



CITY OF SURPRISE
Planning and Zoning Commission Agenda
16000 N. Civic Center Plaza
Surprise, AZ 85374

Thursday, April 7, 2016 @ 6:00 PM
 COUNCIL CHAMBERS

* [Back](#) [Print](#)

CALL TO ORDER.

- A. Roll Call
- B. Pledge of Allegiance
- C. Current Events and Reports – Pursuant to A.R.S. §38-431.02(k) the chief administrator, presiding officer or a member of a public body may present a brief summary of current events without listing in the agenda the specific matters to be summarized, provided that 1) The summary is listed on the agenda; and 2) The public body does not propose, discuss, deliberate or take legal action at that meeting on any matter in the summary unless the specific matter is properly noticed for legal action.
- D. Staff Reports

Planning and Zoning Commission Agenda:

CALL TO THE PUBLIC:

INSTRUCTIONS: In order to address the Board\Commission, you will need to fill out a Call to the Public Form available at the front counter, and then turn it in to the Secretary before the meeting begins.

Note: A.R.S. 38-431.01(H) - During this time members of the public may address the Board\Commission on any item not on the agenda. At the conclusion of the open call, the Board\Commission may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

- E. Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Board\Commission. There will be no separate discussion on these items unless a board member or commissioner requests, in which event the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

CONSENT AGENDA:

REGULAR AGENDA ITEM - NON-PUBLIC HEARING:

STAFF
RECOMMENDATION/

ITEM #	DISTRICT #	ITEM DESCRIPTION
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PRESENTED BY

- | | | | |
|----|-------------------|--|--|
| #1 | District Internal | <u>Consideration and action pertaining to approval of the March 17, 2016 Planning and Zoning Commission minutes.</u> | Approve
Heather
Donaldson,
Community
Development |
| #2 | District 5 | <u>Consideration and action item regarding a Site Plan Amendment for Calvary Chapel Surprise.</u> | Approve
Hobart Wingard -
Community
Development |

OTHER BUSINESS:

- | | | | |
|----|-------------------|--|---|
| #3 | District Internal | <u>Discussion pertaining to future agenda items.</u> | No Action
Eric Fitzer,
Community
Development |
|----|-------------------|--|---|

ADJOURNMENT:

SHERRY ANN AGUILAR, CITY CLERK, CMC

POSTED: March 30, 2016 at 12:15 PM

SPECIAL NOTE: PERSONS WITH SPECIAL ACCESSIBILITY NEEDS, INCLUDING LARGE PRINT MATERIALS OR INTERPRETER, SHOULD CONTACT THE CITY CLERK'S OFFICE @ 623.222.1200 OR TTY 623.222.1002, BY NO LATER THAN 24 HOURS IN ADVANCE OF THE REGULAR SCHEDULED MEETING TIME.



CITY OF SURPRISE
Planning and Zoning Commission

April 7, 2016 @ 6:00:00 PM

Back Print

Board Meeting Date:	April 7, 2016	Contact Person:	Heather Donaldson, Community Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action pertaining to approval of the March 17, 2016 Planning and Zoning Commission minutes.

Motion:

I move to approve the March 17, 2016 Planning and Zoning Commission minutes.

Background:

Financial Impact Statement:

No Financial Impact

ATTACHMENTS:

Click to download

☐ [3-17-16 P&Z Commission Meeting Minutes](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	x	White Board	x	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

**CITY OF SURPRISE
PLANNING AND ZONING COMMISSION**

MEETING MINUTES

March 17, 2016 / 6:00 PM

**COUNCIL CHAMBERS
16000 North Civic Center Plaza
Surprise, AZ 85374**

CALL TO ORDER.

Chair Ken Chapman called the Planning and Zoning Commission Meeting to order at 6:00 p.m. at Surprise City Hall, 16000 North Civic Center Plaza, Surprise, Arizona 85374, on Thursday, March 17, 2016.

A. ROLL CALL

In attendance were Chair Ken Chapman, Vice Chair Matthew Keating and Commissioners, Dennis Smith, Jerry Hoyler, Jim Ferguson and Steve Somers. Commissioner Shari Martin was absent.

STAFF PRESENT:

Community Development Director Eric Fitzer, Deputy City Attorney Donna Bronski, Planner Hobart Wingard, and Planning and Zoning Commission Secretary Heather Donaldson.

COUNCIL MEMBERS PRESENT:

None

B. PLEDGE OF ALLEGIANCE

C. CURRENT EVENTS REPORT

D. STAFF REPORT

None

CALL TO THE PUBLIC:

None

CONSENT AGENDA:

No Items

REGULAR AGENDA ITEMS NOT REQUIRING A PUBLIC HEARING:

Item 1 – INTERNAL – Consideration and action pertaining to approval of the March 3, 2016 Planning and Zoning Commission minutes.

Commissioner Smith made a motion to approve the March 3, 2016 Planning and Zoning Commission minutes. Commissioner Somers seconded the motion. The motion passed with 5 votes in favor, 1 abstention (Ferguson) and 1 absence (Martin).

Item 2 – DISTRICT 2 – Consideration and action regarding a Site Plan entitled PHO Remington Monopalm.

Hobart Wingard, Planner, presented the project to the Commission.

Vice Chair Keating made a motion to approve the Site Plan for PHO Remington Monopalm as presented. Commissioner Hoyler seconded the motion. The motion passed with 6 votes in favor and 1 absence (Martin).

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING:

No Items

OTHER BUSINESS:

Item 3 – INTERNAL - Discussion pertaining to future agenda items.

None

ADJOURNMENT:

Hearing no further business, Chair Chapman adjourned the Planning and Zoning Commission meeting at 6:04 p.m.

Eric Fitzer
Community Development Assistant Director

Ken Chapman
Planning and Zoning Commission Chair

The foregoing instrument is a full, true and correct copy of the original document on file in the office of the City Clerk, City of Surprise, Arizona.

ATTEST BY: _____
Heather Donaldson, Commission Secretary

DATE: _____



CITY OF SURPRISE
Planning and Zoning Commission

April 7, 2016 @ 6:00:00 PM

Back Print

Board Meeting Date:	April 7, 2016	Contact Person:	Hobart Wingard - Community Development
Submitting Department:	CD Boards and Commissions	District:	5
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
---------	---------	---	----------------	-------------------

Agenda Wording:

Consideration and action item regarding a Site Plan Amendment for Calvary Chapel Surprise.

Motion:

Staff recommends the Commission approve the Site Plan Amendment proposed under case FS15-468.

Background:

Staff believes the proposed Site Plan Amendment will provide the mechanism needed to allow the owner to conclude the construction of the worship facility and allow it to be developed in a manner that is consistent with the goals and policies of the General Plan.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

ATTACHMENTS:

Click to download

- ☐ [00 - FS15-468 - Calvary Chapel Surprise - Staff Report](#)
- ☐ [01 - FS15-468 - Calvary Chapel Surprise - Originally Proposed Site Plan](#)
- ☐ [02 - FS15-468 - Calvary Chapel Surprise - Currently Proposed Site Plan](#)
- ☐ [03 - FS15-468 - Calvary Chapel Surprise - Landscape Plan](#)
- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Sails Top](#)
- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Sails Front](#)
- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Sails Front 2](#)
- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Sails Back](#)

- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Sails Back 2](#)
- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Sails Front Under](#)
- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Pool](#)
- ☐ [04 - FS15-468 - Calvary Chapel Surprise - Dining](#)
- ☐ [05 - FS15-468 - Calvary Chapel Surprise - Presentation](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video x White Board x Other x

Presentation Speaker Names (spelling and titles for TV captions):

Hobart Wingard, Planner II

Eric Fitzer, Director

CONDITIONAL USE PERMIT

REPORT TO THE PLANNING AND ZONING COMMISSION

Case: FS15-468

Project Name: Calvary Chapel Surprise Site Plan Amendment

Council District: 5 - Palm

Meeting Date: April 7, 2016

Planner: Hobart Wingard, 623-222-3156, hobart.wingard@surpriseaz.gov

Owner: Brad Eberly of Calvary Chapel Surprise Inc.

Applicant: Mike Kramer of JMK & Associates, Inc.

Request: Major Site Plan Amendment in the Mountain Vista Ranch Planned Area Development (PAD) Zoning District.

Site Location: Generally on the Northwest corner of North Reems and West Greenway Roads.

Site Size: 9.13 acres (approx.)

General Plan Conformance: The proposal is consistent with the Surprise General Plan.

Support/Opposition: No communication regarding support or opposition was received.

Findings:

- The proposed Major Site Plan Amendment demonstrates compliance with the current *General Plan 2035*.
- The proposed Major Site Plan Amendment demonstrates compliance with the Mountain Vista Ranch PAD.
- The reviewing agencies have indicated no objections to the request.

Staff Recommendation: Staff recommends the Commission **approve** the Case **FS15-468**, a Site Plan Amendment for Calvary Chapel Surprise as presented.

40 **HISTORY:**

- 41
- 42 • The Mountain Vista Ranch PAD was approved by the Mayor and City Council on July 28,
 - 43 1994.
 - 44 • A Site Plan for the Commercial Corner was approved by the Planning and Zoning
 - 45 Commission on July 18, 2006.
 - 46 • Staff administratively approved a Site Plan Amendment for temporary parking on April 9,
 - 47 2008.
 - 48 • The Planning and Zoning Commission approved a Conditional Use Permit for daycare
 - 49 facilities in the commercial center on May 20, 2008.
 - 50 • The applicant met with staff for a Concept Review Meeting on June 10, 2015.
 - 51 • The applicant submitted for a Site Plan Amendment on November 19, 2015.
- 52

53 **PROJECT DESCRIPTION:**

54

55 This site is located at the northwest corner of Greenway and Reems Roads. The original design for

56 the site was intended to be a retail facility with additional buildings along Greenway Road. Due to

57 the past economy, the property had difficulty leasing retail space and sat vacant for several years.

58 Calvary Chapel Surprise was able to secure a lease for this property and eventually purchased the

59 commercial center excluding the bank located on the hard corner. Because this proposal is for the

60 ultimate design of the facility, the City required that any upgrades to the facility require the front

61 parking lot be paved and the master site plan updated.

62 Improvements the site includes paving and associated curbing, landscaping, and decorative screen

63 walls. A series of sun shades along the south face of the worship center and extending to and

64 including the space at the apex of the two (2) building structures will provide shade for areas of

65 gathering. The shade should encourage outdoor activities and social interaction. The courtyard area

66 located between the two (2) existing buildings will also have an outside baptistery pool with that

67 courtyard being enclosed with a decorative wrought iron fence and a steel grate just below the

68 surface of the water in the baptistery. This area will also serve as an outdoor dining and fellowship

69 space. An outdoor kitchen space will be installed for these fellowship times.

70 **SUMMARY:**

71

72 Staff believes the proposed Site Plan Amendment will provide the mechanism needed to allow the

73 owner to conclude the construction of the worship facility and allow it to be developed in a manner

74 that is consistent with the goals and policies of the General Plan.

75

76 **Attachments:**

- 77
- 78 01 – Vicinity Maps (2 Sheets)
 - 79 02 – Originally Proposed Site Plan (1 sheet)
 - 80 03 – Currently Proposed Site Plan (1 sheet)
 - 81 04 – Landscape Plan (1 sheet)
 - 82 05 – Elevations and Renderings of Improvements (8 sheets)
 - 83 06 – PowerPoint (18 sheet)



PRELIMINARY LANDSCAPE PLAN

SCALE 1"=40'-0"

0 40 80 160



PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height/Canopy/Caliper)
TREES			
(A)		Gercidm praecox Palo Verde	Existing
(B)		Acacia salicina Willow Acacia	Existing
(C)		Prosopis juliflora Arizona Mesquite	Existing
(D)		Ulmus parvifolia Evergreen Elm	Existing
LARGE SHRUBS			
(E)		Leucophyllum frutescens Texas Sage	Existing
(F)		Leucophyllum laevigatum Chihuahuan Sage	Existing
(G)		Nerium o. 'Petite Pink' Petite Pink Oleander	Existing
TREES			
(1)		Acacia salicina Willow Acacia	24" Box 8' 4' 1.5" Double-Staked Typ.
(2)		Gercidm floridum 'Desert Museum' Desert Museum Palo Verde	24" Box 7.5' 4' 1.5" 36" Box 10' 8' 2.5" Double-Staked Typ.
(3)		Dalbergia sissoo Sissoo	24" Box 10' 4' 1.25" Double-Staked Typ.
(4)		Fraxinus v. 'Rio Grande' Rio Grande Ash	24" Box 10' 4' 1.5" 36" Box 14' 8' 2.5" Double-Staked Typ.
(5)		Nerium Oleander 'Sister Agnes' Standard Oleander	24" Box 9' 4' 1.25" Double-Staked Typ.
(6)		Pithecellobium flexicaule Texas Ebony	36" Box 6' 3' 1.5" Double-Staked Typ.
(7)		Prosopis hybrid 'Phoenix' Thornless Hybrid Mesquite	24" Box 8' 4' 1.5" 36" Box 10' 8' 2.5" Double-Staked Typ.
(8)		Quercus virginiana Heritage Live Oak	24" Box 9' 4' 1.25" Double-Staked Typ.
LARGE SHRUBS			
(9)		Eremophila 'Valentine' Valentine Bush	5 Gallon
(10)		Leucophyllum langnense Rio Bravo Texas Ranger	5 Gallon
(11)		Nerium o. 'Petite Pink' Petite Pink Oleander	5 Gallon
MEDIUM AND SMALL SHRUBS			
(12)		Gallandria californica Baja Red Fairy Duster	5 Gallon
(13)		Carissa grandiflora Green Carpet Natal Plum	5 Gallon
(14)		Muhlenbergia capillaris 'Regal Mist' Regal Mist Deer Grass	5 Gallon
(15)		Ruellia peninsularis Baja Ruellia	5 Gallon
GROUNDCOVERS			
(16)		Convolvulus cneorum Bush Morning Glory	1 Gallon
(17)		Lantana n. 'New Gold' New Gold Lantana	1 Gallon
(18)		Rosmarinus officinalis 'Prostratus' Dwarf Rosemary	5 Gallon
ACCENTS			
(19)		Agave geminiflora Twin Flower Agave	5 Gallon
(20)		Caesalpinia pulcherrima Red Bird of Paradise	5 Gallon
(21)		Bougainvillea 'Torch Glow' Torch Glow Bougainvillea	5 Gallon
(22)		Dasyliion wheeleri Desert Spoon	5 Gallon
LANDSCAPE MATERIALS			
(23)		Decomposed Granite Desert Gold	1/2" size screened 2' Deep
(24)		Concrete Header	4' x 6' Curbstyle 2' Deep
(25)		Midiron Bermuda	Sod

NOTE:
QUANTITIES SHOWN FOR CITY APPROVAL ONLY. LANDSCAPE CONTRACTOR TO
INSTALL QUANTITIES AS SHOWN ON PLAN, NOT ON LEGEND

DECOMPOSED GRANITE TO OCCUR IN ALL LANDSCAPE AREAS EXCEPT TURF,
RIVER ROCK, AND HARDSCAPE, UNLESS NOTED ON PLANS

SMALLER TREE SIZE TO TAKE PRECEDENCE, UNLESS NOTED ON PLANS

Two working days before you dig
CALL FOR THE BLUE STAKES
263-1100
Blue Stake Center
CALL COLLECT



05169
The Campbell Collaborative
Landscape Architects and Planners
1747 E. Morten, Suite 306
Phoenix, Arizona 85020
(602) 266-1644 Fax: (602) 266-1607



Andrews Design Group, Inc.

ARCHITECTURE PLANNING INTERIORS PROJECT MANAGEMENT

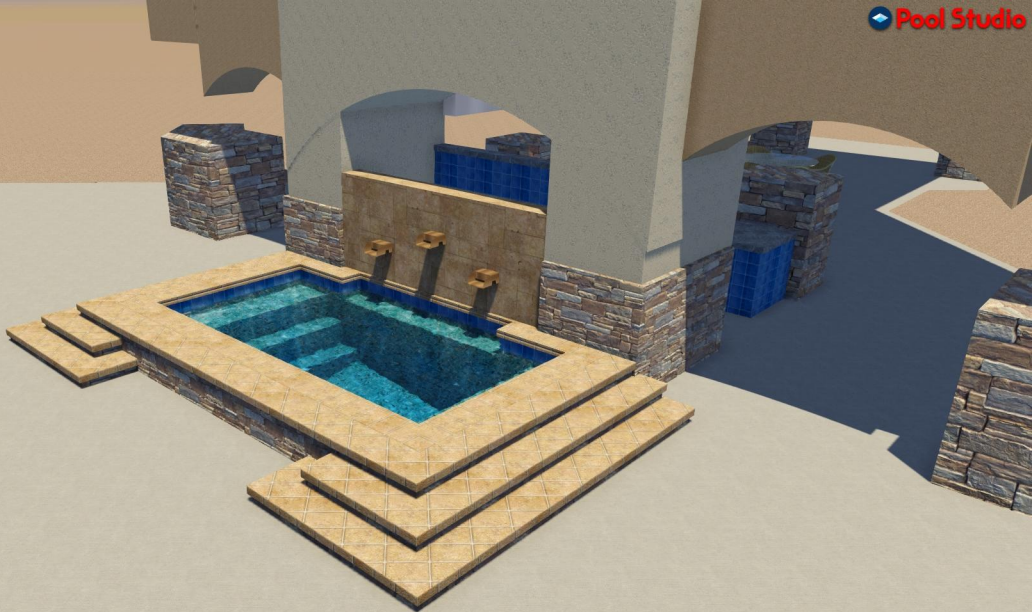
GREENWAY & REEMS RETAIL
NWC GREENWAY RD. & REEMS RD.
SUPRISE, AZ
ADG PROJECT No. A2005

1425 W. SOUTHERN AVE #10-A TEMPE, ARIZONA 85282 (480) 894-3344 FAX: (480) 894-6444

No. DATE REVISIONS

L1

DATE: 05/30/08





Calvary Chapel Surprise

April 7, 2016



VICINITY MAP



Sarival Avenue

**Mountain Vista
Ranch**

Site

Reems Road

**Paradise
Acres**

**Parkview
Place**

Greenway Road

Greenway Parc

Countryside

VICINITY MAP



**Mountain Vista
Ranch**

Reems Road

Site

Greenway Road



PREVIOUSLY APPROVED SITE PLAN



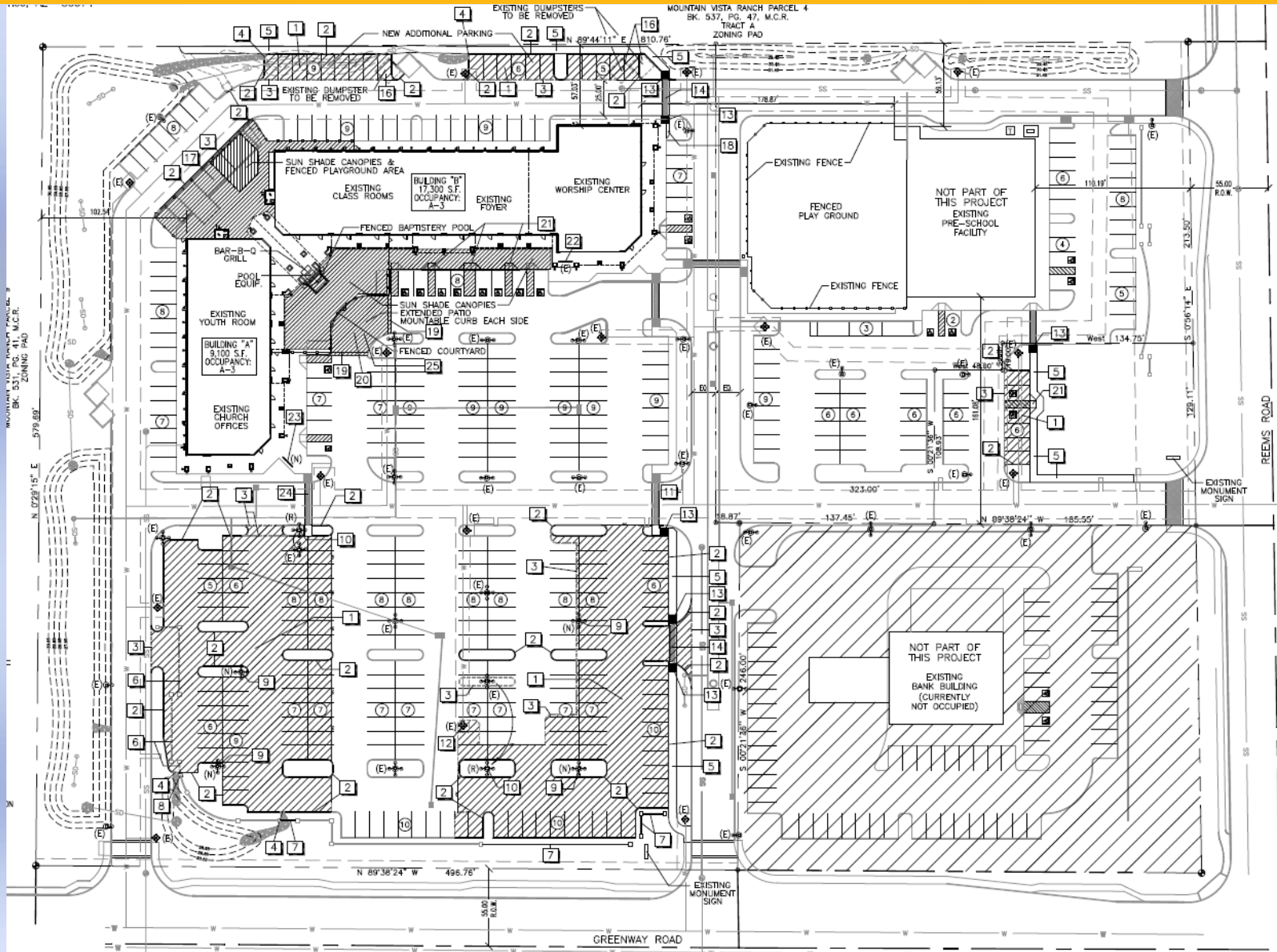
PREVIOUSLY APPROVED SITE PLAN



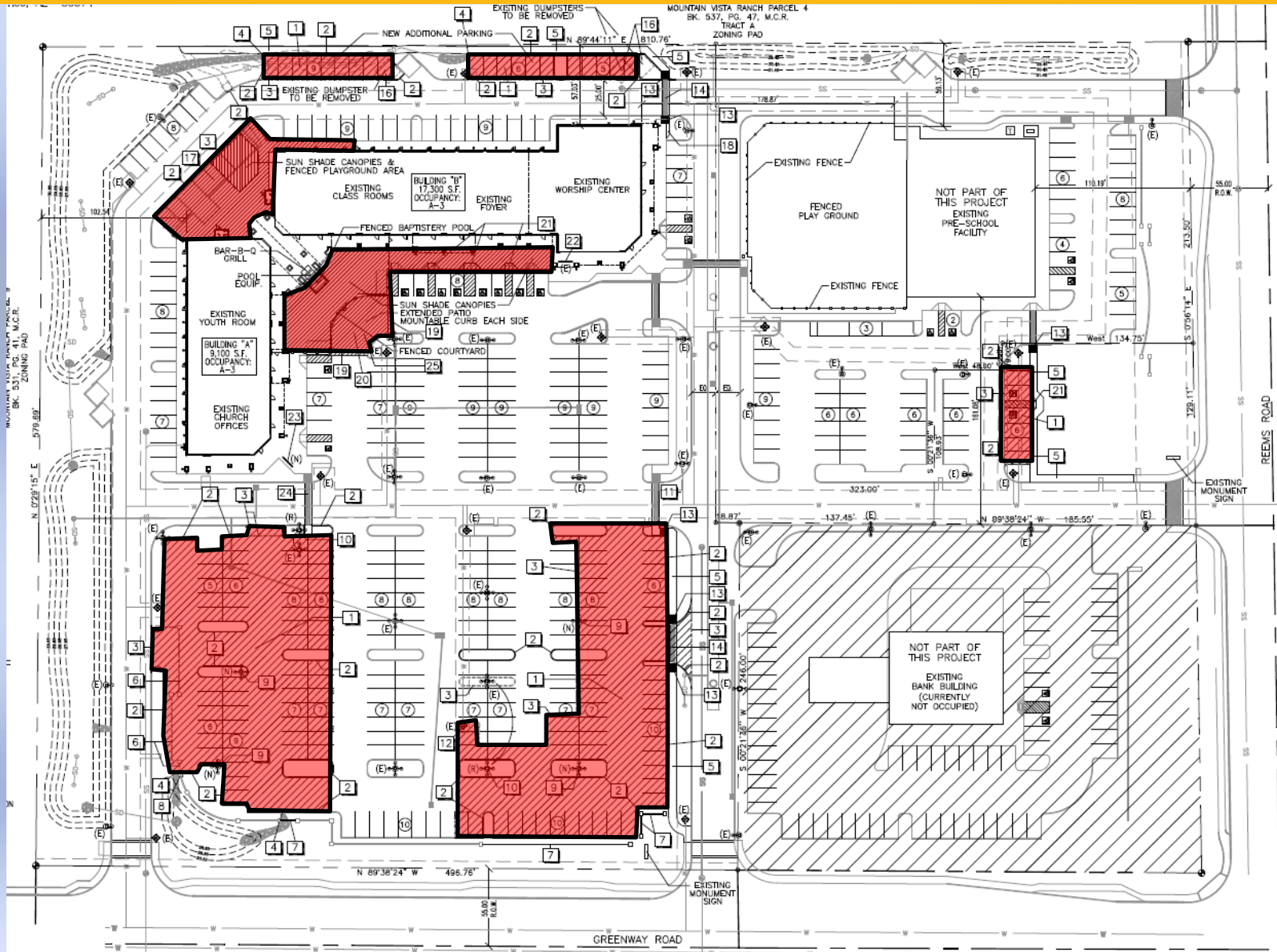
PREVIOUSLY APPROVED SITE PLAN

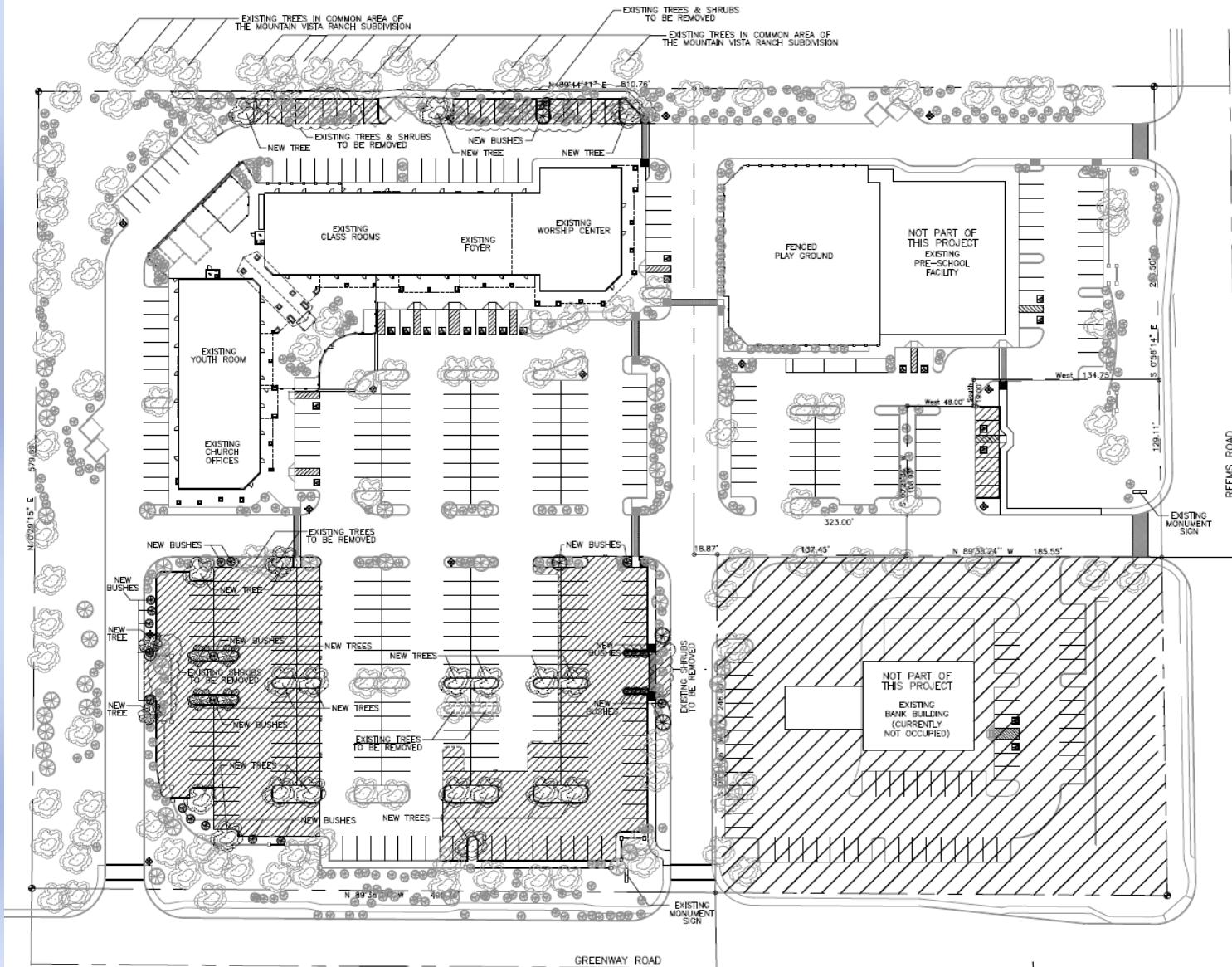


PROPOSED SITE PLAN



PROPOSED SITE PLAN





PROPOSED RENDERINGS - PLAN



PROPOSED RENDERINGS - FRONT



PROPOSED RENDERINGS - FRONT



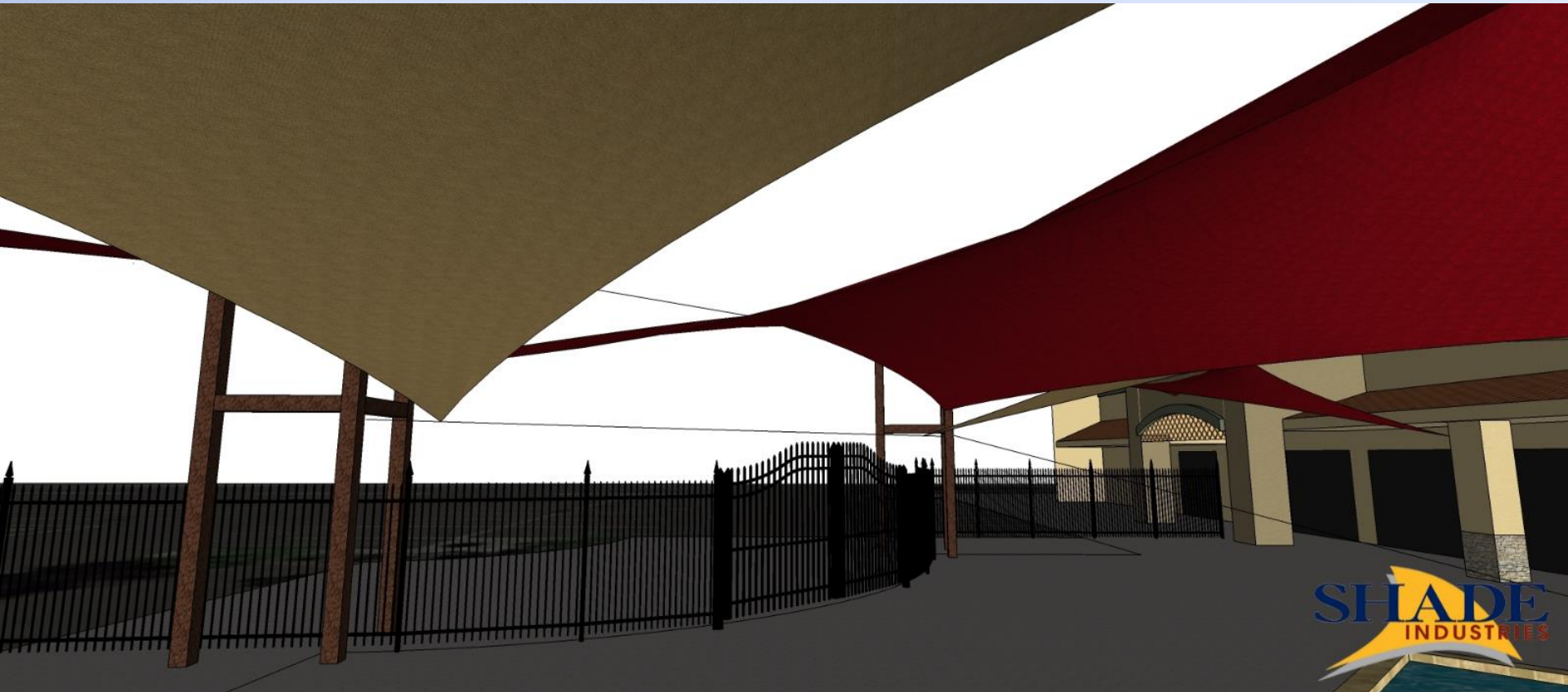
PROPOSED RENDERINGS - REAR



PROPOSED RENDERINGS - REAR



PROPOSED RENDERINGS - UNDER



PROPOSED RENDERINGS - POOL



LANDSCAPE PLANS - DINING



Questions or Comments?



RECORD OWNER

APN 501-79-561, &
APN 501-79-562, &
CALVARY CHAPEL SURPRISE INC
15568 W. GREENWAY RD.
Surprise, AZ 85374

BASIS OF BEARING

N00°56'14"W ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 NORTH, RANGE 1 WEST, GLA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA PER BOOK 537 OF MAPS, PAGE 47 MCR.

BENCHMARK

BRASS CAP FLUSH AT INTERSECTION OF GREENWAY ROAD AND VISTA RANCH ROAD
ELEVATION: 1234.71 (NAVD 88 DATUM)
CITY OF SURPRISE BENCHMARK 15

TOTAL AREA

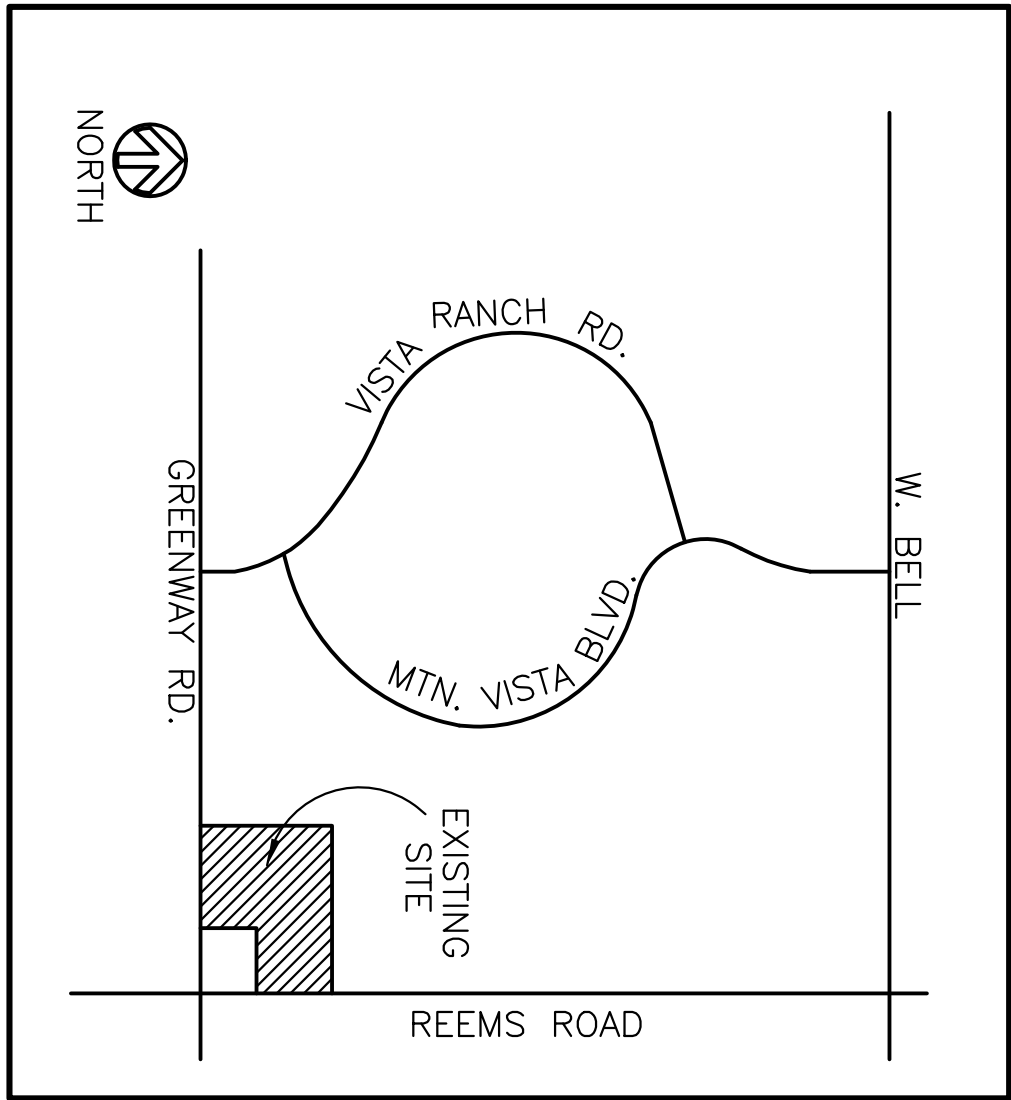
398,700 sqft
9,153 ac.

ZONING

PAD
Mountain Vista Ranch

ENGINEER

JMK & ASSOCIATES
14321 N. 161ST AVE.
Surprise, AZ 85374



VICINITY MAP

LEGEND

- 5 CONSTRUCTION NOTE
- NEW AREAS OF ASPHALT
- NEW 6" CURB
- EXISTING 6" CURB TO BE REMOVED
- WATER AND UTILITY EASEMENTS
- EXISTING SANITARY SEWER LINES
- EXISTING STORM DRAIN LINES
- EXISTING WATER LINES
- EXISTING RETENTION BASIN CONTOUR LINES
- EXISTING 2 CHAMBER DRYWELLS
- EXISTING RP-RAP AND HEAD WALL
- EXISTING FIRE HYDRANTS
- PARKING LOT POLE LIGHTS
- 8 BIKE BIKERACK
- NUMBER OF PARKING SPACES IN A LOCATION
- 9 NOT A PART OF THIS PROPERTY
- (E) EXISTING
- (N) NEW
- (R) RELOCATED

CONSTRUCTION NOTES

- 1 4" ASPHALT OVER, 5" ABC OVER, 8" SUBGRADE AS PER SOILS REPORT FROM VANN ENGINEERING
- 2 NEW 6" EXTRUDED CURB TO MATCH EXISTING
- 3 EXISTING CURBING TO BE REMOVED
- 4 NEW CURB CUT OPENING TO MATCH EXISTING CUTS
- 5 NEW 5" WIDE SIDEWALK AS PER M.A.G. DETAIL 230
- 6 EXISTING PARKING LOT SCREENING WALLS TO BE REMOVED
- 7 NEW PARKING LOT SCREENING WALLS TO MATCH EXISTING SCREENING WALL ON PROJECT.
- 8 NEW END COLUMN TO MATCH THE EXISTING SCREENING WALL COLUMNS
- 9 NEW TYPE P-3 PARKING LOT POLE LIGHTS TO MATCH EXISTING POLE LIGHTS
- 10 RELOCATE EXISTING LIGHT POLE TO LOCATION AS INDICATED ON PLAN
- 11 PREVIOUSLY REMOVED FIRE HYDRANT
- 12 REMOVE EXISTING FIRE HYDRANT AND TREMUMATE AS REQUIRED BY THE CITY OF SURPRISE WATER DEPT.
- 13 HANDICAP RAMP TO MATCH EXISTING SIDE WALK HANDICAP RAMPS AT THE SITE
- 14 STAMPED CONCRETE CROSS WALK TO MATCH EXISTING CROSS WALKS AT THE SITE
- 16 REMOVE EXISTING DUMPSTER ENCLOSURE
- 17 NEW CONCRETE TO REPLACE PARKING SPACES
- 18 SIDE WALK EXTENSION TO ACCOMMODATE NEW ACCESS RAMP
- 19 ROLL OVER CURB AS PER TYPE "D"
- 20 NEW CONCRETE OVER ASPHALT TO MATCH ELEVATION OF EXISTING CURB AND NEW ROLL OVER CURB
- 21 HANDICAP PARKING RAMP TO MATCH EXISTING PARKING HANDICAP RAMPS AT THE SITE
- 22 EXISTING 8 BIKE BIKERACK
- 23 NEW 8 BIKE BIKERACK
- 24 EXISTING CROSSWALK
- 25 ASPHALT 31-40 TURNING RADIUS FITS THIS CURVE AREA

LEGAL DESCRIPTION

PARCEL NO. 1:

LOTS 1, 2 AND 3, OF FINAL PLATE FOR NWC OF GREENWAY & REEMS ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1093 OF MAPS, PAGE 26.

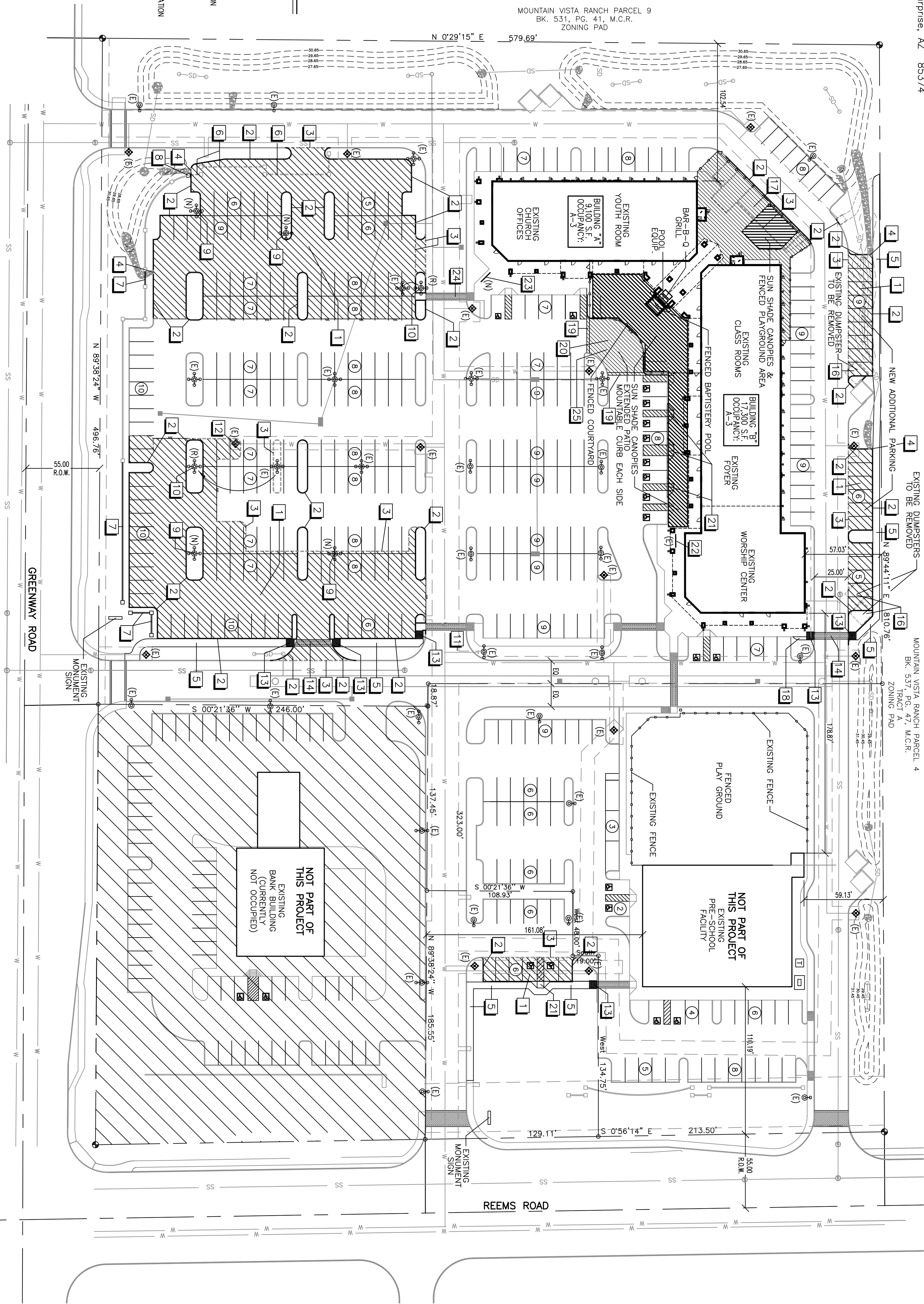
OFF-STREET PARKING CALCULATIONS

BUILDING AREA	PARKING UNIT	SURPRISE PARKING STANDARD SEC. 125-249	PARKING PROVIDED ALL LOTS
EXISTING BUILDING: WORSHIP CENTER	630 SEATS	1 SP. PER 4 SEATS	158 SPACES
CLASS ROOMS	10 ROOMS	3 SP. PER CLASSROOM	30 SPACES
REQUIRED ACCESSIBLE PARKING PLACES			8 SPACES
REQUIRED ACCESSIBLE VAN PARKING PLACES			2 SPACES
BIKEWAY SPACES	188 SPACES	1/15 SPACES	13 SPACES
			16 SPACES

SITE PLAN

CALVARY CHAPEL SURPRISE

15610 West Greenway Road
Surprise, AZ 85374



NOT PART OF THIS PROJECT
EXISTING BANK BUILDING
(CURRENTLY NOT OCCUPIED)

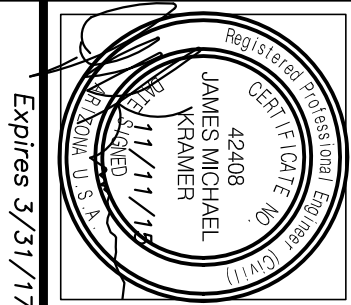
NOT PART OF THIS PROJECT
EXISTING PRE-SCHOOL FACILITY

IBC 2009 Code Compliance Design Criteria

Use - CHURCH
Fire Sprinkled - FULLY SPRINKLED
Number of Stories - SINGLE
Building Height - 30 FT
Occupancy Group - A-3
Construction Type - VB
Allowable Area - A= 6000sqft, B= 6000sqft
Area Increase Adj. - A= 5183sqft, B= 5503sqft
f= 100 (F/P -25) w/ 30
Sprinkled Area
Area Increase Adj. - "A"=18000sqft, "B"= 18000sqft
is= 200% (2 story), 300% (1 story)
Adjusted Allowable Area - "A"=29183sqft, "B"=29183sqft
Actual Area - "A"=9100sqft, "B"=17300sqft
Occupant Load - OFI.=30, CLASSRS=984, WORSHIP=1236

SITE PLAN

CALVARY CHAPEL SURPRISE
15610 West Greenway Road
Surprise, AZ 85374



REVISIONS	BY
RESUBMITTAL	JMK
2/12/16	

JMK & ASSOCIATES, Inc.
15421 N. 161st Ave.
Surprise, Arizona 85374
(623) 251-5148

Date 11/11/15
Scale AS SHOWN
Drawn JMK
Sheet SP1.1

LANDSCAPING NOTES

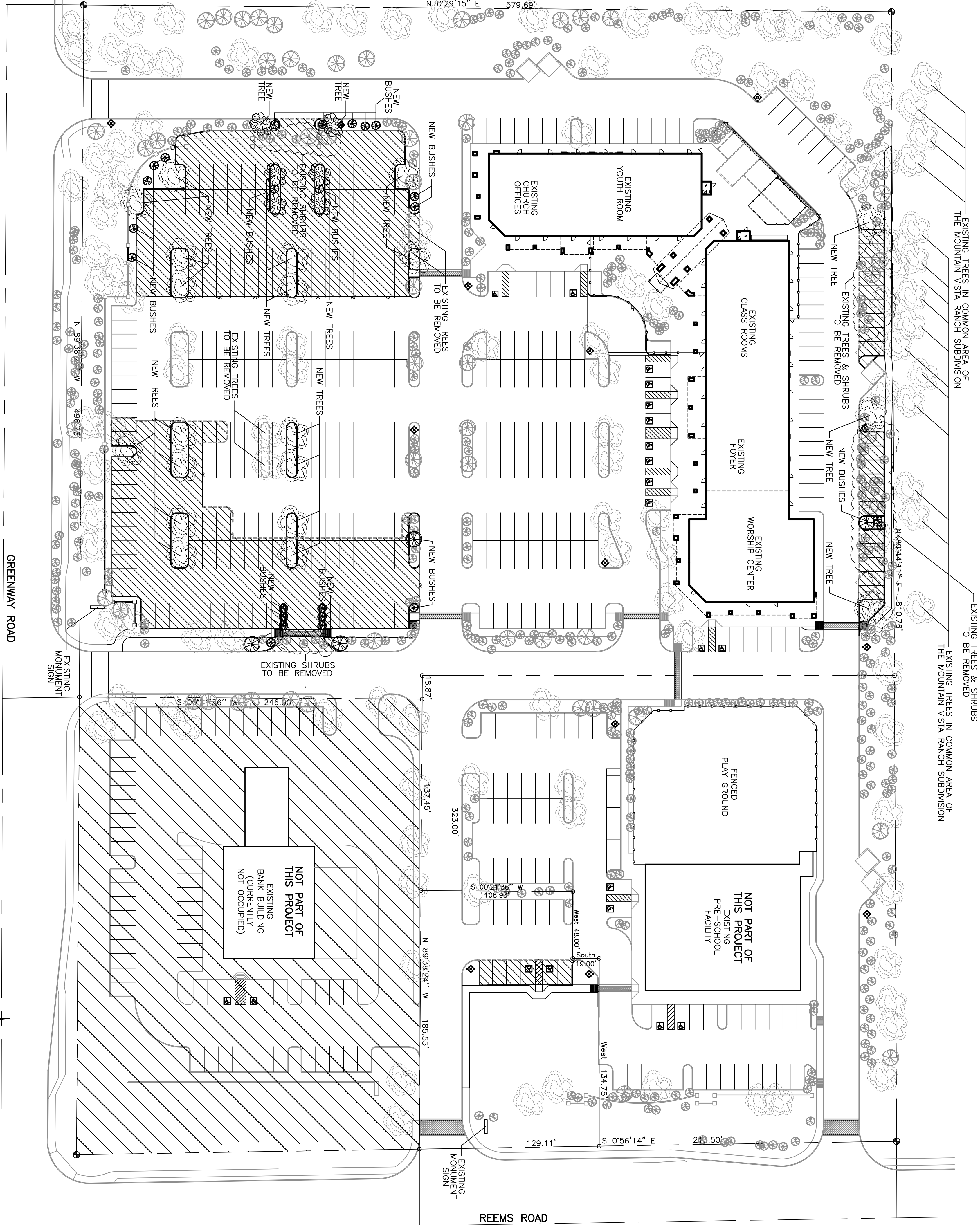
1. ALL PLANTING BEDS SHALL BE CONSTRUCTED WITH WEED BARRIER FABRIC & TOP DRESSED WITH A MINIMUM 2 INCHES DEPTH OF REBEL ROCK MULCH.
2. AMEND & TILL MINIMUM 6 INCH DEPTH ALL SOILS WHERE PLANTS ARE TO BE PLANTED. THESE AREAS SHALL RECEIVE A MINIMUM 4 CUBIC YARDS PER 1,000 S.F. OF COMPOSTED ORGANIC MATERIAL.
3. JMK & ASSOCIATES, INC. SHALL NOT BE HELD RESPONSIBLE FOR THE MEANS, METHODS, OR APPROPRIATENESS OF CONSTRUCTION OR SAFETY PROCEDURE CHOSEN BY ANY CONTRACTORS.
4. ALL LANDSCAPED AREAS TO BE PROVIDED WITH IRRIGATION SYSTEM DESIGNED BY THE SELECTED LANDSCAPE CONTRACTOR.
5. PURPLE PIPE SHALL BE USED FOR ALL IRRIGATION SYSTEM COMPONENTS. EXISTING IRRIGATION SYSTEM SHALL BE EXTENDED TO MEET THE REQUIREMENTS OF THE NEW LANDSCAPING AND AREAS WHERE PLANTINGS HAVE BEEN REMOVED THE EXISTING IRRIGATION SYSTEM SHALL BE CAPPED OFF.
- 6.

PLANTING GUIDE/LEGEND

ID SYMBOL/PLANT TYPE/GENUS NAME	SIZE	NUMBER
TREES		
SISOO TREE DABERGIA SISOO (NOTE THE SISOO TREES WILL REQUIRE A ROOF BARRIER)	24" BOX	20
MOUNTAIN LAUREL KALIMA	24" BOX	6
ORNAMENTAL GRASSES/ SHRUBS		
PETITE PINK OLEANDER NERIUM O. PETITE PINK	5 GAL.	4
BALM RED FAIRY DUSTER CALANDRA CALIFORNICA	5 GAL.	23
DECORATIVE LANDSCAP ROCK AS GROUND COVER SHALL BE INSTALLED AT ALL PLANTING AREAS TO MATCH EXISTING ROCK.		
TREES		
EXISTING TREES, VARIOUS SPECIES		
ORNAMENTAL GRASSES/ SHRUBS		
EXISTING SHRUBS, VARIOUS SPECIES		
EXISTING SMALLER PLANTS BUSHES, VARIOUS SPECIES		

GENERAL LANDSCAPE PLAN NOTES

1. ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
2. ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.
3. SIGNS REQUIRE A SEPARATE PERMIT.
4. ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.
5. PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.
6. TREES PLANTED WITHIN 5 FEET OF CURBING, WALLS, SIDEWALKS, PAVEMENT OR OTHER STRUCTURES MUST BE PLANTED WITH DEEP ROOT BARRIER AND A DEEP ROOT IRRIGATION SYSTEM.
7. ALL PLANT MATERIAL SIZES ARE TO BE CONSISTENT WITH ANA STANDARDS. PAVEMENT OR OTHER STRUCTURES MUST BE PLANTED WITH DEEP ROOT BARRIER AND A DEEP ROOT IRRIGATION SYSTEM.
8. ALL PLANT MATERIAL LOCATED WITHIN ASHTO VISIBILITY TRIANGLES ARE TO BE MAINTAINED TO A MINIMUM OF 2 FEET HIGH, AND HANG NO LOWER THAN 7 FEET FROM GROUND ELEVATION.
9. ALL BACKFLOW PREVENTERS, METERS, ETC. MUST BE ENCLOSED IN A LOCKING PROTECTIVE CAGE.
10. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.



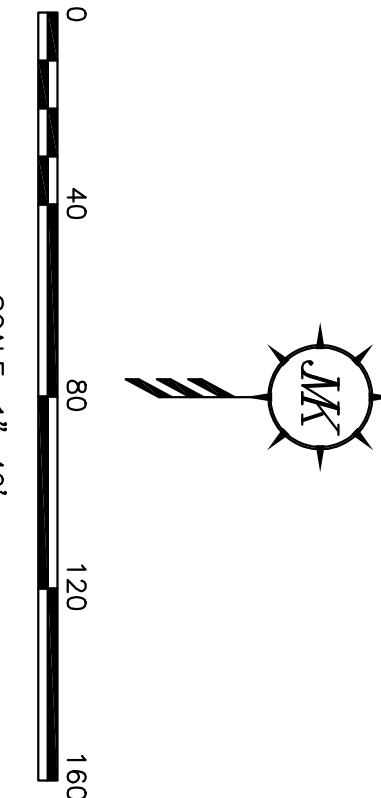
CALL TWO WORKING DAYS BEFORE YOU DIG

602-263-1100

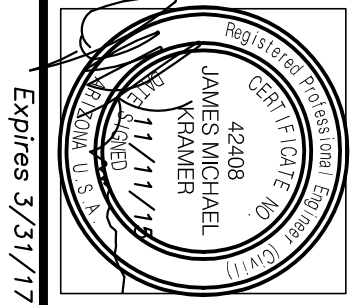
1-800-STAKE-IT

(OUTSIDE MARICOPA COUNTY)

LANDSCAPE PLAN
OF
CALVARY CHAPEL SURPRISE
15610 West Greenway Road
Surprise, AZ 85374



REVISIONS	BY
RESUBMITTAL	JMK
2/12/16	



CALVARY CHAPEL SURPRISE
15610 West Greenway Road
Surprise, AZ 85374

LANDSCAPE PLAN

JMK & ASSOCIATES, Inc.

15421 N. 161st Ave.
Surprise, Arizona 85374
(623) 251-5148

Date

11/11/15

Scale

AS SHOWN

Drawn

JMK

Sheet
L1.1

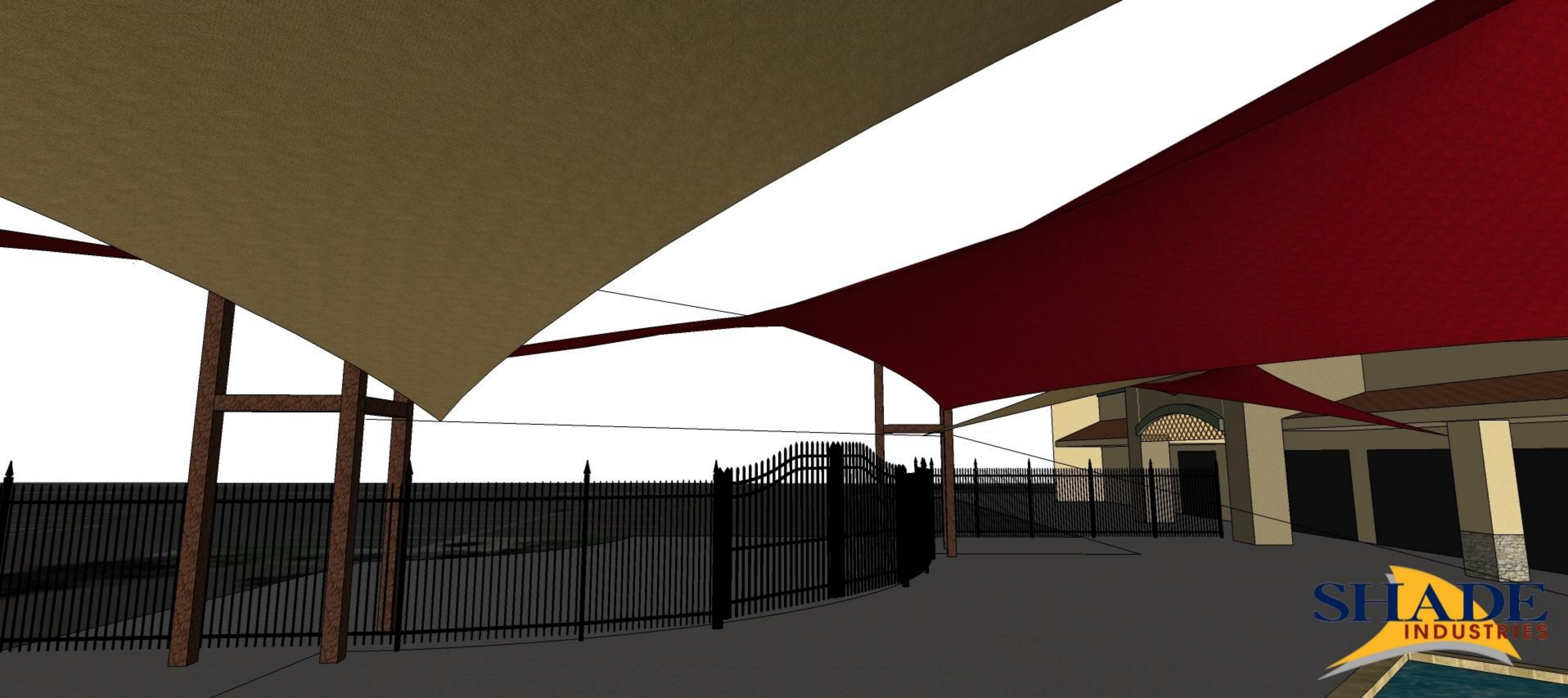














CITY OF SURPRISE
Planning and Zoning Commission

April 7, 2016 @ 6:00:00 PM

Back Print

Board Meeting Date:	April 7, 2016	Contact Person:	Eric Fitzer, Community Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	No Action		

Consent	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Discussion pertaining to future agenda items.

Motion:

Background:

Financial Impact Statement:

No Financial Impact

ATTACHMENTS:

[Click to download](#)

No Attachments Available

External Attachment Links:

Meeting Requirements:

Powerpoint x Video x White Board x Other x

Presentation Speaker Names (spelling and titles for TV captions):