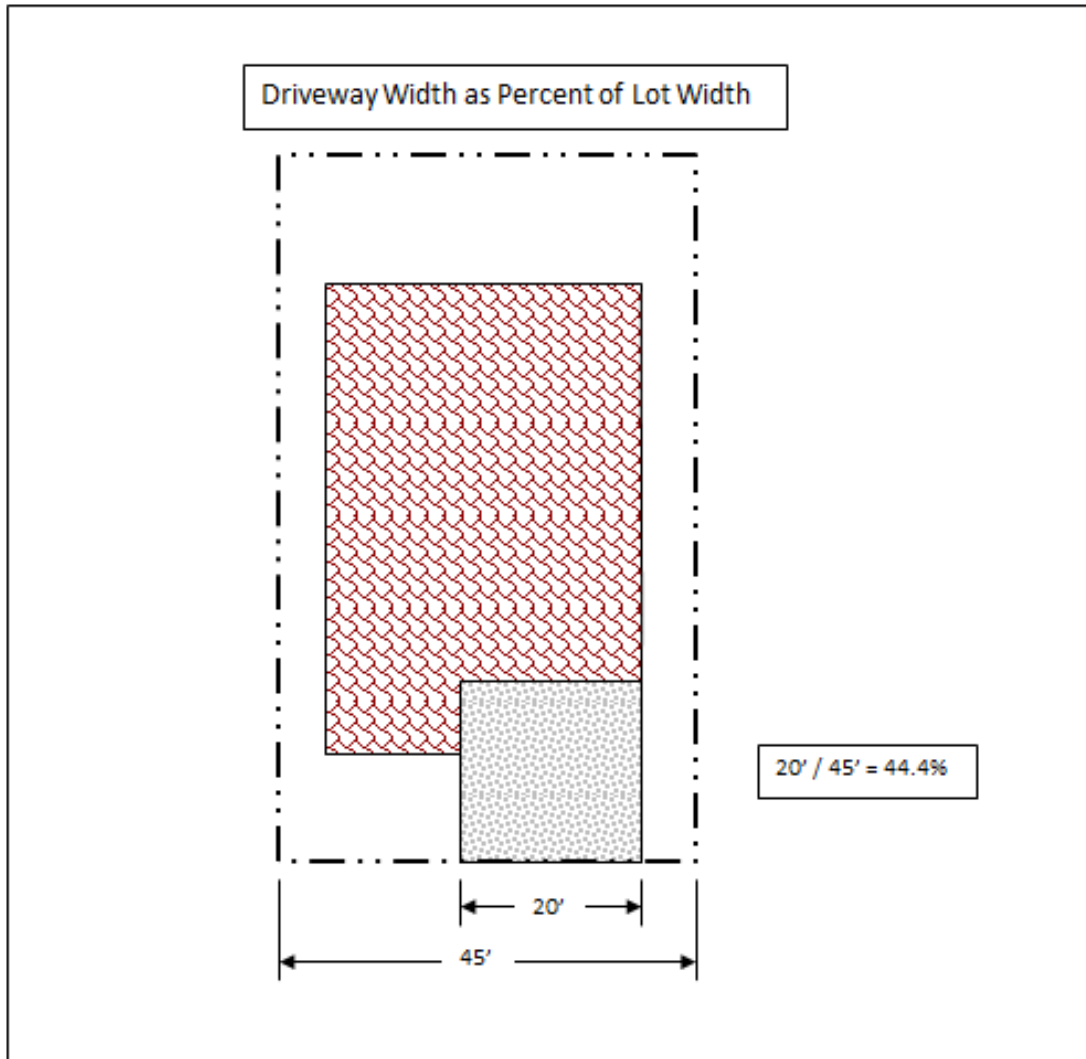
Table 1: RM-9 PUD Development Standards

Development Standard	RM-9 City Base Standard	Proposed RM-9 PUD Standard
Maximum Number of Units	N/A	50
Maximum Density	9.0	5.0
Minimum Lot Area (sf)	4,500	4,000
Minimum Lot Width (ft)	40	45
Minimum Lot Depth (ft)	100	90
Minimum Front Yard Setback (ft) (1)	12/20	12/20
Minimum Side Yard Setback (ft)	to be determined	5
Minimum Rear Yard Setback (ft)	20	15
Maximum Building Height (ft)	35	35
Footnotes:		
(1) Front facing garages shall have a minimum 20-foot front yard setback. Livable space, front porches, courtyards, and side entry garage shall have a minimum 12 foot setback.		

The base zoning will be RM-9, which would allow up to 9 dwelling units per acre (DU/Ac); however, through the PUD Overlay, the developer proposes not more than 50 dwelling units over approximately 10 acres for a gross density of 5.00 DU/Ac. While RL-5 might be closer to the proposed density, the development standards associated with the RM-9 zoning district are more in line with the proposed development, with certain modification as articulated in the preceding table. In addition to the modification to the base development standards, the proposed PUD Overlay will reduce the separation distance between the end of a cul-de-sac and an adjacent street from 150 feet to 30 feet, and delete the requirement for a landscape circle in the cul-de-sac.

Also, there is a provision in the current SUDC which limits the width of a residential driveway to 30% of the lot's width. The proposed minimum lot width is 45', which will only allow for a 13.5' wide driveway if held to the 30% rule. Since a typical garage is 20' wide, increasing the allowable driveway width from 30% to some higher number make sense. A standard garage door is 16' wide. Adding an additional 2' on each brings the width of the driveway to 20', which would be 44.4% of the width of a 45' wide lot. Rounding up, this becomes 45%.

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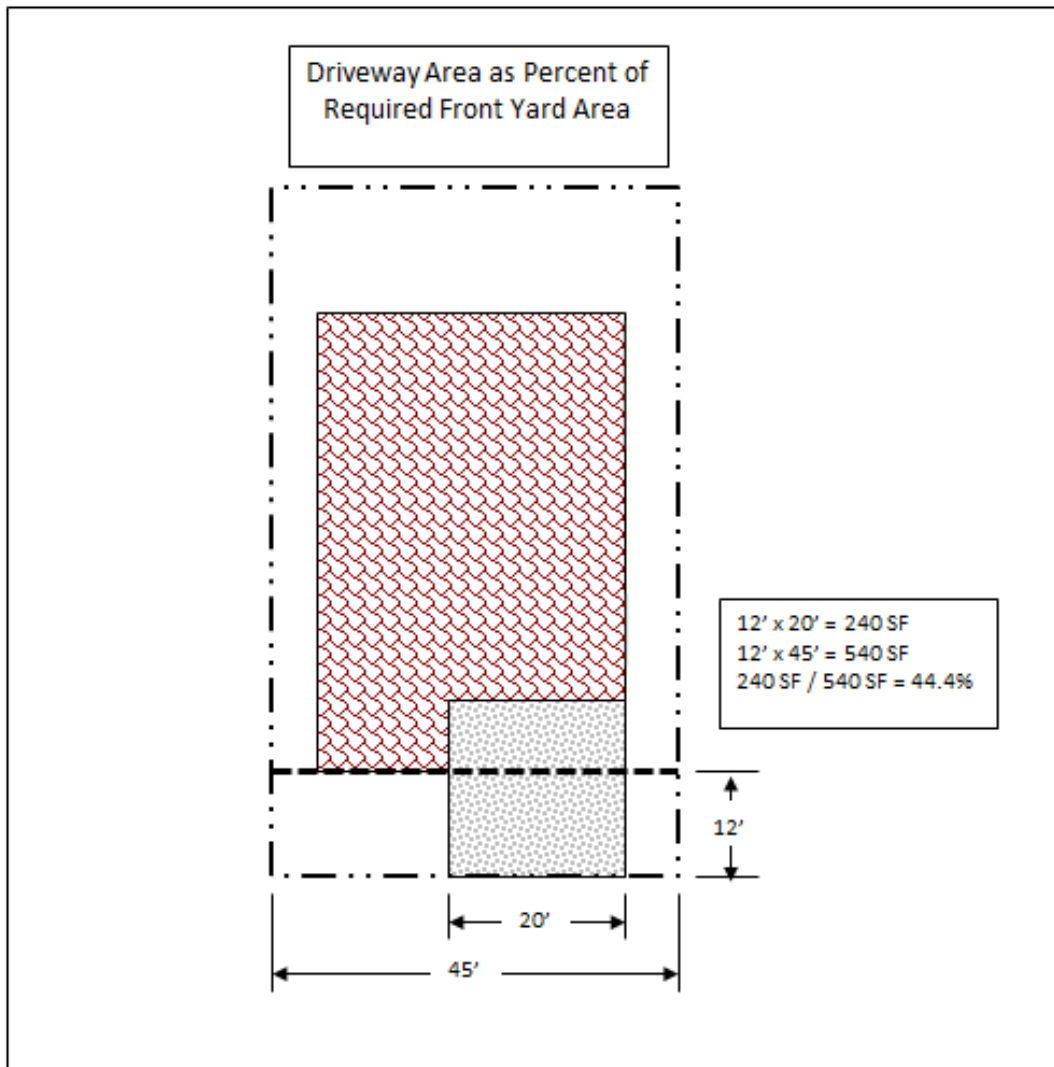


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226 There is also a provision in the current SUDC which limits the area of a residential driveway to 30%
 227 of the required front yard area, which is that area located between the front setback line and the
 228 front lot line. Again, the proposed minimum lot width is 45', while the proposed minimum front
 229 setback is 12', which calculates to 540 square feet. 30% of that area is 162 square feet, which is too
 230 small to accommodate the aforementioned 20' wide driveway. A 20' wide driveway occupying 12'
 231 of the front yard = 240 square feet of driveway area located in the required front yard, which is
 232 44.4% of the required front yard area. Rounding up this becomes 45%.

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The SUDC requires that not less than 20% of the “net residential acreage” be set aside as open space. The net residential acreage is essentially the total amount of land taken up by the individual lots combined with the total open space. The applicant proposes an increase to 25% of the net residential area as open space, which exceeds the 20% requirement set forth in the SUDC. Within that open space will be a pocket park with tot-lot, ramada, picnic area, turf play area, and landscaping.

The following image, taken from Figure 2 of the zoning narrative depicts the anticipated lotting for the project. This lotting configuration is expressed in the related Preliminary Plat which is currently under review; however, staff notes that Figure 2 is intended to be a conceptual design and could change as long as such changes are implemented through the platting process.

[Continued following page.]

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Utility and Services Table:

Electric:	Arizona Public Service
Water:	EPCOR
Wastewater:	City of Surprise
Refuse:	City of Surprise
Natural Gas:	Southwest Gas
Irrigation:	Maricopa Water District
Schools:	Dysart USD

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Conformance with Adopted Plans:

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Surprise General Plan 2035: The Surprise General Plan 2035 shows the subject property as lying within the Neighborhood Character Area, which supports residential development of up to 8 DU/Ac or more, provided appropriate transitions are made between the various Neighborhood types included within the character area. The subject proposal contemplates up to 50 dwelling units, which equates to 5.0 DU/Ac. As such the proposed zoning most closely aligns with the Suburban Neighborhood type and is consistent with the General Plan.

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282 **Reviewing Agencies:**

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284 **Luke Air Force Base (LAFB):** In a letter dated October 3, 2015 (attached), LAFB indicated that the
285 subject development met the Graduated Density Concept and would not interfere with flight
286 operations. LAFB also requested a robust notification program.

287
288 **Arizona Department of Transportation (ADOT):** In an email dated September 20, 2016 (attached),
289 ADOT indicated the proposed development would not affect any ADOT highway facilities.

290
291 **Maricopa Water District (MWD):** In a memo dated October 19, 2016 (attached), MWD indicated
292 the property covered by this application is subject to certain MWD interests including existing
293 facilities and other property interests. MWD requires that prior to Final Plat approval, certain
294 comments must be addressed.

295
296 **Summary:**

297
298 The rationale for the granting of the PUD Overlay stems from the developer's commitment to
299 provide not less than 25% open space, which exceeds the minimum requirement of 20%.
300 Amenities included within the open space will provide recreational opportunities for the
301 neighborhood residents. Further, the site is somewhat constrained due to its proximity to the
302 adjacent school and the Sweetwater Avenue alignment, which makes lotting difficult. In addition,
303 the SUDC's requirement for landscape circles at the ends of cul-de-sacs actually creates parking and
304 access issues, especially where fire apparatus is concerned.

305
306 **Findings:**

- 307
308
 - The proposed zone change is consistent with the Surprise General Plan 2035.
 - The proposed development standards will allow the property to be reasonably developed.
 - The Planning and Zoning Commission issued a favorable recommendation.
 - There are no objections to the request.

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313 **Commission Recommendation:**

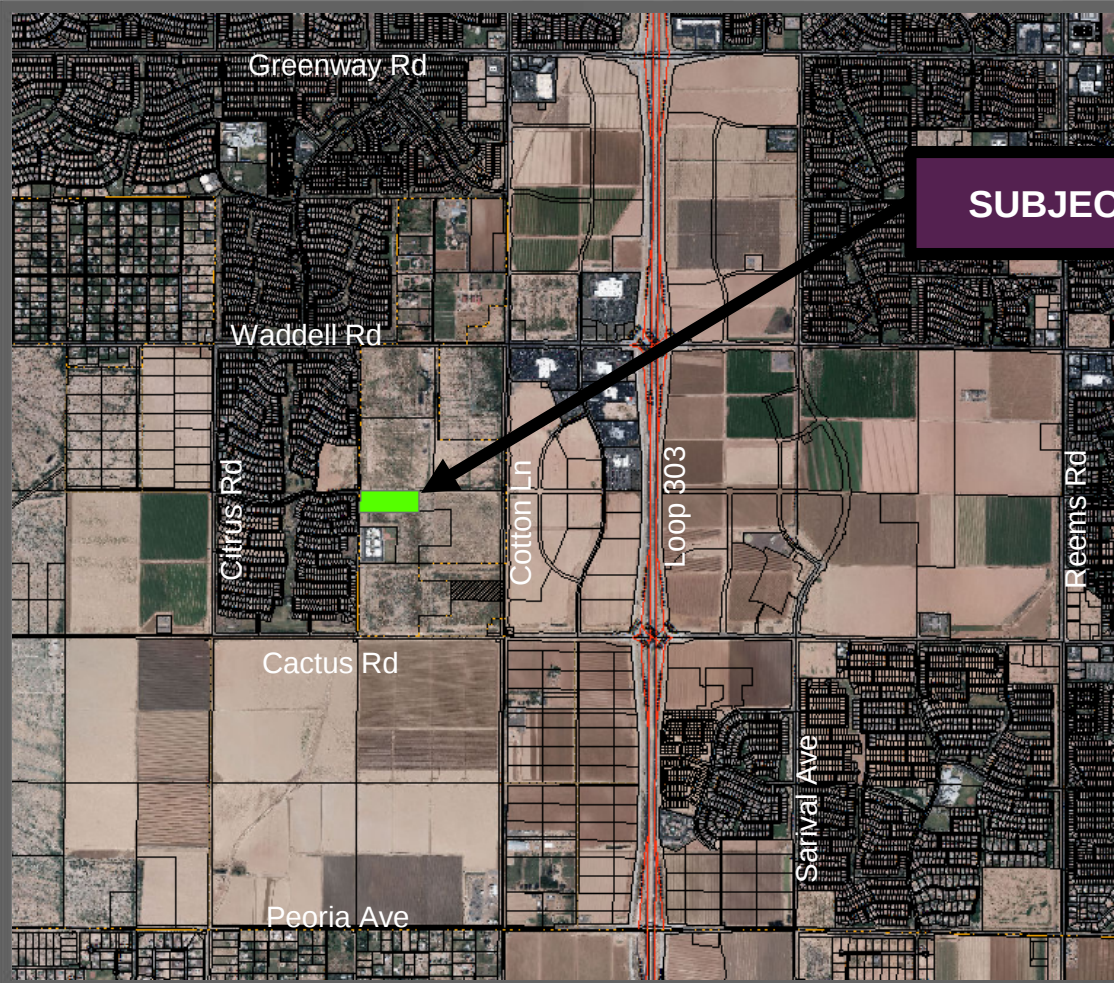
314
315 Based on the findings noted above, the Planning and Zoning Commission recommends **approval** of
316 the subject rezone request to the City Council, subject to stipulations 'a' and 'b' as outlined below:

- 317
318
 - a. Development and use of the site shall be in substantial conformance with the project
319 narrative entitled "175th & Sweetwater", prepared by LVA Urban Design Studio, dated
320 revised August, 2017 and stamped received August 15, 2017, except as modified by the
321 following stipulations.
 - b. Non-compliance with the stipulations of approval of this case will be treated as a violation in
322 accordance with the provisions of Article XIV of the Surprise Unified Development Code.

326 However, should the Council wish to deny the request, the Council should make its own findings
327 and base its decision on those alternative findings.
328

329 **Attachments:**

- 330
- 331 01 Vicinity Map
- 332 02 Case Map
- 333 03 Project Narrative
- 334 04 Citizen Participation Final Report and Update (excerpt)
- 335 05 Luke AFB comments
- 336 06 ADOT comments
- 337 07 MWD comments



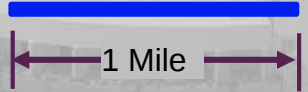
SUBJECT SITE

**FS16-391
175th & Sweetwater
Rezone**

Vicinity Map



North





S U R P R I S E
ARIZONA

City Council
October 5, 2017

175th & Sweetwater

Zone Change



FS16-391 175th & Sweetwater

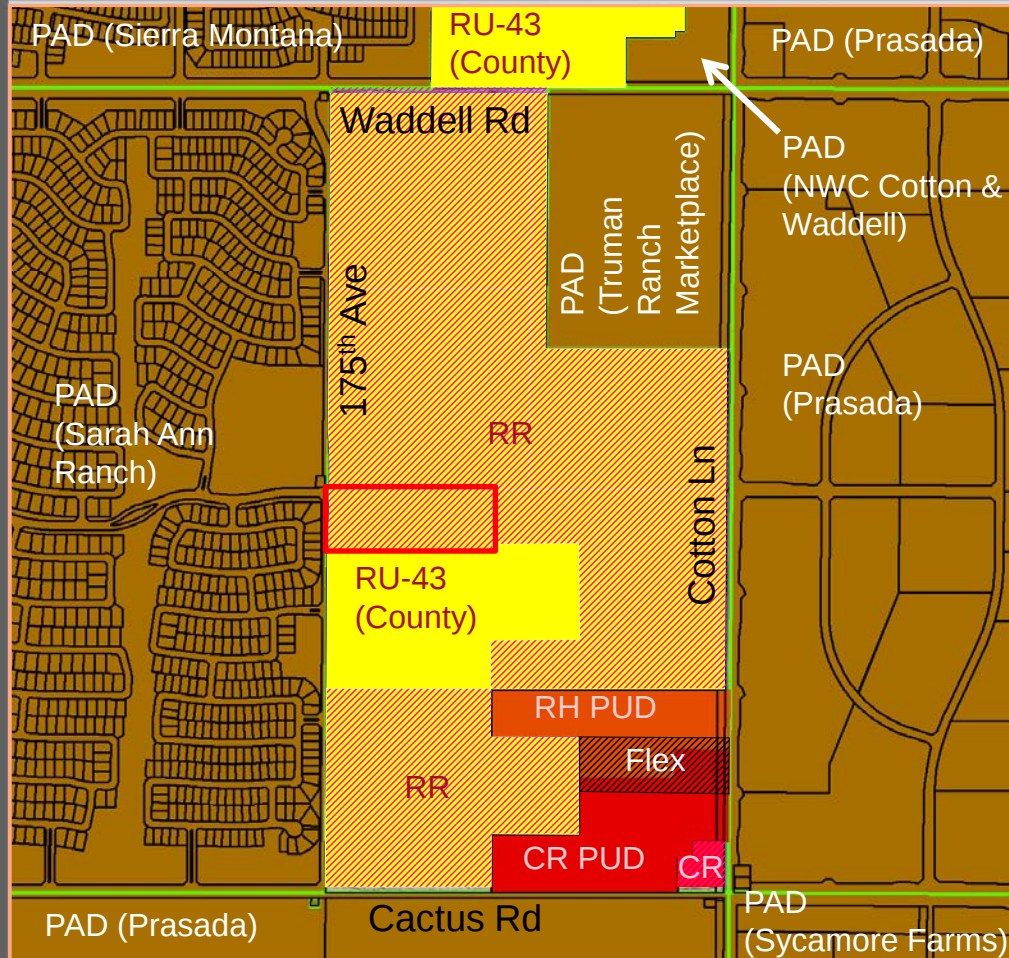
- ✓ Zone Change
- ✓ Preliminary Plat



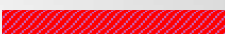
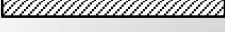
FS16-392 Magnolia

- ✓ Zone Change
- ✓ Preliminary Plat





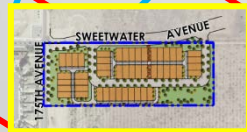
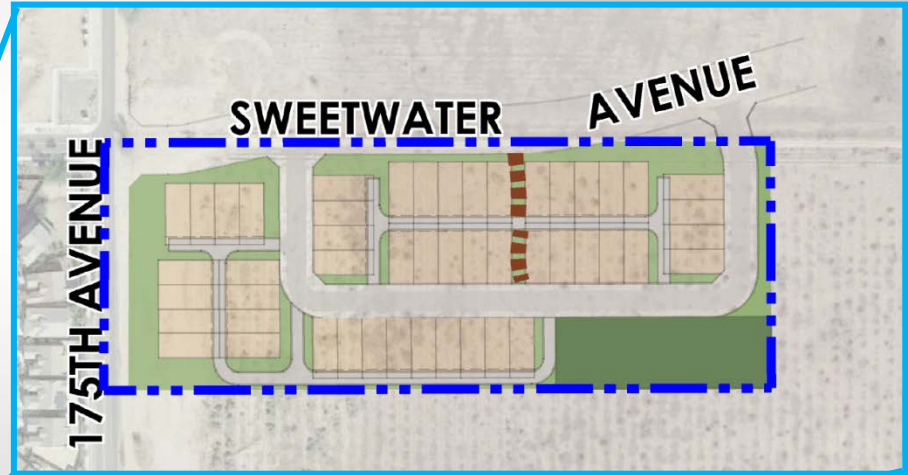
Zone Change

-  Existing Surprise PAD Zoning
-  Existing County RU-43 Zoning
-  Post-Annexation Surprise RR Zoning*
-  Post-Annexation Surprise CR Zoning*
-  Existing Surprise RH PUD Zoning
-  Existing Surprise CR PUD Zoning
-  Existing Surprise CR PUD / RH PUD Flex Zoning
-  Subject Property – Zone Change from RR to RM-9 (PUD) (Max density 5.0 DU/Ac)

*Post-Annexation zoning approved as part of Annexation request under FS16-427

Zone Change

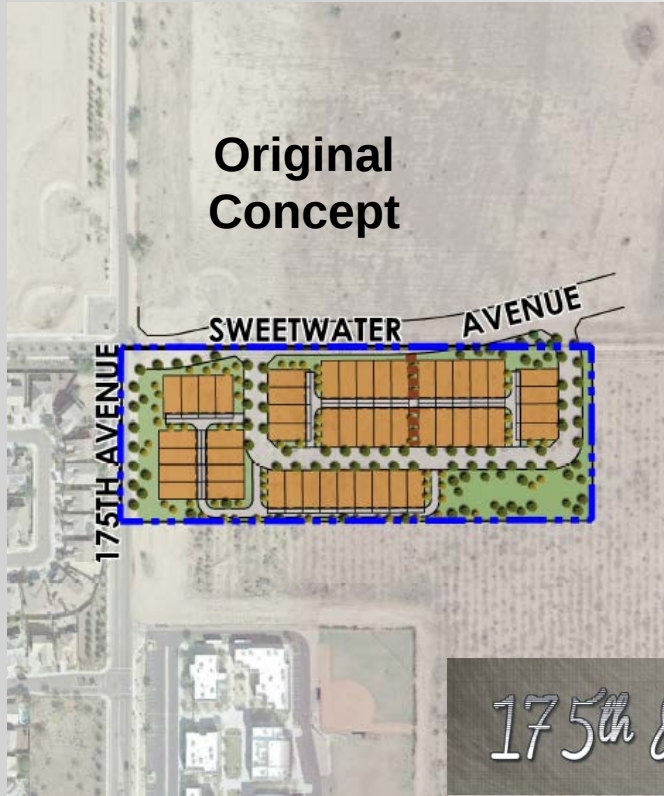
Original Configuration and Relationship



175th & Sweetwater

Zone Change

Original
Concept



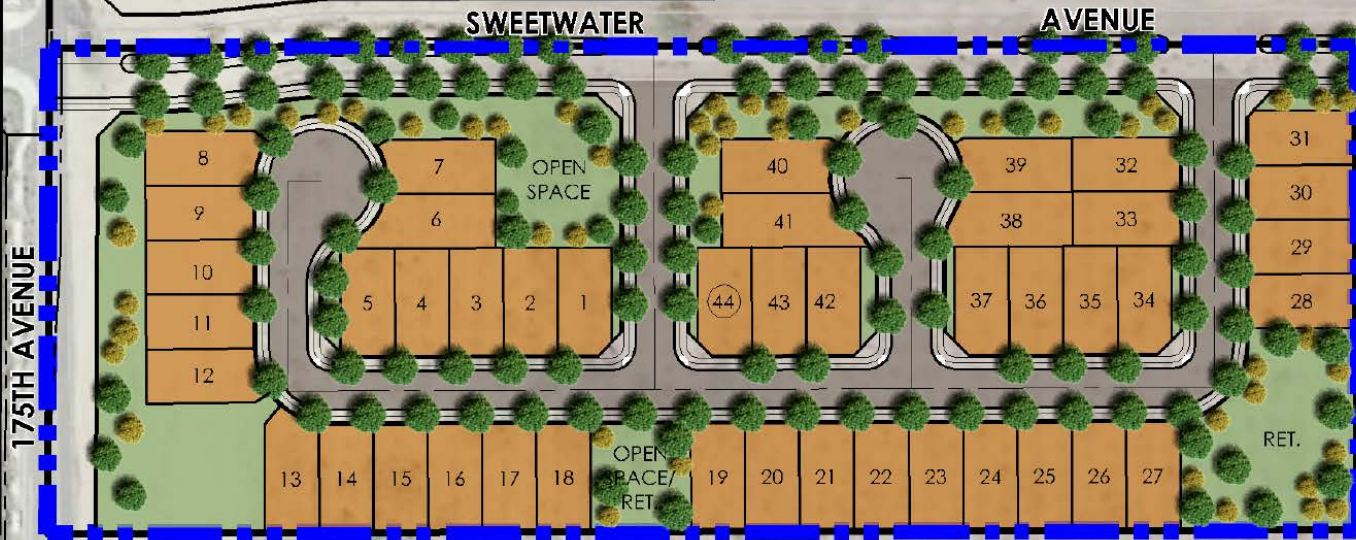
Revised
Concept



175th & Sweetwater

Zone Change

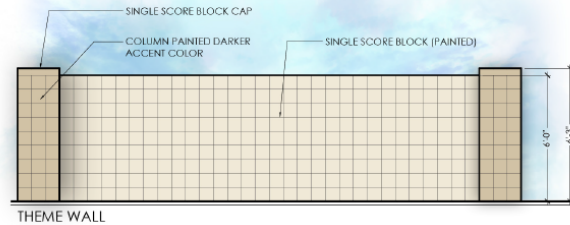
Revised Concept



175th & Sweetwater

175th & Sweetwater

Perimeter Walls



LVA urban design studio
 land planning • development entitlements • landscape architecture
 120 south 4th avenue • temple, arizona 85281 • 480.994.0994

175TH & SWEETWATER

FIGURE 5: WALL DETAILS

APPROX. SCALENTS

1/2"=1'

DRAWN BY: PR

04/18/17

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 © LVA URBAN DESIGN STUDIO/PLANNING/LVA 175TH FIGURE 5 WALL DETAILS.dwg Nov 9, 2016



175th & Sweetwater

Outreach meetings on
October 16, 2016
and
August 2, 2017

Citizen Review

Commission Recommendation:

175th & Sweetwater

Approve subject to stipulations “a” and “b”



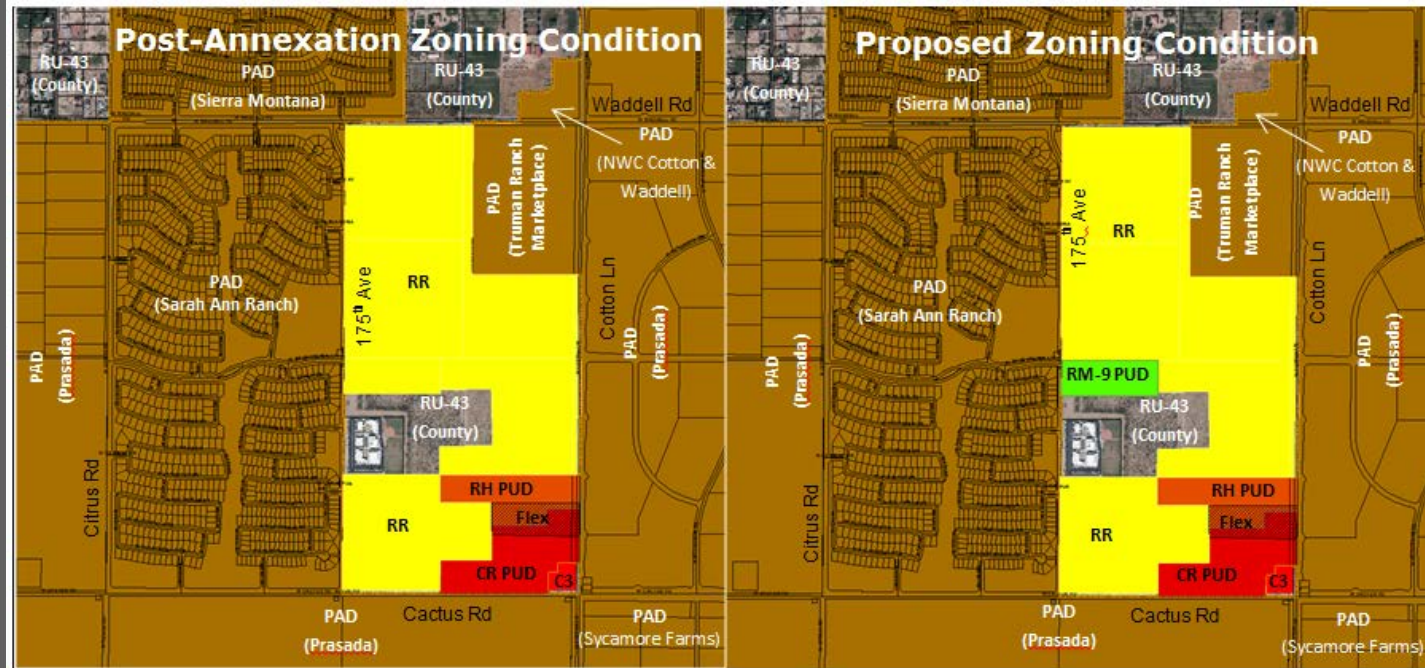
SURPRISE
ARIZONA

**QUESTIONS OR
COMMENTS?**

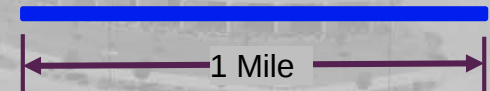
Thank You

**FS16-391
175th &
Sweetwater
Rezone**

Case Map



North



175th & Sweetwater

A RESIDENTIAL DEVELOPMENT
SURPRISE, ARIZONA

PUD ZONING APPLICATION
Revised: August 2017

TABLE OF CONTENTS..... 1

1.0	DESCRIPTION OF REQUEST.....	2
1.1	Introduction	2
1.2	Project Overview and Zoning Request	2
1.3	Residential Zoning Designation and Development Standards	2
1.4	Residential Development Plan Concept.....	4
1.5	Circulation Plan (vehicle, bicycle, pedestrians)	4
1.6	Landscape Theme and Community Character	5
1.7	Open Space, Trails and Amenities Plan	5
1.8	Drainage Master Plan	5
1.9	Water & Sewer Master Plan	6
1.10	Future Home Owners Association Responsibility	6
2.0	EXISTING CONDITIONS ANALYSIS.....	6
2.1	Property Location and Description	6
2.2	Existing Land Use, General Plan Designation and Zoning	7
2.3	Surrounding Developments, Facilities and Services.....	7

FIGURES

1.	Vicinity Map.....	9
2.	Proposed Zoning Map	10
3.	Development Plan Concept.....	11
4.	Open Space and Trails Master Plan	12
5.	Wall Details	13
6.	Existing General Plan Designation Map	14
7.	Existing Zoning Map	15

TABLES

1.	RM-9 PUD Development Standards.....	3
2.	Existing Land Use, General Plan Designation and Zoning.....	7

APPENDICES (separate attachments)

- A. Legal Description and ALTA Survey
- B. Traffic Impact Analysis
- C. Master Drainage Report
- D. Master Water Report
- E. Master Wastewater Report

1.0 DESCRIPTION OF REQUEST

1.1 Introduction

On behalf of A&B Investments Inc., LVA Urban Design Studio, LLC is requesting a zone change from Residential Ranch (RR) to RM-9 PUD for 10-acres of land located at the southeast corner of 175th Avenue and Sweetwater Avenue. The site is a rectangular-shaped parcel located $\frac{3}{4}$ mile west of the Loop 303 freeway, and is bounded by the Paradise Honor School property to the south, vacant land to the east, Sweetwater Avenue to the north, and 175th Avenue to the west. See **Figure 1**, *Vicinity Map* for the property boundary and general location and **Appendix A**, *Legal Description and ALTA Surveys* for the legal boundaries of the property. The applicant will also be submitting a preliminary plat for the property following the initial review of the zone change request.

1.2 Project Overview and Zoning Request

The proposed project will be developed as a single-family residential development within an active growth area of the City of Surprise. The residential zoning for the property is RM-9 PUD using the Conventional Character Pattern. See **Figure 2**, *Proposed Zoning Map* for the location of the zoning district boundary. The RM-9 PUD zoning designation is affiliated with a 4,000 square foot minimum lot size.

175th & Sweetwater Avenue will include up to 50 residential units which translates to a maximum gross density of 5.0 dwelling units per acre. This is consistent with the 2-8 dwelling units per acre density range permitted within the Neighborhood General Plan Land Use designation. While lot sizes may vary with the final development plan, the concept plan includes a proposed 45' x 90' product.

1.3 Residential Zoning Designations and Development Standards

The residential zoning designation affiliated with the property will use the Conventional Character Pattern in accordance with **Section 122-33** of the Surprise Unified Development Code as may be subsequently amended. The PUD overlay designation shall be applied to the property to allow modification of certain development standards proposed within the development, including a reduction in lot area, lot depth, and rear yard setback, a reduction in the distance between cul-de-sacs and adjacent streets, removal of the requirement for landscape islands within cul-de-sacs, and a modification to the driveway width provision as a percentage of overall lot and area. In exchange for the modified development standards, the project will provide additional common-area open space for the benefit of the development and surrounding community, as well as an increase in the minimum lot width and reduction in allowed density from 9 du/ac to 5 du/ac. Unless specifically modified herein, the development of the property shall comply with **Chapter 122** of the Surprise Municipal Code. In the event of a conflict between a development standard, provision or regulation between the rezoning application and the Surprise Municipal Code, the standard within this rezoning application shall prevail.

The property will be zoned RM-9 PUD. The proposed residential development standards affiliated with the RM-9 PUD zoning district will be modified as provided in **Table 1**, *RM-9 PUD Development Standards* below. Note that only “red” text items include modified standards. These amended development standards were created based on the anticipated lot size and product type proposed within the community in concert with the creation of meaningful, connected open space and a subdivision design that emphasizes a high quality visual appearance through an increase in open space, particularly along 175th

Avenue and Sweetwater to provide a wide and varying landscape treatment where visible from the public streets.

Table 1: RM-9 PUD Development Standards

Development Standard	RM-9 City Base Standard	Proposed RM-9 PUD Standard
Maximum Number of Units	N/A	50
Maximum Density	9.0	5.0
Minimum Lot Area (sf)	4,500	4,000
Minimum Lot Width (ft)	40	45
Minimum Lot Depth (ft)	100	90
Minimum Front Yard Setback (ft) (1)	12/20	12/20
Minimum Side Yard Setback (ft)	to be determined	5
Minimum Rear Yard Setback (ft)	20	15
Maximum Building Height (ft)	35	35
Footnotes:		
(1) Front facing garages shall have a minimum 20-foot front yard setback. Livable space, front porches, courtyards, and side entry garage shall have a minimum 12 foot setback.		

In addition to the modified development standards defined within Table 1 above, Section 122-130(c), which states, *“New residential development shall strive to minimize cul-de-sac’s, except where physical constraints of the site dictate their use. Cul-de-sac shall not terminate at other streets 150 feet or less measured from the curb of the street to the curb of the closest portion of the cul-de-sac. When they are used, cul-de-sac shall terminate on usable open space and include a landscape island irrigated with reclaimed water.”* shall be modified as follows:

- Reduce the cul-de-sac separation distance from 150 feet to 30 feet; and
- Delete the requirement for the irrigated landscape island from within the cul-de-sacs.

Section 122-121(h)(3) c and d of the SUDC shall also be modified. The current standard states: *“c. Driveways and other parking shall not comprise more than 30 percent of the front yard lot area of a detached single family home; nor 50 percent of the front yard lot area of a two or more family residential unit. Circular driveways and similar circulation shall be permitted within the front yard so long as no long term resident parking occupies such circular drive, and the square footage for driveway, parking and other impervious surfaces combined does not exceed the allowable percentages shown herein.*

d. Driveway entrances shall not comprise more than 30 percent of the front lot line of a single family, detached residential parcel, nor more than 50 percent of the front lot line of any multiple-family or non-residential parcel.”

The proposed development includes 45’ wide lots. In order to accommodate a 2 car garage and a 20’ wide driveway, this standard shall be modified to state “c. *Driveways and other parking shall not comprise more than 45 percent of the front yard lot area of a detached single family home.*” and “d. *Driveway entrances shall not comprise more than 45% of the front lot line of a single family, detached residential parcel.*” This revised standard will allow all homes within the subdivision to accommodate a two car garage and an appropriate width driveway.

The rationale for the development standards included in Table 1 above and the additional modifications are due to the small size and configuration of the development parcel, and the fact that it is adjacent to major collector streets on two sided, reducing the gross acreage by 13% of the total site area. The overall depth of the parcel is limited to a single row of lots, with cul-de-sacs necessary to provide additional units within the subdivision. The proposed layout includes substantial open space along Sweetwater Avenue with an average depth of over 35 feet, more than double the 15’ requirement. Additionally, the overall open space acreage provided exceeds the requirements within the Conventional Character Pattern by 25%.

1.4 Residential Development Plan Concept

The development plan concept represented in **Figure 3** is non-regulatory and subject to change without triggering an amendment to the zoning, but has been provided to graphically illustrate how the property may be developed, including roadway access and connectivity, relationship between surrounding properties, general lot configuration, and location and size of open spaces. The development plan concept represented in **Figure 3** identifies a 45’ x 90’ lot size. Two points of access will be provided along Sweetwater near the central and east end of the site, with both entries terminate at common open space, providing for an attractive entry experience as drivers and pedestrians enter the subdivision. Note that Sweetwater dips slightly to the south as it approaches 175th Avenue in order to line up with the roadway alignment to the west. See **Figure 3, Development Plan Concept** for a visual representation of the conceptual development plan option for the property.

1.5 Circulation Plan

The site is bounded by 175th Avenue to the east and the future Sweetwater Avenue alignment to the north, both of which are classified as Residential Collector streets with a 40’ half street right-of-way. Where Sweetwater Avenue dips slightly to the south, additional right-of-way will be provided as need to accommodate the adjusted alignment.

Primary access to the property will be from Sweetwater Avenue, with a looped local street system connecting on the central and east sides of the property. As part of the adjacent properties, Sweetwater Avenue will ultimately be constructed from 175th Avenue to Cotton Lane providing additional access to and from the property.

A Traffic Statement for the property has been prepared and is included with this rezoning application as an Appendix under separate cover.

Bicycle lanes will be provided on Sweetwater Avenue and 175th Avenue in accordance with the City's standard detail for Residential Collector Streets to facilitate bicycle movements within and adjacent to the property. Pedestrian circulation will include setback sidewalks along public streets, and a connection to the central open space amenity.

1.6 Landscape Theme and Community Character

The overall landscape theme will use elegant and traditional trees and shrubs that are found on the low-water use plant list. Primary trees may include Oak and Ash; with secondary trees including Evergreen Elm, Vitex, Bauhinia, and/or pollen free Swan-Hill Olive trees, among others. Old-fashioned garden-style plants may include Lantana, Indian Hawthorn, Boxwood, Lady Bank's Rose, Myrtle, Rosemary, Guara, and Verbena. A complete list of plant materials will be provided at the time of preliminary plat, and shall conform to Chapter 122 of the Surprise Municipal Code as may be subsequently amended.

The property's character and hardscape elements will include formal tones and elegant simplicity that are characteristic of traditional architecture. Theme walls and signage may use simple forms of stucco, single scored block, cast stone and/or ornamental iron. To provide a pleasing contrast with the many shades of color present in the plant materials, the hardscape color scheme will be designed to complement the landscape palette, and will be accented with bright bursts of color at focal points and in site furniture. See **Figure 5, Wall Details** for the design concept for the walls proposed within the development. Due to the visibility of the southern perimeter wall adjacent to the school site, a theme wall will separate the development from the adjacent school site.

1.7 Open Space, Trails and Amenities Plan

175th & Sweetwater will provide perimeter and internal open spaces, a pocket park and setback sidewalks that will encourage walking and pedestrian connectivity within the adjacent surrounding community. A minimum 40' wide landscape buffer will be provided along 175th Avenue to include landscaping and possibly subdivision signage to identify the neighborhood. This 40' landscape buffer exceeds the minimum landscape buffer requirement of 15' by more than double. Additionally, a minimum 15' and 30' average landscape setback will be provided on Sweetwater Avenue, exceeding the 15' requirement by more than double, providing an attractive buffer between the lots and the street. A central pocket park will include active and passive recreational amenities such as a tot lot, shade ramada, picnic area, informal play field and landscaping to serve the residents within the development. The property will provide a minimum of 25% Net Residential Acreage open space, a 25% increase in overall open space from the 20% requirement per the Conventional Character Pattern standard to mitigate the slightly reduced lot development standards.

1.8 Drainage Master Plan

The site generally slopes in a southeasterly direction. 175th Avenue is an improved half street adjacent to the site. There is street median with full section fronting the school site and there is full section at the intersection of 175th Avenue and Waddell Road. The road slopes in a southerly direction and there is a large catch basin south of the intersection of 175th Avenue and Waddell Road that captures the street runoff into the street storm drain system. The site is located mostly in Zone X according to FIRM Panel 04013C1660L, revised October 2013.

The intent of the grading design is to convey the runoff generated onsite during a 100-year 2-hour storm event or smaller into retention basins, located within the subdivision. The roadways will convey the street runoff to the different basins, proposed in different locations of the subdivision. When the street capacity is exceeded, catch basins with a storm drain system will be installed to allow the runoff to stay within the street right way of way section.

The finish floor elevations for the site will be set higher than the adjacent 100-year water elevations and the cascading outfall elevations for the site in case of storm events beyond the 100-year storm events.

1.9 Water & Sewer Master Plans

Water

The existing water infrastructure around the site is located in pressure zone 3, per EPCOR information. Zone 3 will connect to an existing 12 inch water line at Sweetwater Avenue and 175th Avenue. The 12 inch main will be extended easterly along Sweetwater Avenue. This will serve an 8 inch loop that will be located in the roadway sections. A fire flow test was conducted and shows high static pressures at approximately 90 psi. PRVs will need to be installed at the individual water meters. Public hydrants will be spaced along the local roadways and Sweetwater Avenue. A Master Water Report has been completed for the project and contains detailed water modeling information and results.

Sewer

The sewer will connect to an existing 12 inch sewer line in 175th Avenue to the west of the site with an 8 inch sewer at the road just south of the existing school site. The 8 inch sewer main is designed to exceed the minimum slopes required to provide 2 feet per second velocity when flowing full, and less than 0.65 d/D during the peak day demand. A master Sewer report has been prepared for this project and contains detailed modeling information and results.

1.10 Future Home Owners Association Responsibility

The community will include a home owners association (HOA) that will own and maintain all common community amenities, including signage, parks, trails, open space tracts, and other common areas within the development. The HOA will include a formal governance structure to be established by the HOA bylaws and community Covenants, Conditions and Restrictions (CC&R's). In the early phases of the project, the HOA will be managed by the master developer or homebuilder until such time as there are enough homeowners take over the management responsibilities. The purchasers of property within the community will automatically become members of the HOA and will be required to pay annual dues for the ongoing operation and maintenance of community facilities owned by the HOA.

2.0. EXISTING CONDITIONS ANALYSIS

2.1 Property Location and Description

The proposed site is located on the southeast corner of 175th Avenue and Sweetwater Avenue within the City of Surprise. More specifically, the property is a rectangular-shaped parcel generally bounded by 175th Avenue to the west, the Sweetwater Avenue

alignment to the north, vacant land to the east, and the Paradise Honors School to the south. The subject site is defined in **Appendix 1, Legal Description and ALTA Survey**.

The following Assessor Parcel Numbers are included with this zoning application:

502-04-002P, A&B Investments

502-04-002J, A&B Investments

2.2 Existing Land Use, General Plan Designation and Zoning

The subject property is currently vacant land that was once used for agricultural purposes. Properties surrounding the site include vacant land to the north, vacant land to the east, vacant land and the future expansion of the Paradise Honor School to the south, and single family residential property to the west. Paradise Honors School, a K-12 charter school is located immediately adjacent to the property along 175th Avenue, and has plans to expand up to the southern property line with new classroom buildings, parking, athletic fields and other associated improvements. See **Table 2** below and **Figure 1, Vicinity Map** for the existing land uses on the site and surrounding area.

The site is currently designated as *Neighborhood Character Area* with the City of Surprise 2035 General Plan. The site is also within the *Residential (Citrus and Cactus) Growth Area* as defined within the Anticipated Growth map in the General Plan. The Neighborhood land use designation allows for densities up to 8+ dwelling units per acre and supports a wide variety of residential development opportunities. The proposed zoning is in conformance with the Neighborhood General Plan designation, and will utilize the *Suburban Development Type* (2-8 du/ac) throughout the community. See **Table 2** below and **Figure 6, Existing General Plan Land Use Map** for the general plan land use designation on the site and surrounding area.

Currently, the property is zoned Residential Ranch in the City of Surprise, permitting 1 dwelling units per acre. The intent of this zoning district is to preserve aspects of the City's rural heritage through preservation of existing working farms, ranches and open space. See **Table 2** below and **Figure 7, Existing Zoning Map** for the existing zoning on the site and surrounding area.

Table 2: Existing Land Use, General Plan Designation and Zoning

	LAND USE	GENERAL PLAN DESIGNATION	ZONING DESIGNATION
SITE	Vacant	Neighborhood	Residential Ranch
NORTH	agricultural & vacant	Neighborhood	Residential Ranch
EAST	agricultural and vacant	Neighborhood	Residential Ranch
SOUTH	Vacant (future Paradise Honors School expansion)	Neighborhood	County RU-43
WEST	Single family residential	Neighborhood	PAD

2.3 Regional Facilities and Services

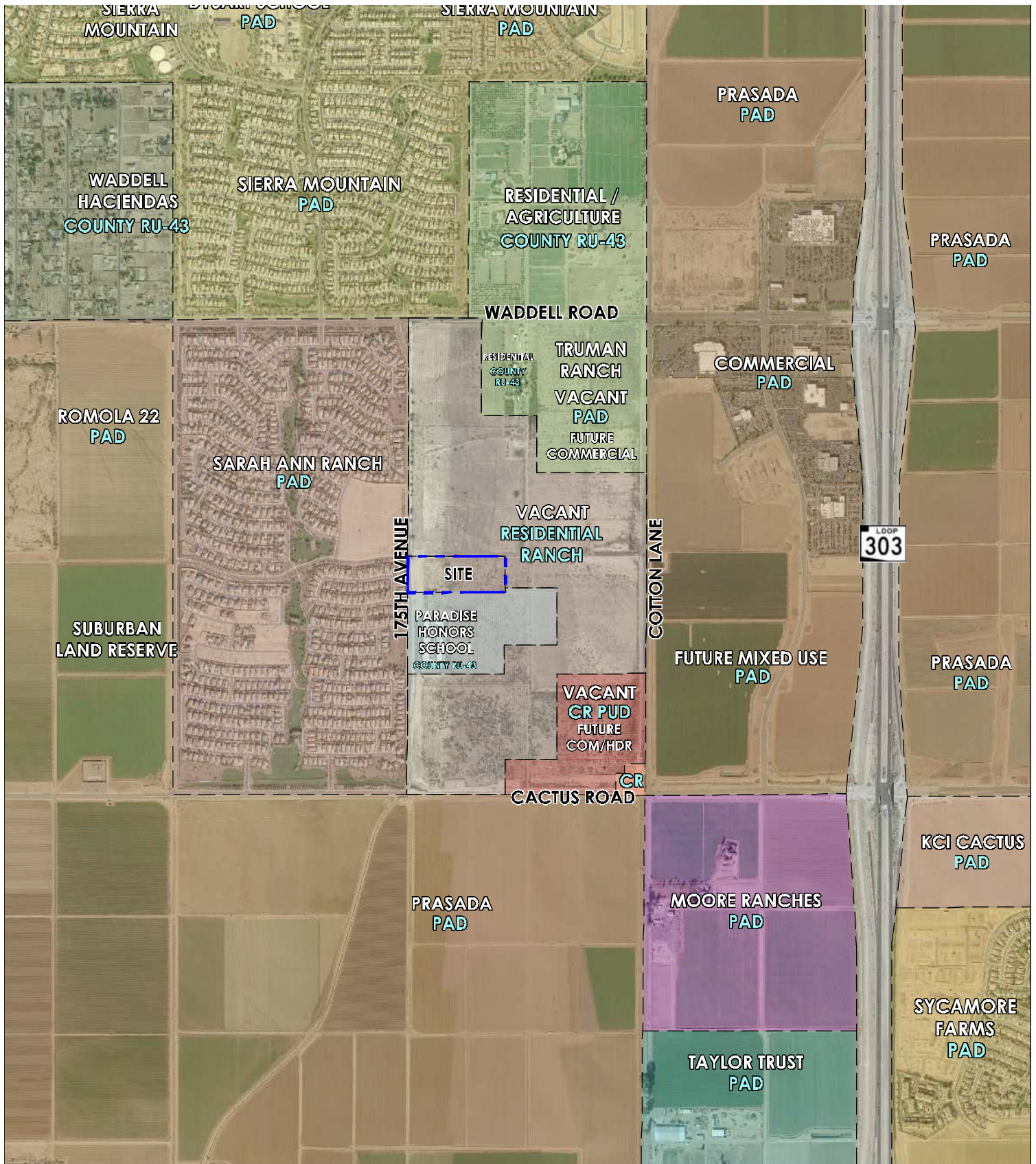
The site has recently been annexed into the City of Surprise, and as such is within the City of Surprise Municipal Planning Boundary. **Figure 1, Vicinity Map** shows the

jurisdictional limits of the City of Surprise city limits in relation to lands within unincorporated Maricopa County.

The proposed property is approximately $\frac{3}{4}$ mile west of the Loop 303 Freeway, with direct access to both the Cactus Road and Waddell Road interchanges, providing excellent access to the site along the regional freeway system. The site is bounded by two residential collector roads, including 175th Avenue and the future Sweetwater Avenue alignment.

The subject property is within the Dysart Unified School District (SUSD). The property is within the boundary of the Sonoran Heights Elementary School, located at 11405 N. Greer Ranch Parkway, and the Shadow Ridge High School, located at 10909 N. Perryville Road. Paradise School, a K-12 charter school, is also located immediately adjacent to the property at 12775 N. 175th Avenue.

Since the property has been annexed into the City of Surprise, fire & emergency services, law enforcement services, and refuse collection will all be provided by the City. The nearest fire station, Surprise Fire-Medical Station #307, is located 2 miles east of the site near Sarival Avenue and Cactus Road. The nearest Police Station is located in Surprise City Hall, approximately 6 miles northeast of the site.



175TH & SWEETWATER

FIGURE 1: VICINITY MAP

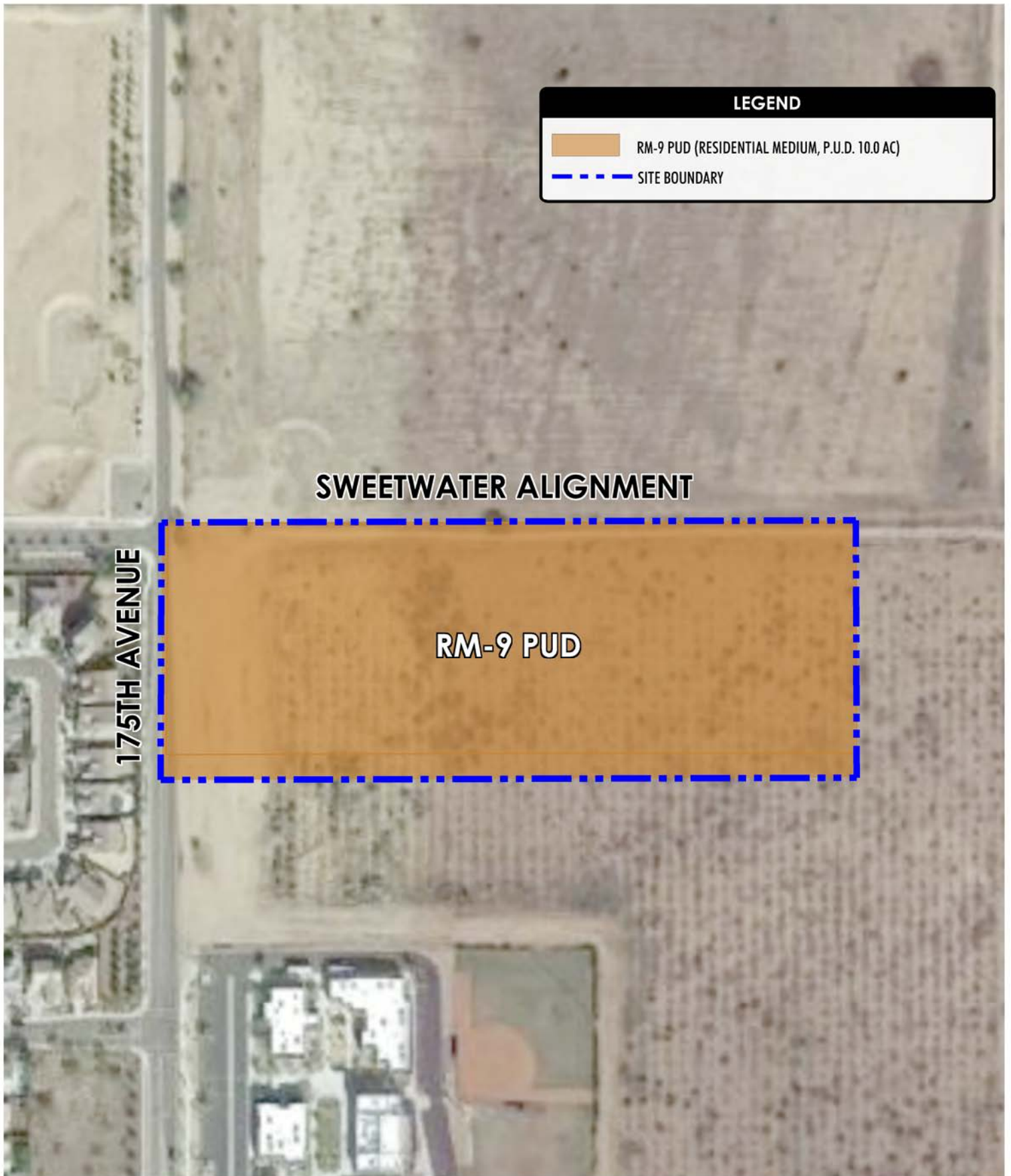
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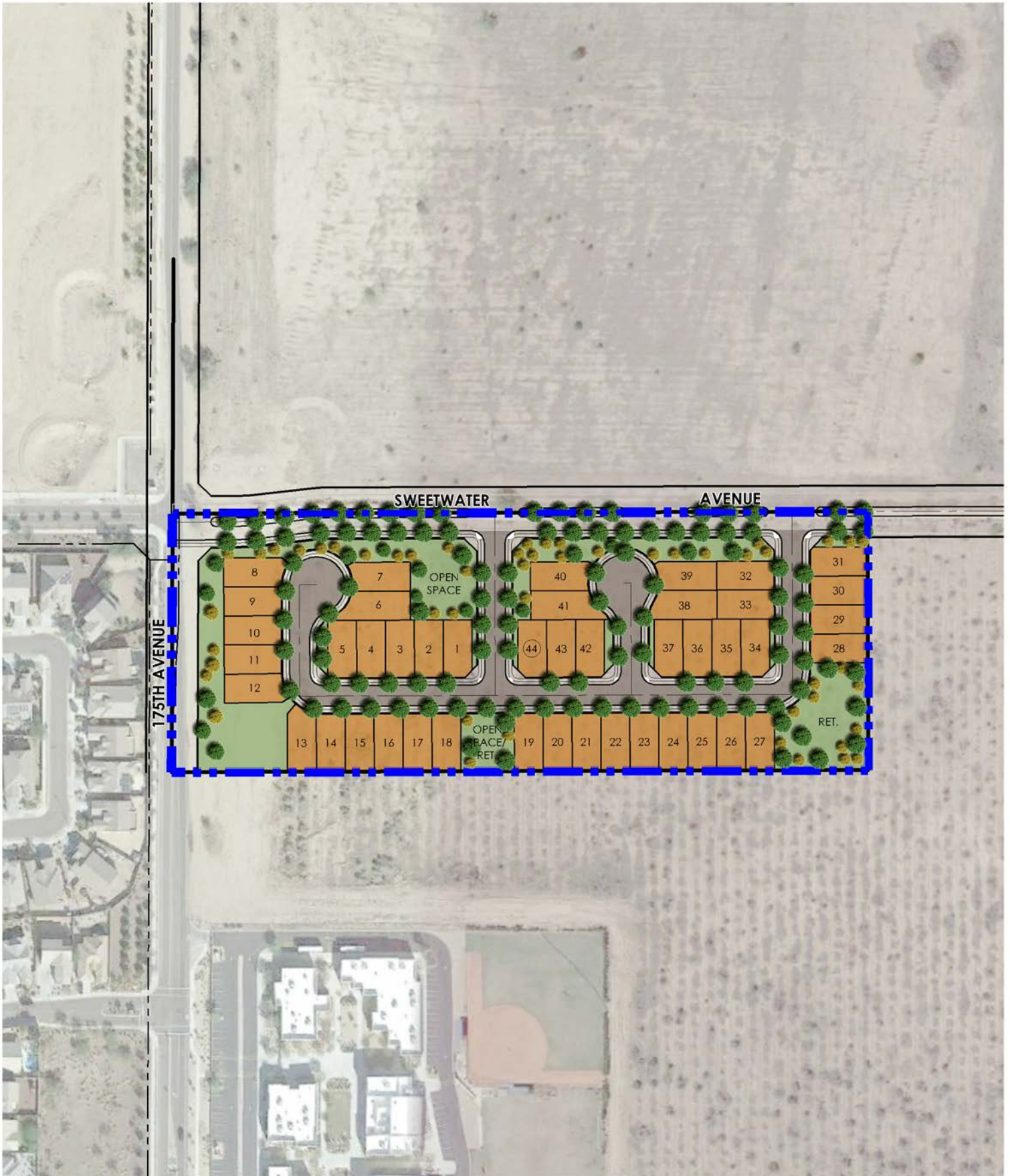
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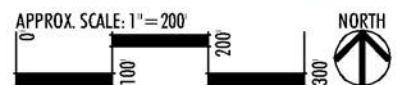
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175TH & SWEETWATER

FIGURE 3: DEVELOPMENT PLAN CONCEPT

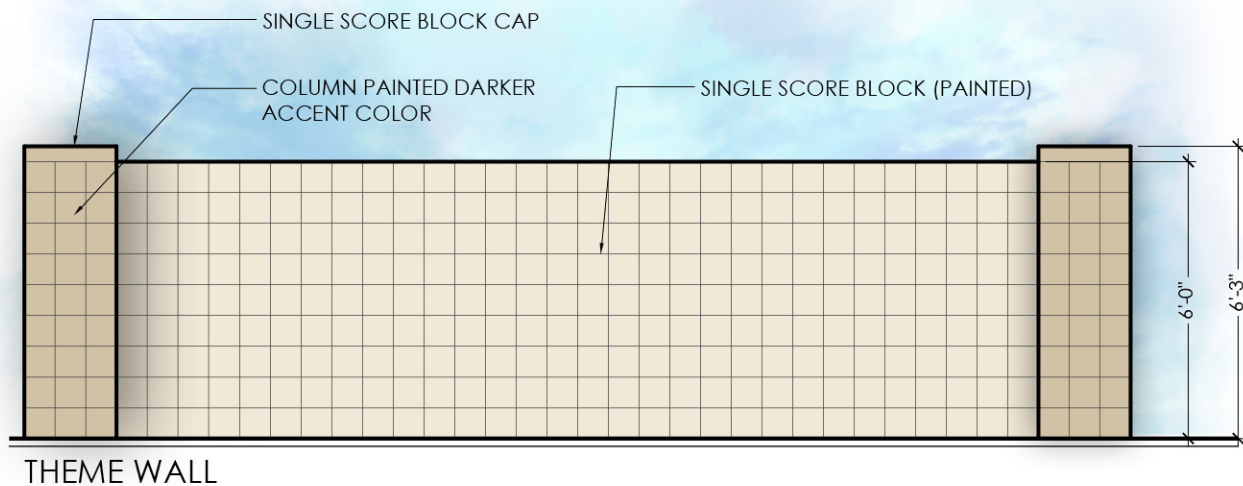


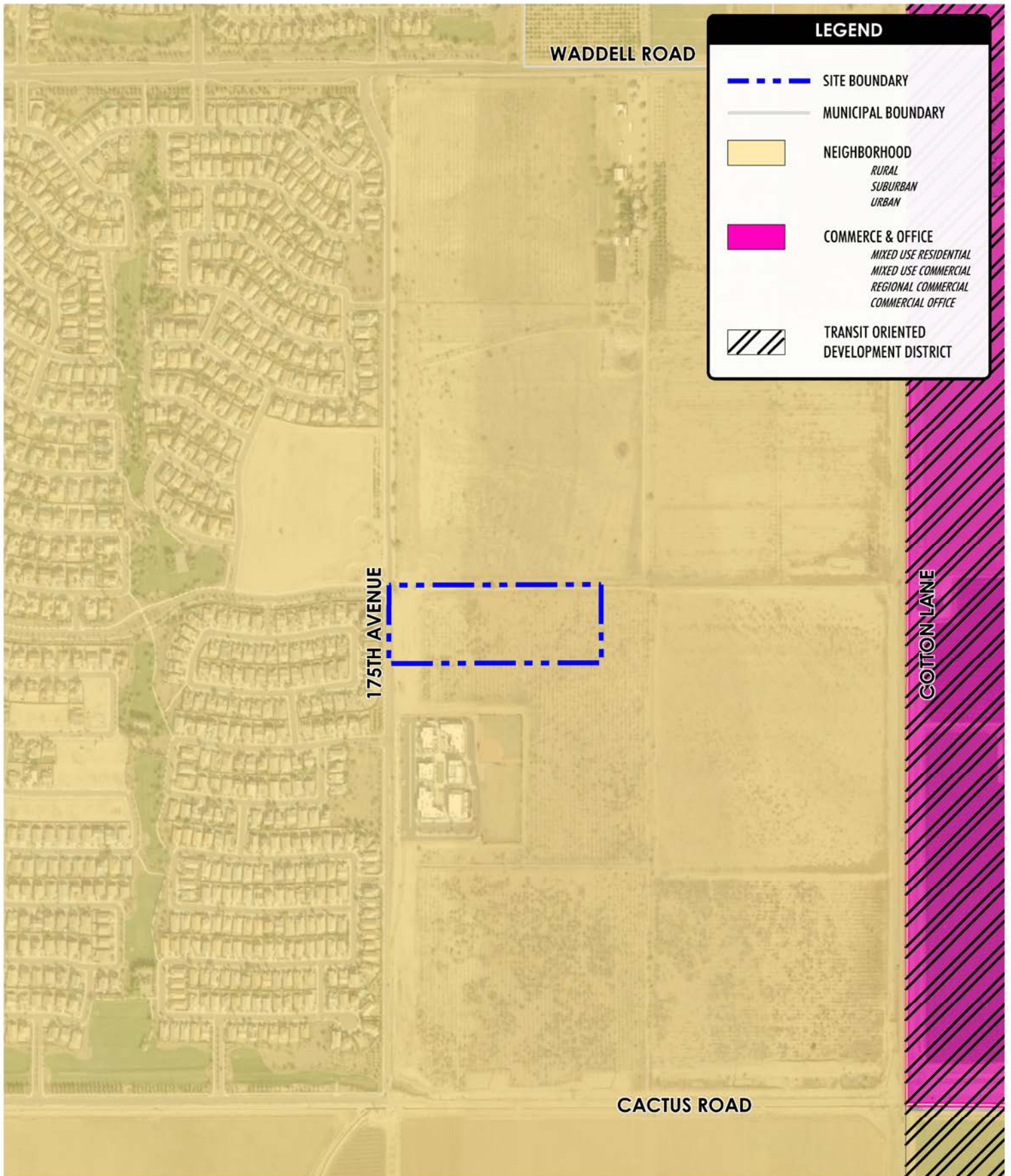
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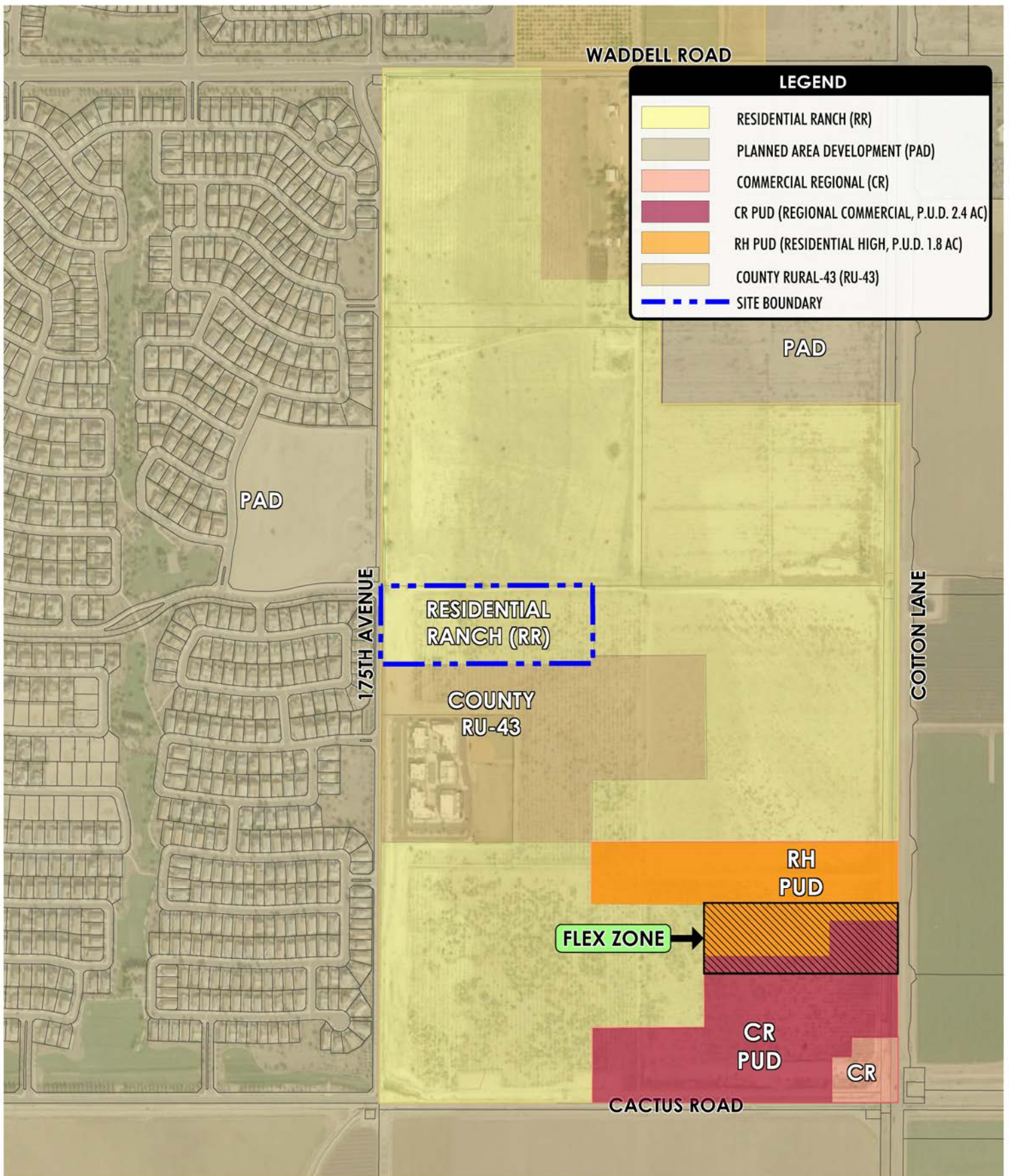
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4/19/17









CITIZEN PARTICIPATION FINAL REPORT

MAGNOLIA & SWEETWATER PLANNED UNIT DEVELOPMENT

PARCEL NUMBERS: 502-04-002P, 502-04-002J, 502-04-004, 502-04-006B, 502-04-006A,
502-04-005D, 502-04-022D, 502-04-002Q, 502-04-002E, 502-04-023C, 502-04-022A,
and 502-04-002R

CITY OF SURPRISE

PREPARED BY:

LVA URBAN DESIGN STUDIO, LLC
120 E. Ash Ave.
Tempe, AZ 85281

November 2016

ANNEXATION, PUD ZONING & PRELIMINARY PLAT
(FS16-427, FS16-391 & FS16-392)

Development Team

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Traffic Engineer

CivTech
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CITIZEN PARTICIPATION FINAL REPORT

Table of Contents

I.	Public Meeting Information	4
A.	Applicant Attendees.....	4
II.	Project Description	4
III.	Meeting Location	4
IV.	Notification	4
A.	Required Site Postings.....	4
B.	Required First Class Mailings	4
C.	Required Newspaper Advertisement.....	4
V.	Public Meeting.....	5
VI.	Meeting Participant Feedback	5
A.	General Comments, Concerns & Responses	5
VII.	Public Correspondence Summary	6

Appendices

- Appendix A: Site Posting Affidavits
- Appendix B: Neighborhood Meeting Notification Letter
- Appendix C: Daily Sun Newspaper Advertisement
- Appendix D: Meeting Exhibits
- Appendix E: Sign in Sheets & Comment Cards
- Appendix F: Scanned E-mail Comments and Responses

I. PUBLIC MEETING INFORMATION

A. Applicant Attendees:

AZ Community Development – Joseph Kalish, Jack Hilton - Owners Representatives

David Evans & Associates – Don Willie – Civil Engineer Representative

CivTech – Dawn Cartier – Traffic Engineer

LVA Urban Design Studio – Mark Reddie, Alisse Highley - Applicant/Planning Consultant

II. PROJECT DESCRIPTION

The proposed applications are requesting a zone change on 178 acres of property currently zoned R1-43 to approximately 78.6 acres of RM-6 PUD, approximately 95.2 acres of RM-9 PUD, approximately 1.8 acres of RH-PUD and approximately 2.4 acres of /CR-PUD. Note that approximately 2.3 acres within the RH-PUD and CR-PUD is in a flex zone which allows the flexibility for either zoning district based on the final site plan configuration. This request includes a PUD Overlay on the entire 178 acres located at the northeast corner of Cactus Road and 175th Avenue. Concurrent with this request, the applicant will be submitting an Annexation application and a Preliminary Plat for the property as well. Note that a companion zoning application and preliminary plat is also being processed for an additional 10-acre property at the southeast corner of 175th Avenue and Sweetwater Avenue. Upon annexation and rezoning, the intent is to include this parcel within the overall Magnolia master planned community. The public outreach activities were conducted for both projects together.

As part of the Annexation and Zoning process, a neighborhood meeting was held on October 19, 2016 as an opportunity for local residents to learn about the project, ask questions, and express their comments or concerns regarding the project.

III. MEETING LOCATION

The neighborhood meeting was held at Sunset Hills Elementary located at 17825 W. Sierra Montana Loop Surprise, Arizona on Wednesday October 19, 2016 from 6:00pm to 7:00pm.

IV. NOTIFICATION

A. REQUIRED SITE POSTING

On October 4, 2016 sixteen notification signs were posted on the subject site informing the surrounding community of the proposed applications and of the neighborhood meeting. These signs will remain in place and continue to be updated as the application advances through to City Council. **Appendix A, *Site Posting Affidavits*** includes photos of the signs, locations, and affidavits.

B. REQUIRED FIRST CLASS MAILINGS

Mailed notification letters were sent from the City of Surprise to 135 property owners and HOAs on October 6, 2016. The letters included a map of the project and details on the neighborhood meeting. A copy of the outreach letter can be found in **Appendix B, *Neighborhood Meeting Notification Letter***.

C. REQUIRED NEWSPAPER ADVERTISEMENT

An advertisement was posted in in the Daily News-Sun on September 30, 2016 with a map and details of the Citizen Review Meeting. A copy of the advertisement can be found in **Appendix C, *Daily Sun Newspaper Advertisement***.

V. PUBLIC MEETING

The applicant team arrived at Sunset Hills Elementary school to set up exhibit boards and sign in/comment card tables. Directional signs were posted in the parking lot and outdoor hallways to direct and notify residents to the meeting room. See **Appendix D, Meeting Exhibits** for a copy of all exhibits presented at the Neighborhood Meeting.

Twenty eight attendees were recorded on the sign-in sheet (See **Appendix E, Sign-In Sheet and Comment Cards**) for the open house style neighborhood meeting. Guests were greeted at the door and encouraged to walk through the exhibits with a member of the development team. Comment cards were provided throughout the meeting. The meeting came to a close at 7:15 pm.

Since the neighborhood meeting, the applicant has followed up and emailed a site plan to the six attendees who left requests via comment card. No responses have been received at this time, but the applicant will continue to accept feedback through the application process. All sent and received e-mails to date have been included with this report as **Appendix F, Scanned E-mail Comments & Responses**.

VI. MEETING PARTICIPANT FEEDBACK

Included as **Appendix E, Sign-In Sheet & Comment Cards** is a copy of all comment cards received from the October 19th meeting. Below is a response tally, brief summary of feedback, and written responses to questions and/or negative feedback in Subsection A below. Outreach response was the result of neighborhood meeting comment cards. Similar comments are grouped together.

RESPONSE TALLY

Positive Feedback – 1

Negative Feedback – 2

Informative/Suggestions/Neutral – 7

SUMMARY OF FEEDBACK

- Encouraging relocation of proposed access on to 175th Ave
- Concern about multi-family being part of the development
- Request for site plan
- Request for continual updates
- In favor of building Sweetwater
- Concern about traffic impacts

A. GENERAL COMMENTS/CONCERNS & RESPONSES

- Eliminating 175th Ave. Access
Applicant Response – A Traffic Impact Analysis was completed as part of the application. Based on the project densities, improvements and proposed mitigation, 175th Avenue is shown to operate at an acceptable level of service.
- Concern about multi-family being included in the development
Applicant Response – Multi-family is not proposed within this development. All residential is single-family detached. This addresses resident concerns regarding this issue.

- Request for Site Plan & Follow up
Applicant Response – Emails from the applicant were sent out October 21, 2016 to those who requested additional information. An open line of communication was offered as well as an attached site plan.
- Increased traffic
Applicant Response – A Traffic Impact Analysis was done as part of the zoning submittal process for both projects. The TIA's have been submitted, revised per comments, and reviewed by staff. The TIA identifies traffic impacts and improvements required to mitigate impacts. While the applicant acknowledged that traffic will increase with the proposed development, various roadway improvements and mitigation will be provided to accommodate the increased traffic in the area. The conclusions of the TIA's indicate that with the proposed improvements and mitigation, all roadways will operate at an acceptable level of service at full build out.

VII. PUBLIC CORRESPONDENCE SUMMARY AND PLAN REVISIONS

The applicant received a phone call in response to the email sent out on October 21, 2016. That call was in reference to clarification on the date of the upcoming public hearings, and the scheduled Annexation public hearing on November 15, 2016. No other correspondence has been received.

No major adjustments were necessary to address resident concerns with the project based on feedback received at the neighborhood meeting and through comment cards. The applicant remains open to resident comments, but believes the current plan does respond to all comments expressed by the residents.

**CITIZEN PARTICIPATION FINAL REPORT
UPDATE**

**175TH & SWEETWATER
PLANNED UNIT DEVELOPMENT**

PARCEL NUMBERS: 502-04-002P

CITY OF SURPRISE

PREPARED BY:

LVA URBAN DESIGN STUDIO, LLC
120 E. Ash Ave.
Tempe, AZ 85281

AUGUST 2017

PUD ZONING
(Case #'s FS16-391)

175TH & SWEETWATER OUTREACH EFFORTS UPDATE

In 2016 the subject site, a ten acre parcel located on the southeast corner of 175th Avenue and Sweetwater Avenue alignment, underwent annexation and proposal for rezoning and preliminary plat as part of a larger master plan. Extensive outreach efforts were conducted as part of that project and can be referenced in City of Surprise records, case number FD16-391 and FS16-392.

As part of the revised application for rezoning and Preliminary Plat, a follow up neighborhood meeting was held on August 2, 2017 to present the revised plan to the public and give an opportunity for local residents to learn about the project, ask questions, and express their comments or concerns regarding the project. The neighborhood meeting was held at Sunset Hills Elementary located at 17825 W. Sierra Montana Loop Surprise, Arizona on Wednesday August 2, 2017 from 6:00pm to 7:00pm.

NOTIFICATION EFFORTS

On July 17, 2017 notification signs were updated on the subject site informing the surrounding community of the proposed applications and of the neighborhood meeting. These signs will remain in place and continue to be updated as the application advances through to City Council. See **Appendix A**, *Site Posting Affidavits* includes photos of the signs, locations, and affidavits.

Mailed notification letters were sent from the City of Surprise to surrounding property owners and HOAs in advance of the meeting. The letters included a map of the project and details on the neighborhood meeting.

An advertisement was also posted in in the Daily News-Sun with a map and details of the Citizen Review Meeting.

NEIGHBORHOOD MEETING – AUGUST 2017

On Wednesday, August 2, 2017 the applicant team arrived at Sunset Hills Elementary school to set up exhibit boards and sign in/comment card tables. Directional signs were posted in the parking lot and outdoor hallways to direct and notify residents to the meeting room. See **Appendix B**, *Meeting Exhibits* for a copy of all exhibits presented at the Neighborhood Meeting.

Three attendees were recorded on the sign-in sheet (See **Appendix C**, *Sign-In Sheet and Comment Cards*) for the open house style neighborhood meeting. Guests were greeted at the door and encouraged to walk through the exhibits with a member of the development team. Comment cards were provided throughout the meeting, and one was received with a request to receive development plan graphics. The meeting came to a close at 7:00 pm.

Since the neighborhood meeting, the applicant has followed up and emailed a site plan to one resident who left a request via comment card. No other comments have been received at this time, but the applicant will continue to accepted feedback though the application process. All sent and received e-mails to date have been included with this report as **Appendix D**, *Scanned E-mail Comments & Responses*.

CONCLUSION

No adjustments were necessary to address resident comment and/or concerns with the project based on feedback received at the neighborhood meeting and through comment cards. The applicant remains open to resident comments through the public hearing process.

APPENDICES

Appendix A - *Site Posting Affidavits*

Appendix B - *Meeting Exhibits*

Appendix C - *Sign-In Sheet and Comment Cards*

Appendix D - *Scanned E-mail Comments & Responses*



**DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND**

3 October 2016

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon St.
Luke AFB AZ 85309-1629

Ms. Jamie Sullivan
Development Services Specialist
City of Surprise Planning Department
16000 N. Civic Center Plaza
Surprise AZ 85374

Re: FS16-391; 175th Ave & Sweetwater Avenue

Dear Ms. Sullivan

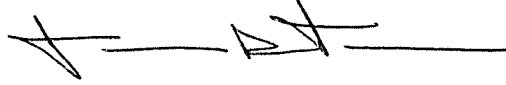
Thank you for the opportunity to provide comments on the Rezone and Preliminary Plat Application for 175th and Sweetwater Avenues. The site is on 10 net acres located at the southeast corner of 175th and Sweetwater Avenues within unincorporated Maricopa County however is within the City of Surprise General Planning Area. This request is a rezoning with a preliminary plat for a planned residential community consisting of 55 units, for an overall density of 5.5 dwelling units per acre. The subject property is currently vacant zoned Rural 43 (R-43), requested zoning for the property will be Residential Medium, Planned Unit Development (RM-9 PUD). The site is approximately 2.7 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is outside the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

Luke AFB follows the guidelines in the Graduated Density Concept (GDC). The GDC proposes, in the absence of a more restrictive state, county or municipal general or comprehensive plan, graduating densities away from the 65 Ldn as follows: a maximum of 2 du/acre from the 65 Ldn to 1/2 mile, a maximum of 4 du/acre from 1/2 to 1 mile, and a maximum of 6 du/acre from 1 to 3 miles. The density of 5.5 du/ac meets these guidelines.

This request, as stated in the application, will not negatively impact the flying operations at Luke AFB. Since the site will be located inside the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential residents about Luke AFB operations.

If there are any questions, please contact my Community Planner, Ms. Barbara Plante,
at (623) 856-9981.

Sincerely

A handwritten signature in black ink, consisting of a stylized 'J' followed by a horizontal line and a small 'M'.

JAMES R. MITCHELL

cc:

Colonel David G. Shoemaker, Vice Commander, 56th Fighter Wing

Ms. Cindy L. Calderon, GS-13, General and Environmental Law Attorney, 56th Fighter Wing

Jamie,

I have reviewed the proposed FS16-391 175th Ave & Sweetwater residential development. The development does not affect any ADOT highway facilities.

We appreciate the opportunity to review and comment.

PETE ENO

Right Of Way Coordinator

205 South 17th Avenue Mail Drop 612E

Phoenix, AZ 85007

602-712-7348

azdot.gov



Jamie,

Thank you for providing the Electronic Submittal for 175th Ave. & Sweetwater (FS16-391).

MWD has reviewed this submittal and determined that the proposed development project will impact MWD. As a result, this development will require a development agreement between MWD and the developer to address the impacts to MWD's facilities and/or property interests. Please have the developer or their consultant contact MWD to discuss this project. Additionally, the developer will need to provide copies of any subdivision plats and utility and improvement plans to MWD for review and approval pursuant to the attached *MWD Drawing Requirements*, along with payment of the applicable plan review fees pursuant to the attached *MWD Fees & Payment Schedule*. Upon our review of the plat and/or plans once they are provided by the developer, MWD will copy the City on our approval and/or comments.

Thanks again,

Debbie Trasancos

Property & Contracts Specialist

Maricopa Water District

14825 W. Grand Ave.

Surprise, AZ 85374

623/546-8266

fax 623/584-2536

debbiet@mwdaz.com

ORDINANCE 2017-02

AN ORDINANCE OF THE MAYOR AND COUNCIL OF THE CITY OF SURPRISE, ARIZONA, APPROVING A REZONE APPROXIMATELY 10 ACRES FROM RESIDENTIAL RANCH (RR) TO RESIDENTIAL MEDIUM DENSITY 5 DU/AC PLANNED UNIT DEVELOPMENT (RM-9 PUD) FOR THE PROJECT KNOWN AS “175TH & SWEETWATER”, GENERALLY LOCATED AT THE SOUTHEAST CORNER OF 175TH AVENUE AND SWEETWATER ROAD.

WHEREAS, this Ordinance was properly noticed for public hearing and the necessary hearings and opportunity for public input were completed;

WHEREAS, the subject site is generally located at the southeast corner of 175th Avenue and Sweetwater Road;

WHEREAS, the subject site was annexed into the City of Surprise under Ordinance # 2017-01 and currently enjoys Residential Ranch (RR) zoning as a result of that annexation;

WHEREAS, the proposed use of the subject site requires modification of the applicable zoning regulations;

WHEREAS, the proposed Rezone to, Residential Medium Density, maximum 5 dwelling units per gross acre (RM-9 PUD) satisfies the requirements set forth in Chapter 122 of the Surprise Municipal Code;

WHEREAS, this Rezone is in harmony with the purposes and intent of the zoning ordinance and the Surprise General Plan; and

WHEREAS, on September 7, 2017, the Planning and Zoning Commission recommended approval of the 175th & Sweetwater development.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Surprise, Arizona, as follows:

Section 1. *Rezoning.* The parcel legally described on Exhibit A and depicted on Exhibit B, known as “175th & Sweetwater” is rezoned from Residential Ranch (RR) to Residential Medium Density, maximum 5 dwelling units per gross acre (RM-9 PUD) in a manner consistent with the Zoning Map included in Exhibit B subject to the following stipulations:

- a. Development and use of the site shall be in substantial conformance with the project narrative entitled “175th & Sweetwater”, prepared by LVA Urban Design Studio, dated revised August 2017 and stamped received August 15, 2017, except as modified by the following stipulations.
- b. Non-compliance with the stipulations of approval of this case will be treated as a violation in accordance with the provisions of Article XIV of the Surprise Unified Development Code.

Section 2. *Amendment of Zoning Map.* The City of Surprise zoning map is herewith amended to reflect the change in districts referred to in Section 1 above.

Section 3. *Codification.* This Ordinance is not of a general nature and shall not be codified.

Section 4. *Repeal of Conflicting Ordinances.* All ordinances or parts of ordinances in conflict with the provisions of this ordinance or any part of the code adopted herein by reference are hereby repealed, upon the effective date of this Ordinance.

Section 5. *Severability.* If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

Section 6. *Effective Date.* This ordinance shall become effective at the time and in the manner prescribed by law.

APPROVED AND ADOPTED this _____ day of _____ 2017.

Sharon R. Wolcott, Mayor

Attest:

Approved as to form:

Sherry Aguilar, City Clerk

Robert Wingo, City Attorney

EXHIBIT "A"

DESCRIPTION

175TH & SWEETWATER REZONE FROM RR TO RM-9 PUD

A portion of the southeast quarter of Section 14, Township 3 North, Range 2 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

BEGINNING at the Center Quarter Corner of said Section 14;

Thence easterly along the east-west mid-section line of said Section 14 North 89°48'53" East 1081.58 feet;

Thence departing said mid-section line South 00°10'50" East 401.53 feet;

Thence South 89°48'53" West 1084.33 feet to the north-south midsection line of said Section 14;

Thence along said mid-section line North 00°12'46" East 401.54 feet to the POINT OF BEGINNING.

Containing 9.9825 acres, more or less.

Attached is EXHIBIT "B" and by this reference is made a part hereof.

End of description



EXPIRES 09-30-2017

EXHIBIT "B"

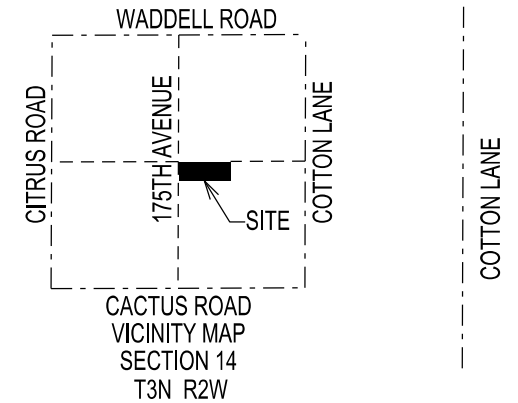
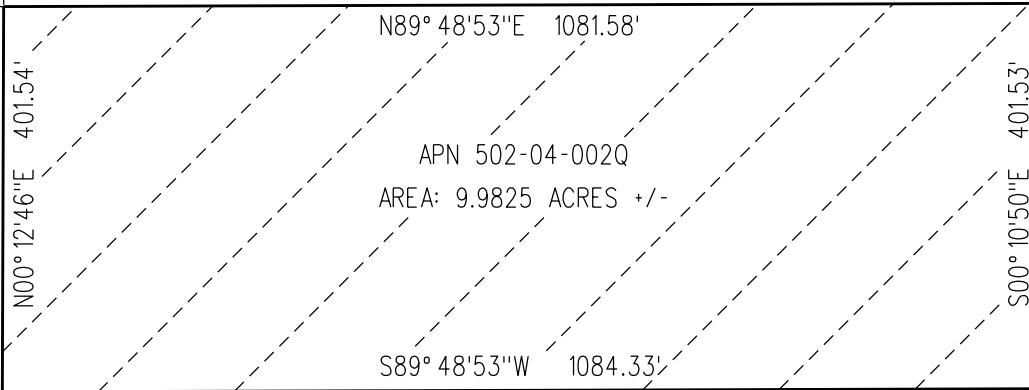
SWEETWATER AVENUE

CENTER 1/4 COR
SEC 14,
T3N, R2W

E 1/4 COR
SEC 14,
T3N, R2W

EAST-WEST MID-SECTION LINE

N89° 48'53"E 1562.35'



LEGEND

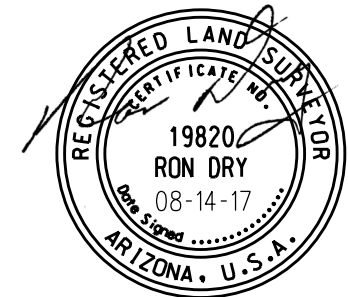
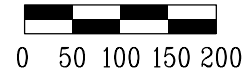
- POB POINT OF BEGINNING
APN ASSESSORS PARCEL NUMBER
 SUBJECT PROPERTY

BASIS OF BEARINGS

Maricopa County Low Distortion Projection
Linear unit: International foot
Geodetic Datum: NAD 1983
Projection type: Lambert Conformal Conic (single parallel)
Latitude of origin: 33° 15'00"N
Central meridian: 112° 15'00" W
False northing: 1,500,000.000 ift
False Easting: 2,500,000.000 ift
Standard parallelscale: 1.000045 (exact)



SCALE: 1"=200'



EXPIRES 09/30/17

175TH AVENUE
NORTH-SOUTH MID-SECTION LINE
S00° 12'46"W 2238.83'

S 1/4 COR
SEC 14,
T3N, R2W

CACTUS ROAD



CITY OF SURPRISE
LAND SURVEY DEPARTMENT
16000 N. CIVIC CENTER PLAZA
SURPRISE AZ. 85374

175TH & SWEETWATER REZONE FROM RR TO RM-9 PUD

PROJECT #17024

DRAWN BY RCD

DATE 08-14-17

SHEET 1 OF 1

PUBLIC ENGAGEMENT FORM

PROJECT TITLE:

OVERALL PUBLIC INVOLVEMENT LEVEL:

IDENTIFY STAKEHOLDERS:

OBJECTIVES:

PUBLIC ENGAGEMENT STRATEGIES & TOOLS:

Public Engagement & Project timeline:

Public outreach time frame (when to when)

Future Council Work Session/Meetings target dates

Election dates (if applicable)

Project start/completion dates

Communication Tools and Technique options: (which do you plan to use?)

Press releases

Public meetings (video/photos, poster boards, fact sheet(s) *do you need Spanish version?)

Presentations to boards and commissions, other interested community partners/stakeholders

Third-party consultant/moderator (pending budget)

Survey (online/paper/both?)

Social media

Surprise 11

Notify Me email/ Council newsletters (opt-in audience)

Paid advertising (pending budget)

Surprise Progress (mailed quarterly and tied to print deadlines)

Booth at city events

Paid mailings (pending budget)

Creation of a subcommittee/task force

Youth/adult activities, registration, or orientation (HOA Academy)

Website updates



CITY OF SURPRISE
Regular City Council Meeting

October 3, 2017 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date:	October 3, 2017	Contact Person:	Lindsey Duncan, Finance Director
Submitting Department:	Finance Dept	District:	1
Staff Recommendations:	None		

Consent	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Presentation and discussion on FY2017 unaudited Financial Status Report.

Motion:

None

Background:

During the FY2018 budget process, estimates for expenses and revenues were presented for FY2017. These FY2017 estimates helped define the available funds for FY2018. This presentation will gauge the FY2017 estimates against actual financial performance and guide future financial discussions. As the annual financial audit is currently underway, the amounts presented are not yet final for FY2017.

Objective Analysis:

The FY2017 estimates used during the FY2018 established the beginning fund balance, a key component of identifying available resources. The FY2018 budget was adopted based on these resource assumptions. Variances from these estimates will impact resource assumptions and therefore the current and future budgets.

Policy Compliant:

This item is compliant with City and Council Policy.

Financial Impact:

The attached presentation provides an update of the year to date revenue and expenditures for the general fund through June 2017.

Budget Impact:

This item does not amend the current fiscal year budget. There will be discussion of the city's financial performance compared to estimates used during the FY2018 budget process. This will help to bring in to focus the funds available for future budget actions.

FTE Impact:

This item does not change the full time equivalent position count.

ATTACHMENTS:

Click to download

No Attachments Available
