



CITY OF SURPRISE
Planning and Zoning Commission Agenda
16000 N. Civic Center Plaza
Surprise, AZ 85374

Thursday, April 21, 2016 @ 6:00 PM
 COUNCIL CHAMBERS

* [Back](#) [Print](#)

CALL TO ORDER.

- A. Roll Call
- B. Pledge of Allegiance
- C. Current Events and Reports – Pursuant to A.R.S. §38-431.02(k) the chief administrator, presiding officer or a member of a public body may present a brief summary of current events without listing in the agenda the specific matters to be summarized, provided that 1) The summary is listed on the agenda; and 2) The public body does not propose, discuss, deliberate or take legal action at that meeting on any matter in the summary unless the specific matter is properly noticed for legal action.
- D. Staff Reports

Planning and Zoning Commission Agenda:

CALL TO THE PUBLIC:

INSTRUCTIONS: In order to address the Board\Commission, you will need to fill out a Call to the Public Form available at the front counter, and then turn it in to the Secretary before the meeting begins.

Note: A.R.S. 38-431.01(H) - During this time members of the public may address the Board\Commission on any item not on the agenda. At the conclusion of the open call, the Board\Commission may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

- E. Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Board\Commission. There will be no separate discussion on these items unless a board member or commissioner requests, in which event the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

CONSENT AGENDA:

REGULAR AGENDA ITEM - NON-PUBLIC HEARING:

ITEM #	DISTRICT #	ITEM DESCRIPTION	STAFF RECOMMENDATION/ PRESENTED BY
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- | | | | |
|----|-------------------|--|--|
| #1 | District Internal | <u>Consideration and action pertaining to approval of the April 7, 2016 Planning and Zoning Commission minutes.</u> | Approve
Heather
Donaldson,
Community
Development |
| #2 | District 1 | <u>Consideration and action item regarding a Major Site Plan for Babbo Italian Eatery located on the south side of Bell Road, west side of Sarival Avenue, within the Surprise Village Marketplace PAD zoning district.</u> | Approve
Sergio Angulo,
Community
Development |
| #3 | District 4 | <u>Presentation and discussion regarding an update for the proposed zoning text amendment to establish the Surprise Heritage District and two corresponding overlay zoning districts. Members of the public are encouraged to attend to listen and provide comments.</u> | No Action
Joshua Mike,
Community
Development |

OTHER BUSINESS:

- | | | | |
|----|-------------------|--|---|
| #4 | District Internal | <u>Discussion pertaining to future agenda items.</u> | No Action
Eric Fitzer,
Community
Development |
|----|-------------------|--|---|

ADJOURNMENT:

SHERRY ANN AGUILAR, CITY CLERK, CMC

POSTED: April 14, 2016 at 1:20 PM

SPECIAL NOTE: PERSONS WITH SPECIAL ACCESSIBILITY NEEDS, INCLUDING LARGE PRINT MATERIALS OR INTERPRETER, SHOULD CONTACT THE CITY CLERK'S OFFICE @ 623.222.1200 OR TTY 623.222.1002, BY NO LATER THAN 24 HOURS IN ADVANCE OF THE REGULAR SCHEDULED MEETING TIME.



CITY OF SURPRISE
Planning and Zoning Commission

April 21, 2016 @ 6:00:00 PM

Back Print

Board Meeting Date:	April 21, 2016	Contact Person:	Heather Donaldson, Community Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action pertaining to approval of the April 7, 2016 Planning and Zoning Commission minutes.

Motion:

I move to approve the April 7, 2016 Planning and Zoning Commission minutes.

Background:

Financial Impact Statement:

No Financial Impact

ATTACHMENTS:

Click to download

☐ [4-7-16 P&Z Commission Meeting Minutes](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	x	White Board	x	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

**CITY OF SURPRISE
PLANNING AND ZONING COMMISSION**

MEETING MINUTES

April 7, 2016 / 6:00 PM

**COUNCIL CHAMBERS
16000 North Civic Center Plaza
Surprise, AZ 85374**

CALL TO ORDER.

Chair Ken Chapman called the Planning and Zoning Commission Meeting to order at 6:00 p.m. at Surprise City Hall, 16000 North Civic Center Plaza, Surprise, Arizona 85374, on Thursday, April 7, 2016.

A. ROLL CALL

In attendance were Chair Ken Chapman, Vice Chair Matthew Keating and Commissioners, Dennis Smith, Jerry Hoyler, Jim Ferguson, Steve Somers and Shari Martin.

STAFF PRESENT:

Community Development Director Eric Fitzer, Deputy City Attorney Donna Bronski, Planner Hobart Wingard, Long Range Planning Manager Lloyd Abrams and Planning and Zoning Commission Secretary Heather Donaldson.

COUNCIL MEMBERS PRESENT:

None

B. PLEDGE OF ALLEGIANCE

C. CURRENT EVENTS REPORT

D. STAFF REPORT

None

CALL TO THE PUBLIC:

None

CONSENT AGENDA:

No Items

REGULAR AGENDA ITEMS NOT REQUIRING A PUBLIC HEARING:

Item 1 – INTERNAL – Consideration and action pertaining to approval of the March 17, 2016 Planning and Zoning Commission minutes.

Commissioner Smith made a motion to approve the March 17, 2016 Planning and Zoning Commission minutes. Commissioner Ferguson seconded the motion. The motion passed with 7 votes in favor.

Item 2 – DISTRICT 5 – Consideration and action item regarding a Site Plan Amendment for Calvary Chapel Surprise.

Hobart Wingard, Planner, presented the project to the Commission.

Commissioner Somers made a motion to approve the Site Plan Amendment for Calvary Chapel Surprise as presented by staff. Commissioner Martin seconded the motion. The motion passed with 7 votes in favor.

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING:

No Items

OTHER BUSINESS:

Item 3 – INTERNAL - Discussion pertaining to future agenda items.

None

ADJOURNMENT:

Hearing no further business, Chair Chapman adjourned the Planning and Zoning Commission meeting at 6:06 p.m.

Eric Fitzer
Community Development Assistant Director

Ken Chapman
Planning and Zoning Commission Chair

The foregoing instrument is a full, true and correct copy of the original document on file in the office of the City Clerk, City of Surprise, Arizona.

ATTEST BY: _____
Heather Donaldson, Commission Secretary

DATE: _____



CITY OF SURPRISE
Planning and Zoning Commission

April 21, 2016 @ 6:00:00 PM

Back Print

Board Meeting Date:	April 21, 2016	Contact Person:	Sergio Angulo, Community Development
Submitting Department:	CD Boards and Commissions	District:	1
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
---------	---------	---	----------------	-------------------

Agenda Wording:

Consideration and action item regarding a Major Site Plan for Babbo Italian Eatery located on the south side of Bell Road, west side of Sarival Avenue, within the Surprise Village Marketplace PAD zoning district.

Motion:

I move to approve the Major Site Plan for Babbo Italian Eatery subject to stipulations 'a' – 'd' as listed in the staff report.

Background:

Richard Reigle of Reigle & Associates, on behalf of Babbo Italian Eatery, submitted a request for a Major Site Plan relating to PAD E, a vacant property, located south side of Bell Road and west of Sarival Avenue.

Financial Impact Statement:

All activity related to ongoing development in the City of Surprise has an economic and fiscal impact on the City and the region.

ATTACHMENTS:

Click to download

- ☐ [00 - FS16-024 - Babbo Italian Eatery - SP - Staff Report](#)
- ☐ [01 - FS16-024 - Babbo Italian Eatery - SP - Luke AFB Comments](#)
- ☐ [02 - FS16-024 - Babbo Italian Eatery - SP - Vicinity Map](#)
- ☐ [03 - FS16-024 - Babbo Italian Eatery - SP - Master Site Plan](#)
- ☐ [04 - FS16-024 - Babbo Italian Eatery - SP - Site Plan](#)

- ☐ [05 - FS16-024 - Babbo Italian Eatery - SP - Landscape Plan](#)
- ☐ [06 - FS16-024 - Babbo Italian Eatery - SP - Elevations](#)
- ☐ [07 - FS16-024 - Babbo Italian Eatery - SP - Presentation](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video x White Board x Other x

Presentation Speaker Names (spelling and titles for TV captions):

Sergio Angulo - Planner I

Eric Fitzer - Director

SITE PLAN

23 The scope of work for this project only encompasses the restaurant building, a single row of parking
24 spaces adjacent to the structure, and associated landscape for the Pad. The remainder of the site
25 including parking, landscape, and other site improvements was approved by the Planning and
26 Zoning Commission as part of the Site Plan application for 'Shops D' under Case FS15-392.

27 The main entrance to the restaurant is proposed to face west towards the adjacent development to
28 the west. The applicant proposes a shaded outdoor dining area on the north side of the building
29 and a landscaped gathering space to the south. Both areas are proposed to provide trees for
30 additional shade. The proposed landscape palette is identical to the Site Plan application for Shops
31 D.

32 The building proposes comparable colors and materials from existing development within the
33 Surprise Village Marketplace and will complement the existing architecture on the site.

34 **History:**

35 **June 20, 1984:** The subject parcel was annexed into the City.

36 **September 28, 2006:** The PAD for Surprise Village Marketplace was approved by the Mayor and
37 City Council.

38 **August 15, 2006:** The Master Site Plan that encompasses this parcel was approved by the Planning
39 and Zoning Commission

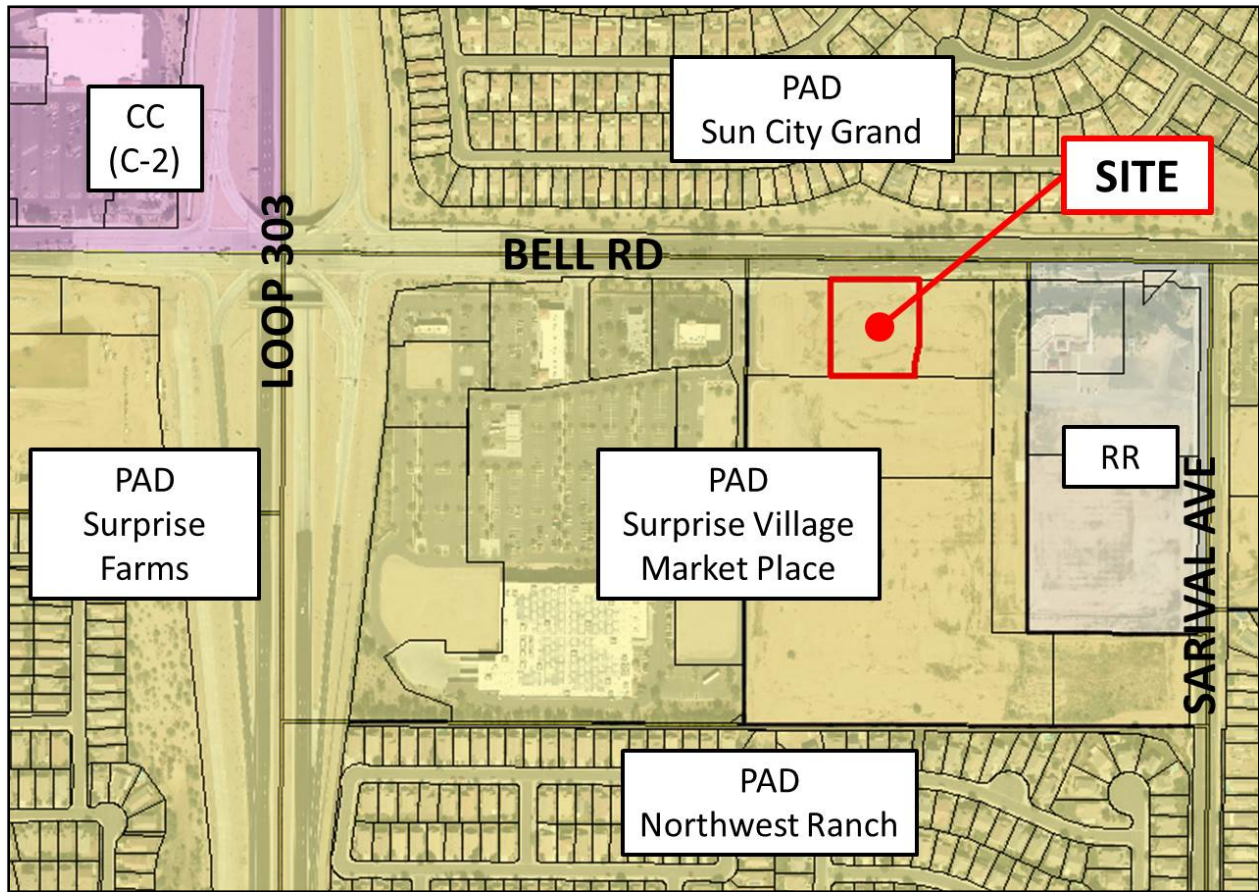
40 **May 20, 2008:** The second phase Master Site Plan that encompasses this parcel was approved by
41 the Planning and Zoning Commission.

42 **December 3, 2015:** Staff met with the applicant to discuss the project during a regularly scheduled
43 Concept Review meeting.

44 **January 11, 2016:** The applicant filed a request for a Site Plan approval for a 5,670 square foot
45 restaurant under case FS15-367.

46 **January 21, 2016:** The site plan for Surprise Village Marketplace Shops D, including site
47 improvements for the subject parcel, was approved by the Planning and Zoning Commission.

48 **Surrounding Land Zoning:**



49 **Summary:**

50 Staff believes by accepting and incorporating stipulations 'a' through 'd,' the proposed use and Site
51 Plan will meet the requirements of the Surprise Village Marketplace, SUDC, and City of Surprise
52 General Plan while providing for economic development envision by the City Council Strategic Plan.

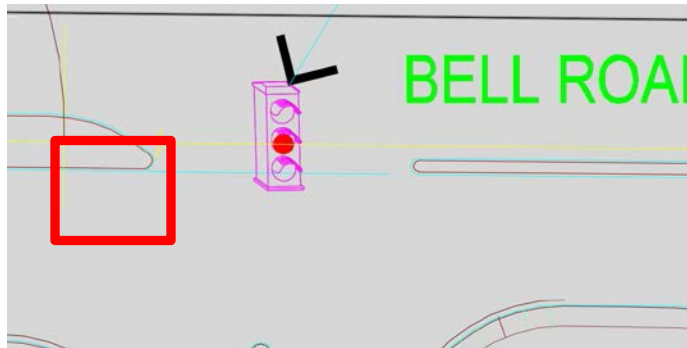
53 **Findings:**

- 54
- The proposed site plan is consistent with the Surprise General Plan 2035.
 - The proposed site plan will meet the provisions of the Surprise Village Marketplace PAD and the SUDC as applicable once all stipulations are met.
- 55
56

Recommendation:

Based on the findings noted above, staff then recommends the Commission **approve** case FS16-024, subject to stipulations 'a' through 'd' as outlined below:

- a. The Site Plan prepared by Reigle & Associates, dated March 7, 2016 will be revised and submitted to include the following modifications:
 1. The proposed fire line will be provided.
 2. The sewer lines from building to interceptor and from interceptor to sewer service line will be provided.
 3. The callout in the drive south of the subject building for "Existing 8" Water," which is showing the sewer line, will be revised
- b. The AutoCAD files submitted March 8, 2016 will be revised and submitted for review to include the following modifications:
 1. The following AutoCAD drawings were submitted in an assumed coordinate system and will be re-submitted following the below requirements.
 - a. 03 – Master Site Plan.dwg
 - b. 04 – Site Specific Plan.dwg
 - c. 05 – Landscape Plan.dwg
 2. Refer to AutoCAD files '11 – Civil Construction Plan 1of2.dwg' and '11 – Civil Construction Plan 2of2.dwg' for approved coordinate system and physical monuments **(Centerlines, ¼ corner of section lines and approximate distance symbols are not acceptable).**



- c. Non-compliance with the stipulations of approval of this case will be treated as a violation in accordance with the provisions of Article XIV of the Surprise Unified Development Code.

84 d. The Property owner and successors waive claim for diminution of in value if the City
85 takes action to rescind approval of this site plan request due to non-compliance with the
86 stipulations of approval.

87 However, should the Commission wish to deny the request, the Commission should make its own
88 findings and base its decision on those alternative findings.

89 **Attachments:**

90 Luke AFB comments (1 page)
91 Vicinity Map (1 page)
92 Master Site Plan (1 sheet)
93 Site Plan (1 sheet)
94 Landscape Plan (1 sheet)
95 Elevations (1 sheet)



**DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND**

15 January 2016

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Jamie Sullivan
Development Services Specialist
City of Surprise Planning Department
16000 N. Civic Center Plaza
Surprise AZ 85374

Re: FS16-024; Babbo Italian Eatery

Dear Ms. Sullivan

Thank you for the opportunity to comment on the Major Site Plan Application for the Babbo Italian Eatery. This project is located on 1.57 acres at the southeast corner of 303 and Bell Road in Surprise AZ. The request is to build a 4,600 square foot restaurant with 1,500 sf enclosed dining patio. The site is approximately 3.2 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as identified by A.R.S. § 28-8461 and inside the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described, this restaurant will not negatively impact Luke AFB's flying operation. Since the restaurant will be located inside the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights per day, as low as 1,500 feet above the ground. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant would be essential to inform potential tenants about Luke AFB operations.

If you have any questions, please contact my Community Planner, Ms. Barbara Plante at (623) 856-9981.

Sincerely

A handwritten signature in black ink, appearing to read "J. Mitchell", is written over a horizontal line.

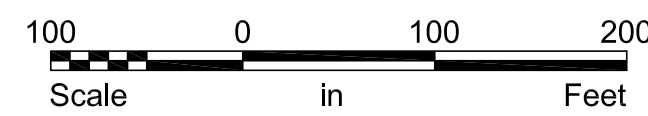
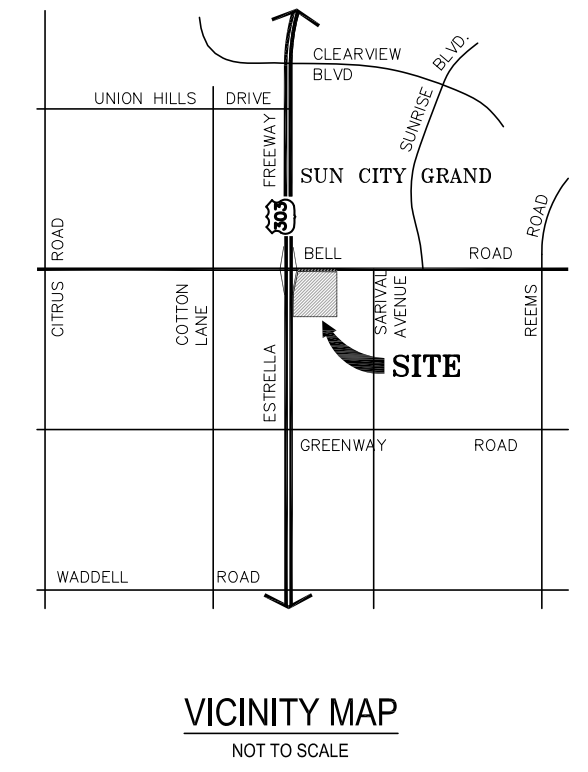
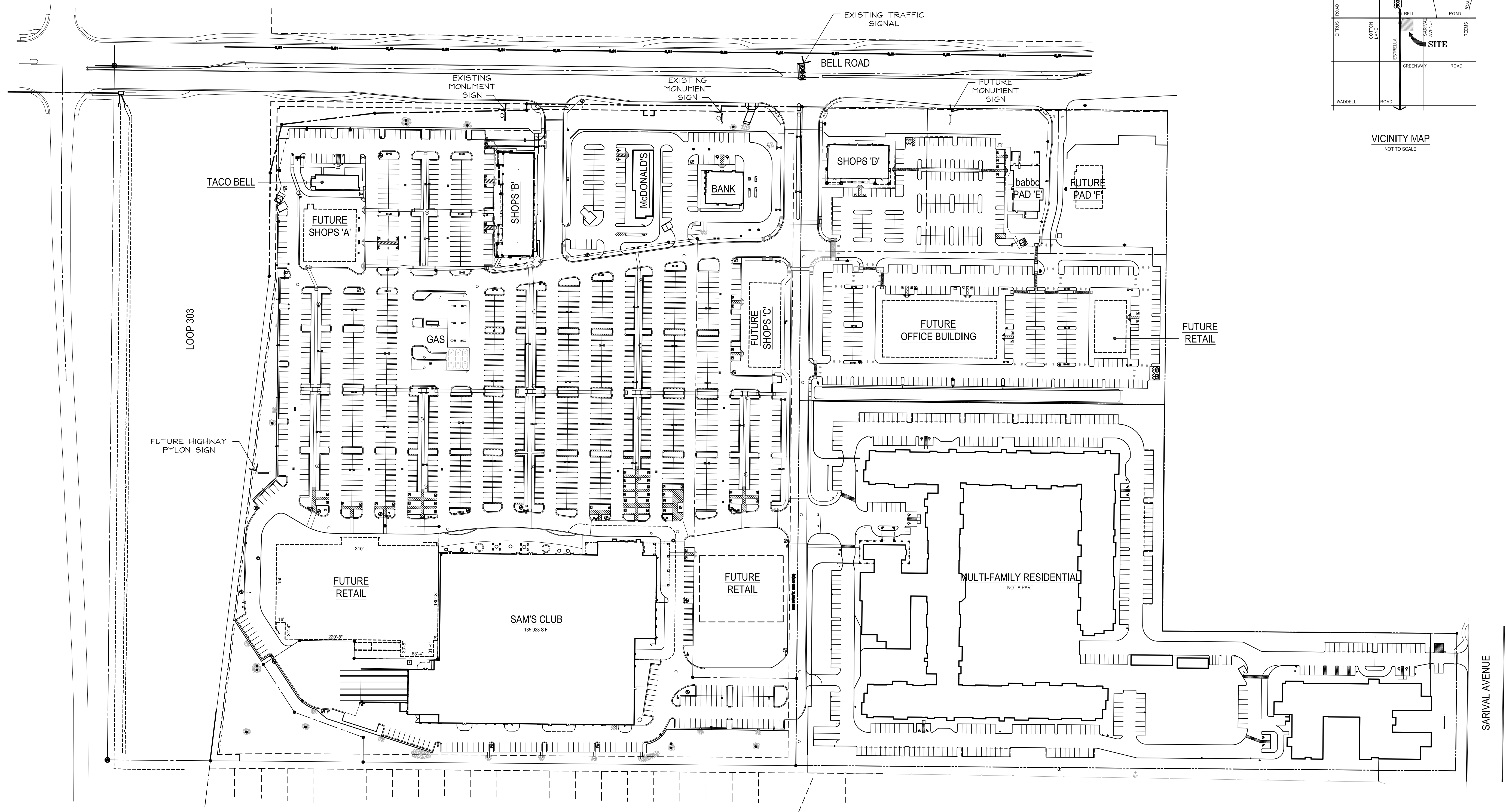
JAMES R. MITCHELL

cc:

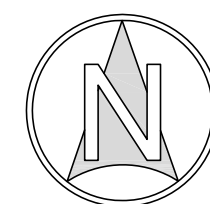
Colonel David G. Shoemaker, Vice Commander, 56th Fighter Wing
Ms. Cindy L. Calderon, GS-13, General and Environmental Law Attorney, 56th Fighter Wing

VICINITY MAP





PROPOSED SITE PLAN
SCALE: 1" = 100'-0"



JANUARY 5, 2016

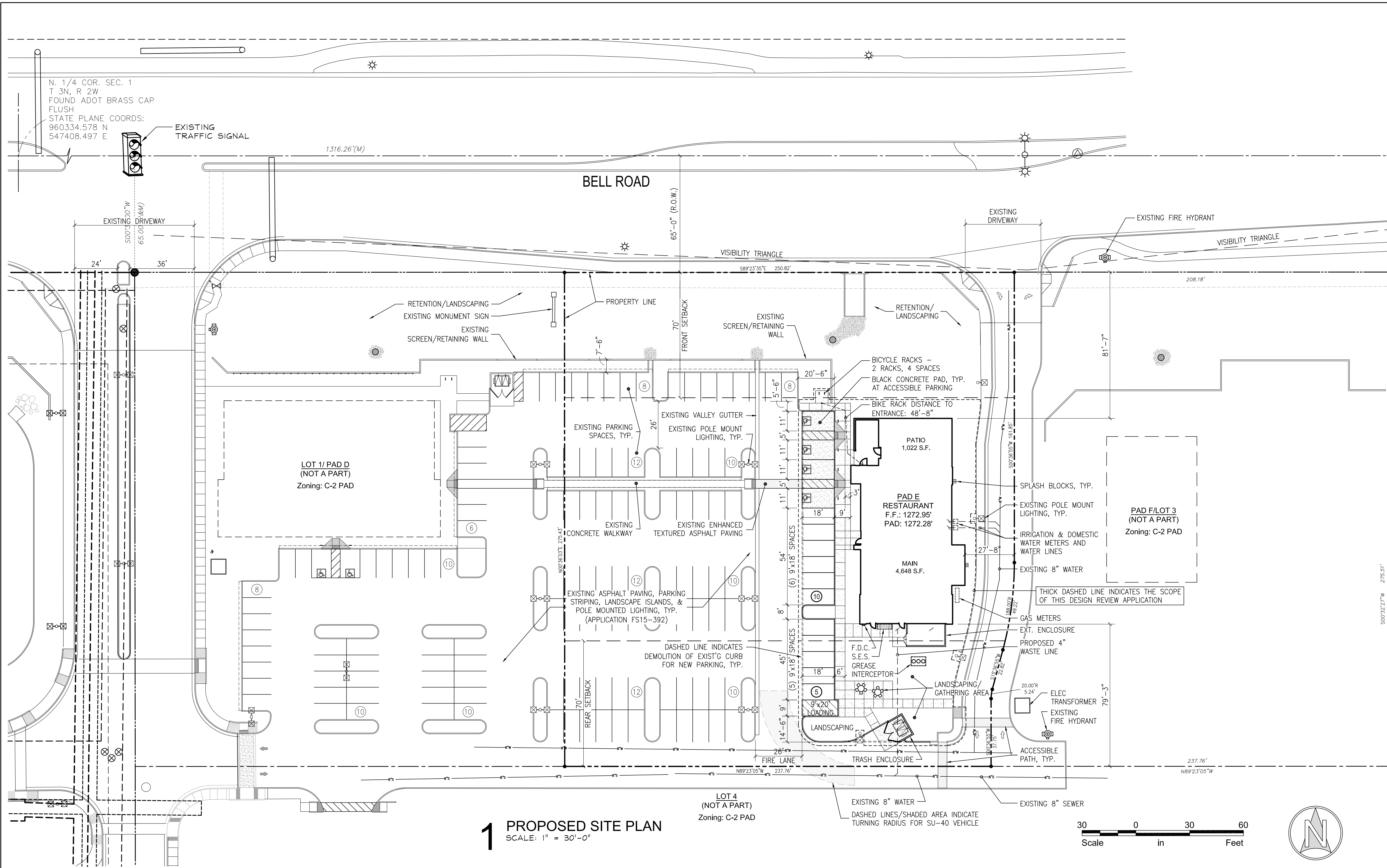
BELL ROAD AND 303 LLC

7575 North 16th Street
Phoenix, Arizona

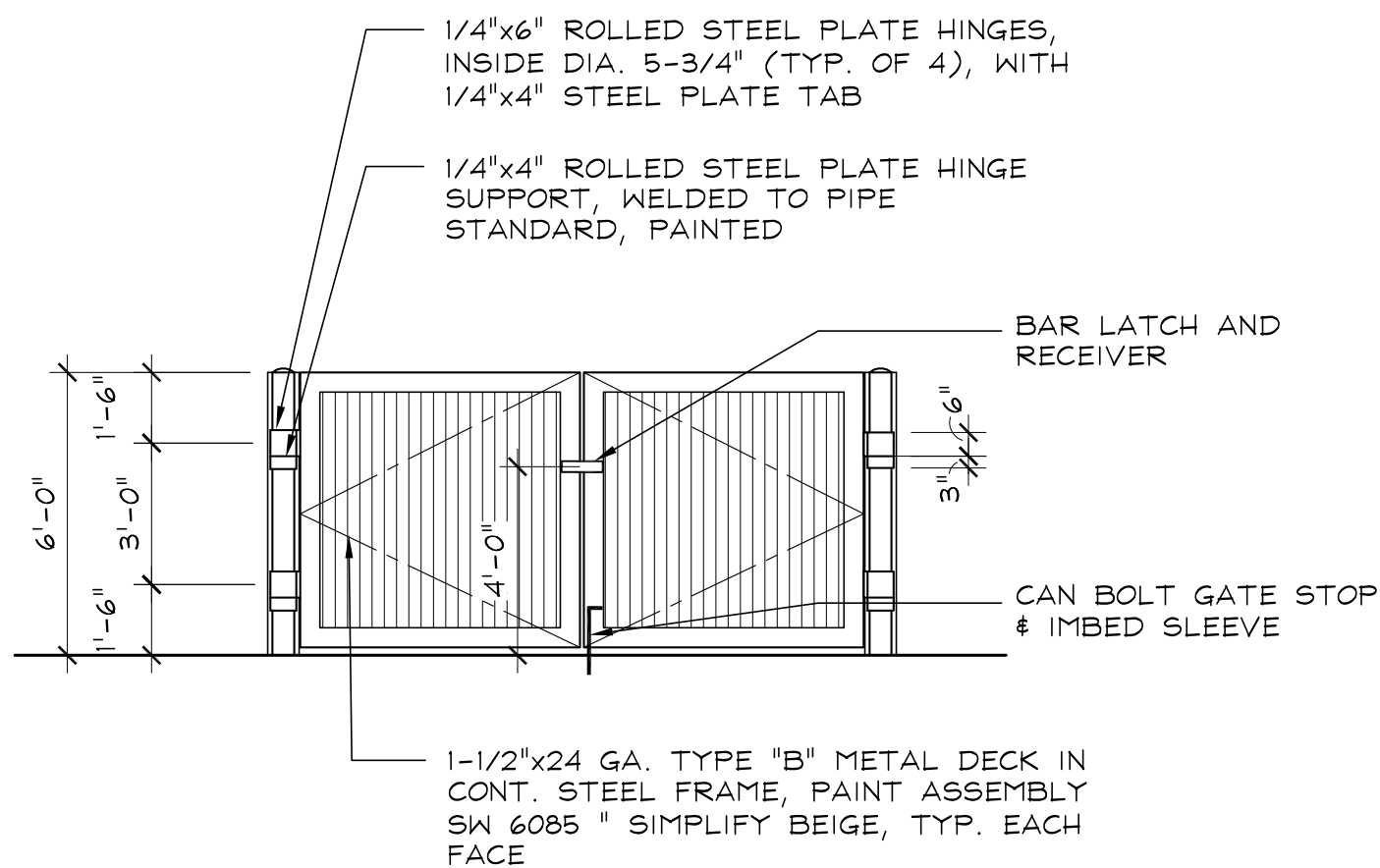
Surprise Village Marketplace

S.E.C. LOOP 303 & BELL ROAD
Surprise, Arizona





1 PROPOSED SITE PLAN
SCALE: 1" = 30'-0"



2 ELEVATION - TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"

8"x4"x16" SOLID MASONRY CAP
- PAINTED WITH SW 6085
"SIMPLIFY BEIGE"

8"x8"x16" STANDARD C.M.U.
WITH SINGLE SCORED
FACE PAINTED SW 6085
"SIMPLIFY BEIGE"

8"x8"x16" SPLIT FACE C.M.U.
PAINTED W/ SW 6087
"TRUSTY TAN"

CONTACTS

OWNER:
BABBO ITALIAN EATERY
P.O. BOX 27647
SCOTTSDALE, ARIZONA 85255
PHONE: (480) 695.6487
CONTACT: KEN POLLACK

DESIGN ARCHITECT:
FORM DESIGN STUDIO, LLC
820 SOUTH FARMER AVENUE
TEMPE, ARIZONA 85281
PHONE: (480) 659-5930
CONTACT: JOSE MARTINEZ
E-MAIL: jmartinez@formdesignstudio.com

ELECTRICAL ENGINEER:
ASEI ENGINEERING
4527 NORTH 16th STREET
SUITE 105
PHOENIX, ARIZONA 85016
PHONE: (602) 287-0300
CONTACT: DAVID MARTIN
E-MAIL: dmartin@aseiengineering.com

ARCHITECT:
REIGLE & ASSOCIATES
3509 EAST SHEA BOULEVARD
SUITE 105
PHOENIX, ARIZONA 85028
PHONE: (602) 493-3001
CONTACT: RICHARD REIGLE
E-MAIL: rickr@reiglearch.com

CIVIL ENGINEER:
KEOGH ENGINEERING, INC.
650 NORTH 13th AVENUE
SUITE 110
GOODYEAR, ARIZONA 85338
PHONE: (623) 535-7260
CONTACT: DENNIS KEOGH
E-MAIL: dfk@keoghengineering.com

LANDSCAPE ARCHITECT:
T.J. McQUEEN & ASSOCIATES
8433 EAST CHOLLA STREET
SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE: (602) 265-0320
CONTACT: TIM McQUEEN
E-MAIL: timmqueen@tjmila.net

VICINITY MAP



PROJECT INFORMATION

THIS SITE PLAN SUBMITTAL PROPOSES DEVELOPMENT OF A SINGLE STORY, 4,600 SQUARE FOOT RESTAURANT BUILDING WITH DINING PATIO AND ON-SITE PARKING WITHIN A MASTER PLANNED DEVELOPMENT.

PROJECT LOCATION: SOUTHEAST PORTION OF LOOP 303 AND BELL ROAD
SURPRISE, ARIZONA 85374

- A.P.N.: 501-12-958
- SECTION TOWNSHIP RANGE: 1 3N 2W
- SUBDIVISION: SURPRISE VILLAGE EAST MARKETPLACE
- LOT NO.: 2
- ZONING: C-2 PAD
- SITE AREA: 68,214 SF (1.57 ACRES)
- BUILDING AREA / HEIGHT: 5,670 SF / 25'
- LOT COVERAGE: 5,670 SF/68,214 SF = 8.3%
- BUILDING SETBACKS: FRONT: 70'
REAR: 70'
SIDE (N/A): 50'
INTERIOR SIDE: 0'

- PARKING REQUIREMENTS (1 PER 75 GSF): BUILDING & PATIO: 5,670 GSF/75 = 76 SPACES
TOTAL REQUIRED PARKING: 76 SPACES

- PARKING PROVIDED (SHARED PARKING WITH LOT 1, PAD D): EXISTING: 126 SPACES
THIS PROJECT: 15 SPACES
TOTAL PARKING PROVIDED: 141 SPACES
135 STANDARD SPACES
6 ACCESSIBLE SPACES

- BICYCLE PARKING (1/20 PARKING SPACES REQUIRED): 7 SPACES REQUIRED
8 SPACES PROVIDED: 4 IN LOT 1/PAD D; 4 THIS PROJECT - SHARED PARKING

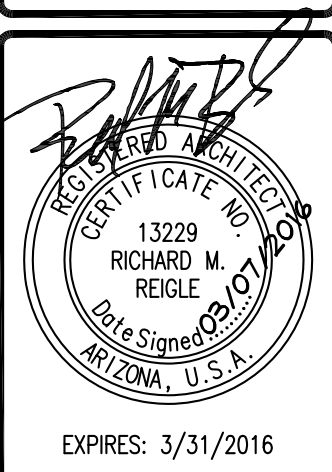
- CONSTRUCTION TYPE: V-B
- OCCUPANCY: A-2
- CONSTRUCTION CODES:

ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF THE FOLLOWING WITH LOCAL (SURPRISE) AMENDMENTS:

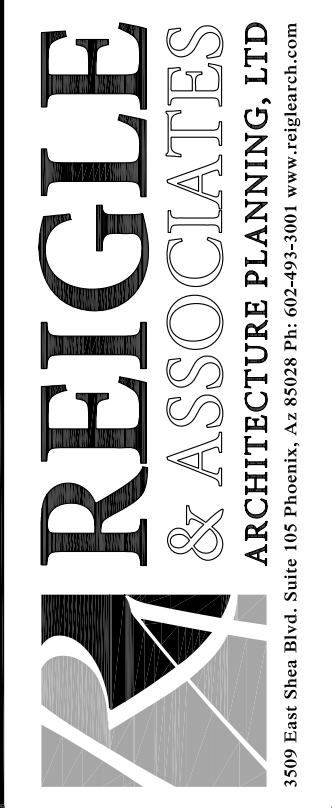
- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL PLUMBING CODE
- 2011 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS & FACILITIES

LEGAL DESCRIPTION

LOT 2, SURPRISE VILLAGE MARKETPLACE EAST, AS RECORDED IN BOOK 1200 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA.



REVISIONS



PROJECT NO.

1546.0

DRAWN BY:
A.R./U.P.

SCALE:
AS NOTED

CAD SAVED NAME:

DATE:

03.07.2016

THIS DRAWING IS AN

INSTRUMENT OF SERVICE.

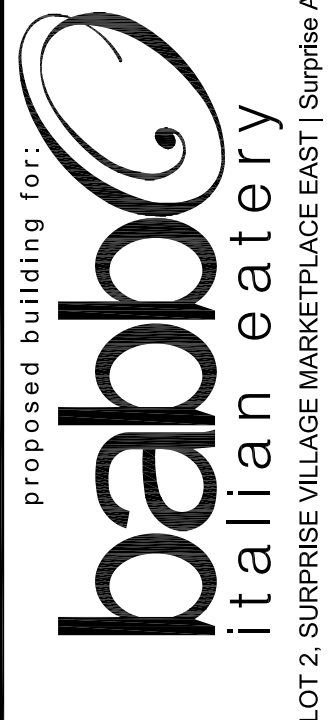
IT IS THE PROPERTY OF

REIGLE & ASSOCIATES, AND

MAY NOT BE REPRODUCED

WITHOUT WRITTEN

PERMISSION.



SHEET TITLE

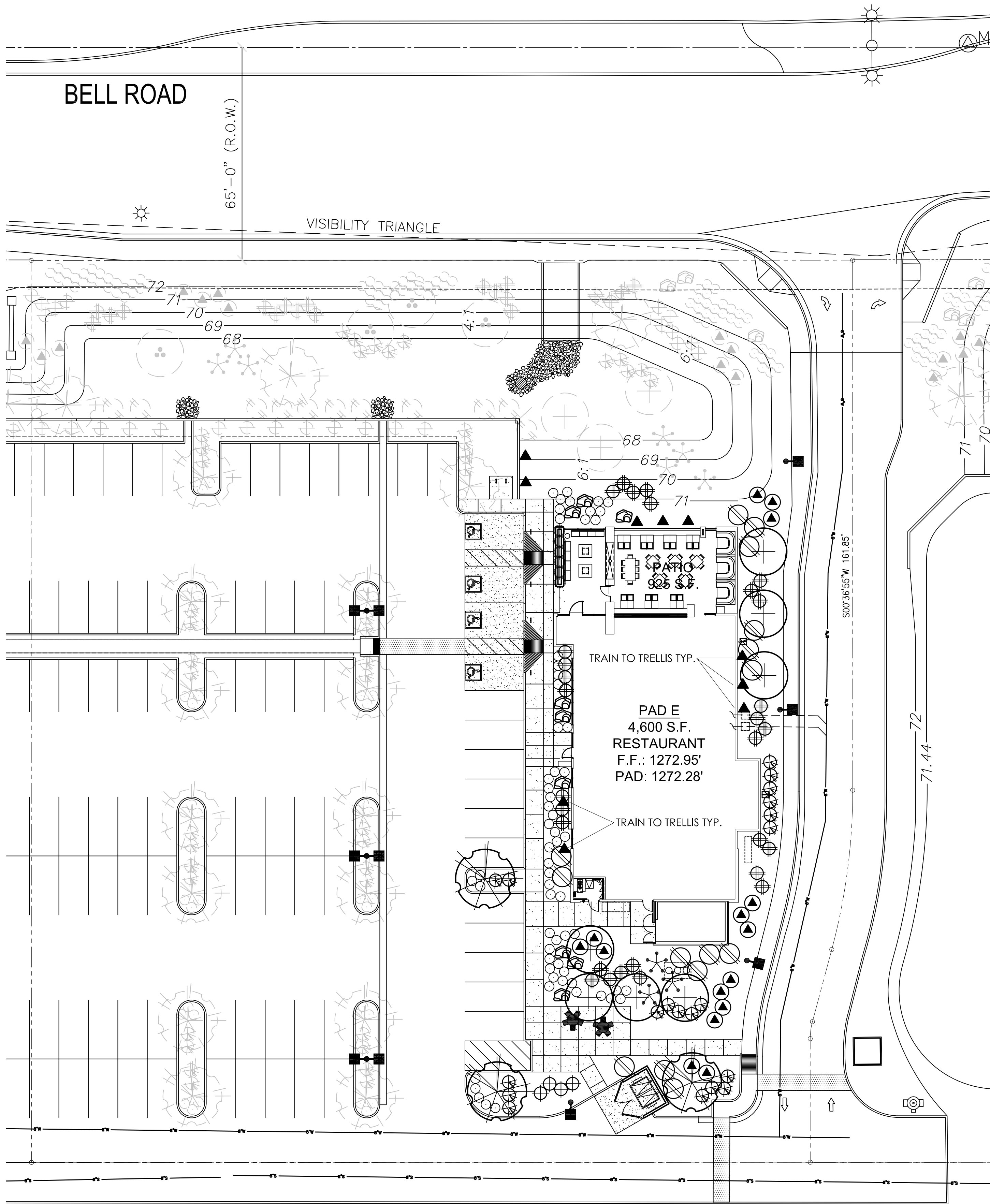
PROPOSED

SITE PLAN

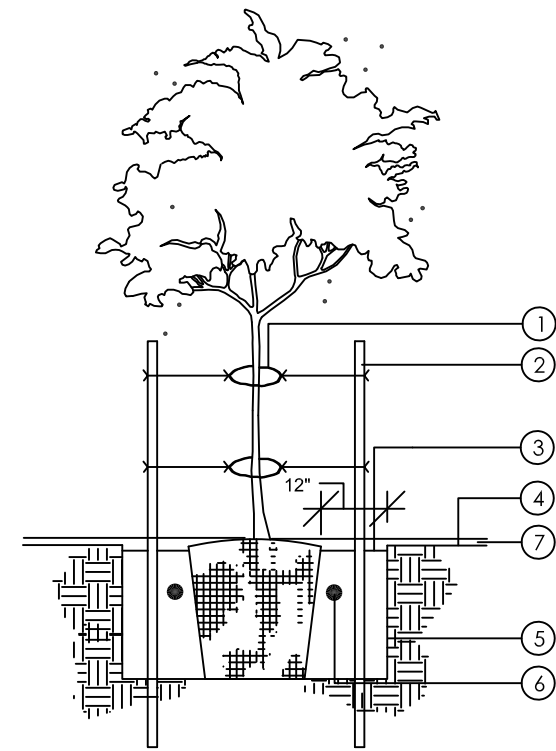
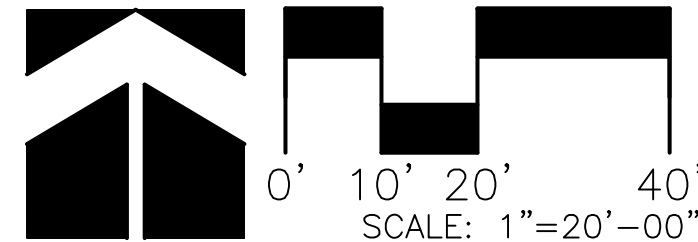
SHEET NO.

SP

Design Review



LANDSCAPE PLAN

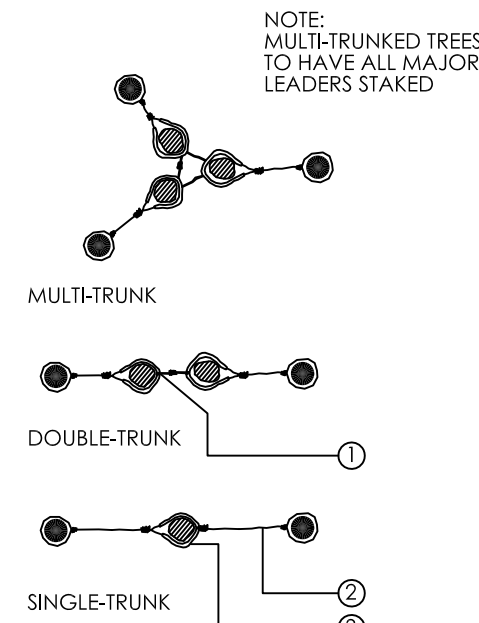


1. 1/2" RUBBER HOSE WITH #10 WIRE
2. TWO 2" ROUND BY 8' LONG GREEN TREE STAKES BURY 3" BELOW GRADE
3. 4" BASIN
4. GRADE (PRIOR TO GRANITE)
5. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
6. AGRIFORM TABLETS
7. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

BACKFILL PLANT PIT WITH SOIL MIX NOTED IN SPECS.

DOUBLE STAKING DETAIL

NOT TO SCALE

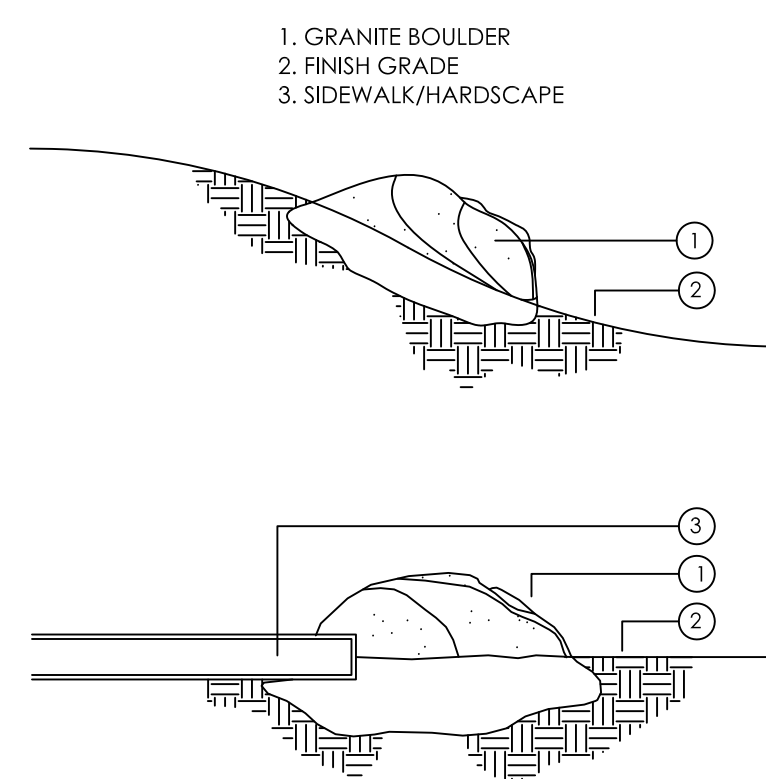


NOTE:
MULTI-TRUNKED TREES
TO HAVE ALL MAJOR
LEADERS STAKED

- MULTI-TRUNK
- DOUBLE-TRUNK
- SINGLE-TRUNK
1. NOTCH TUBING LOOP WIRE THROUGH EXPOSED WIRE
 2. #10 WIRE RUBBER COATED
 3. 1/2" RUBBER HOSE

TREE GUYING DETAIL

NOT TO SCALE

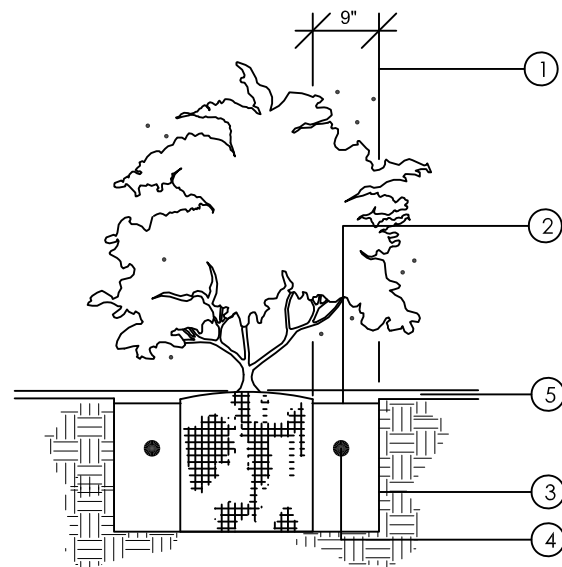


1. GRANITE BOULDER
2. FINISH GRADE
3. SIDEWALK/HARDSCAPE

NOTES:
BOULDER WEIGHT IS BASED ON 100 LBS. PER CU.FT.
BOULDERS LESS THEN SPECIFIED WEIGHT WILL BE REJECTED.

BOULDER DETAIL

NOT TO SCALE



1. MINIMUM DIMENSION FOR 5 GAL. PLANTS
2. 1" BASIN
3. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
4. AGRIFORM TABLETS SEE SPECS. FOR RATIO
5. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

BACKFILL PLANT PIT WITH SOIL MIX NOTED IN SPECS.

SHRUB PLANTING DETAIL

NOT TO SCALE

SURPRISE NOTES:

ALL CHANGES ARE TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT

SIGNS REQUIRE A SEPERATE PERMIT

ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.

PLANT MATERIAL IS NOT TO BE LOCATED WITH-IN 3' RADIUS OF FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS

TREES WITHIN 10' OF PAVED AREAS AND WALLS REQUIRE A DEEP ROOT BARRIER SYSTEM.

ALL PLANT MATERIAL SIZES ARE BE CONSISTENT WITH ANA STANDARDS.

ALL PLANT MATERIALS LOCATED WITHIN VISIBILITY TRIANGLES ARE TO BE MAINTAINED NO HIGHER THAN 2 FEET HIGH, AND HANG NO LOWER THAN 7 FEET FROM GROUND ELEVATION.

NO PLANT MATERIAL WILL OBSTRUCT ANY TRAFFIC CONTROL SIGNS OR ENCROACH INTO ANY SIGHT VISIBILITY TRIANGLES AS DEFINED IN THE CITY OF SURPRISE ENGINEERING STANDARDS DETAIL 4-02.

TREES WITH THORNS WILL NOT BE LOCATED WITHIN TEN FEET OF ANY PARKING SPACE OR PEDESTRIAN ROUTE.

TREES WITHIN PARKING AREA WILL BE CONSISTENT WITH THE TREE LIST PROVIDED IN SECTION 122-136 (2) K. OF THE CITY OF SURPRISE MUNICIPAL STANDARDS.

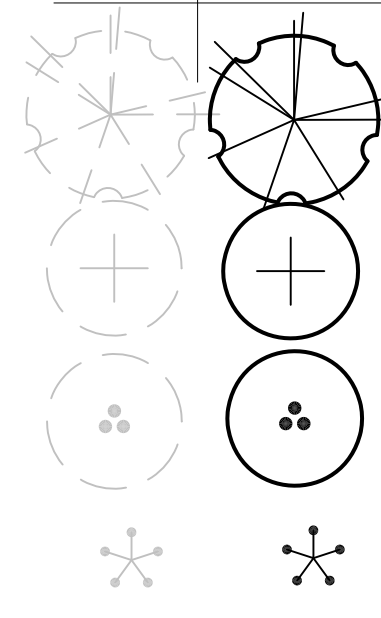
"TREES SPECIES WITHIN CITY RIGHTS-OF-WAY BE CONSISTENT WITH SECTION 8.1.2 OF THE CITY OF SURPRISE ENGINEERING STANDARDS.

LOW WATER USAGE PLANT MATERIAL:

100% OFF ALL PLANTS UTILIZED ON LEGEND ARE FROM THE ARIZONA DEPARTMENT OF WATER RESOURCES LOW WATER USE LIST.

LANDSCAPE LEGEND

EXISTING PROPOSED



CERCIDIUM 'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE
24" BOX (MATCHING)

DALBERGIA SISSOO
SISSOO TREE
24" BOX

OLNEYA TESOTA
IRONWOOD
24" BOX

CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON

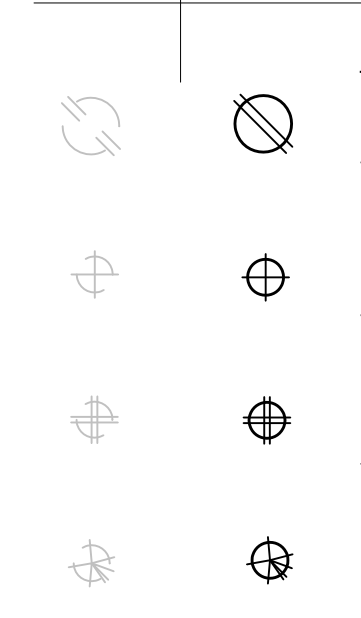
LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON

CONVOLVULUS CNEORUM
BUSH MORNING GLORY
1 GALLON

BOUGAINVILLEA 'BARBARA KARST'
BOUGAINVILLEA
5 GALLON

AGAVE VILIMORIANA
OCTOPUS AGAVE
5 GALLON

EXISTING PROPOSED



TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON

HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON

DASYLIRON WHEELERII
DESERT SPOON
5 GALLON

LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON

MATCH PHASE 1 GRANITE
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

3'x3'x3" SURFACE SELECT
GRANITE BOULDER
MINIMUM 2000lbs EACH

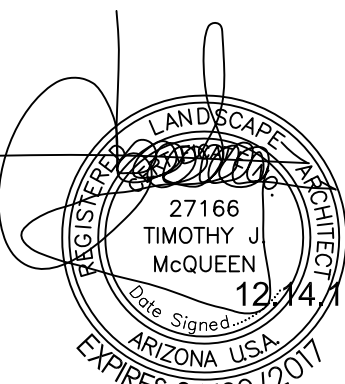
ROSEMARINUS PROSTRATA
TRAILING ROSEMARY
5 GALLON

T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

8433 East Cholla St., Suite 101
Scottsdale, Arizona 85260
P. (602) 265-0320 F. (602) 266-6619

EMAIL: timmqueen@tjma.net



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REVISIONS



PROJECT NO.
1546

DRAWN BY:
A.R. / U.P.

SCALE:
AS NOTED

CAD SAVED NAME:

DATE:
12.28.15

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A PROPOSED PAD "E" SITE DEVELOPMENT FOR:

babbo italian eatery

S.E.C. LOOP 303 AND BELL ROAD, SURPRISE, ARIZONA

KEN POLLACK
P.O. BOX 27647

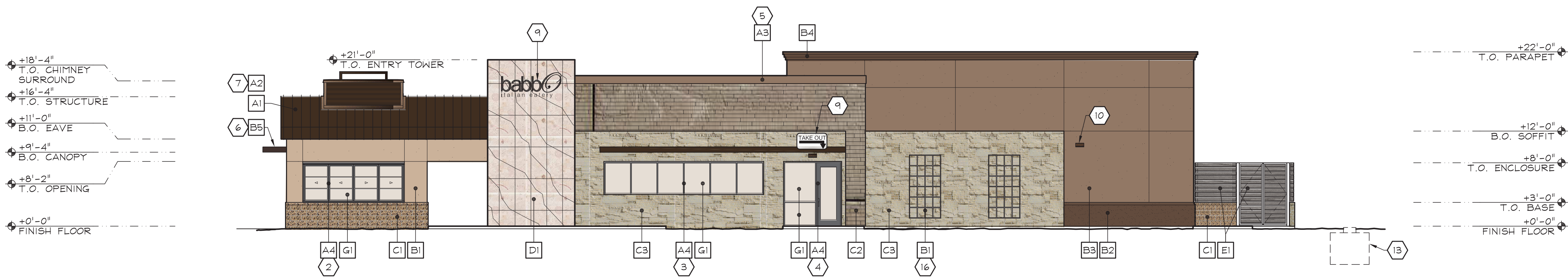
SCOTTSDALE, ARIZONA 85255

SHEET TITLE
LANDSCAPE
PLAN

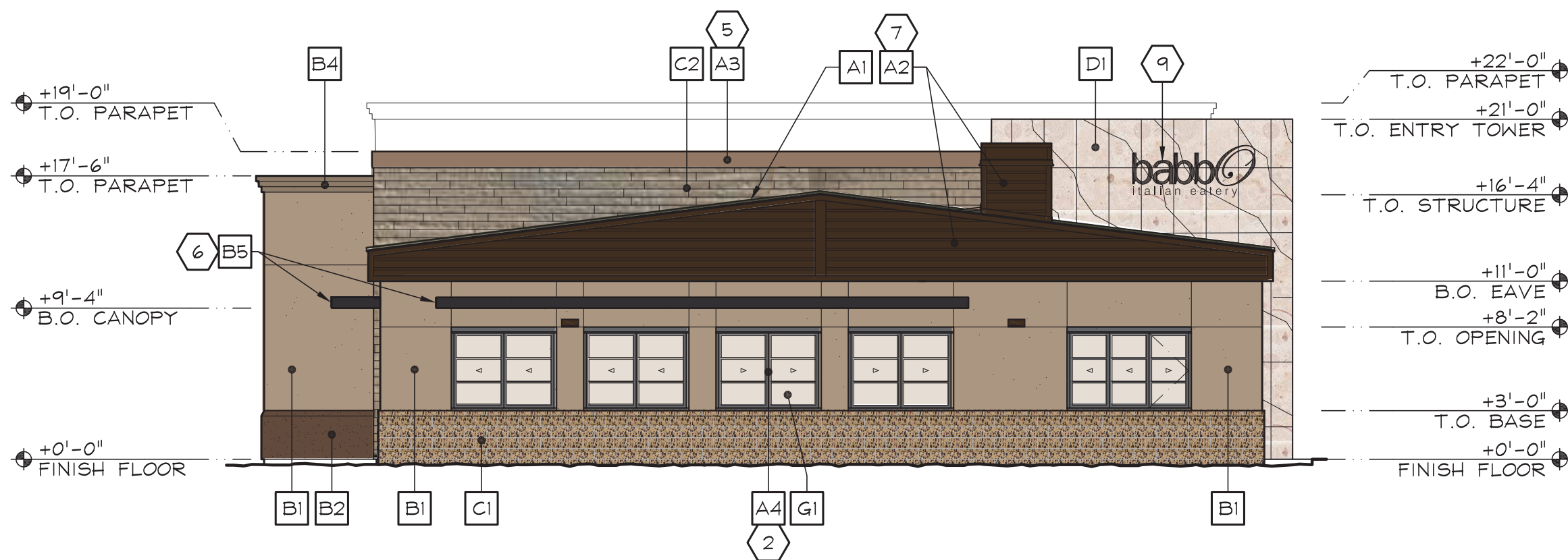
SHEET NO.

La.01

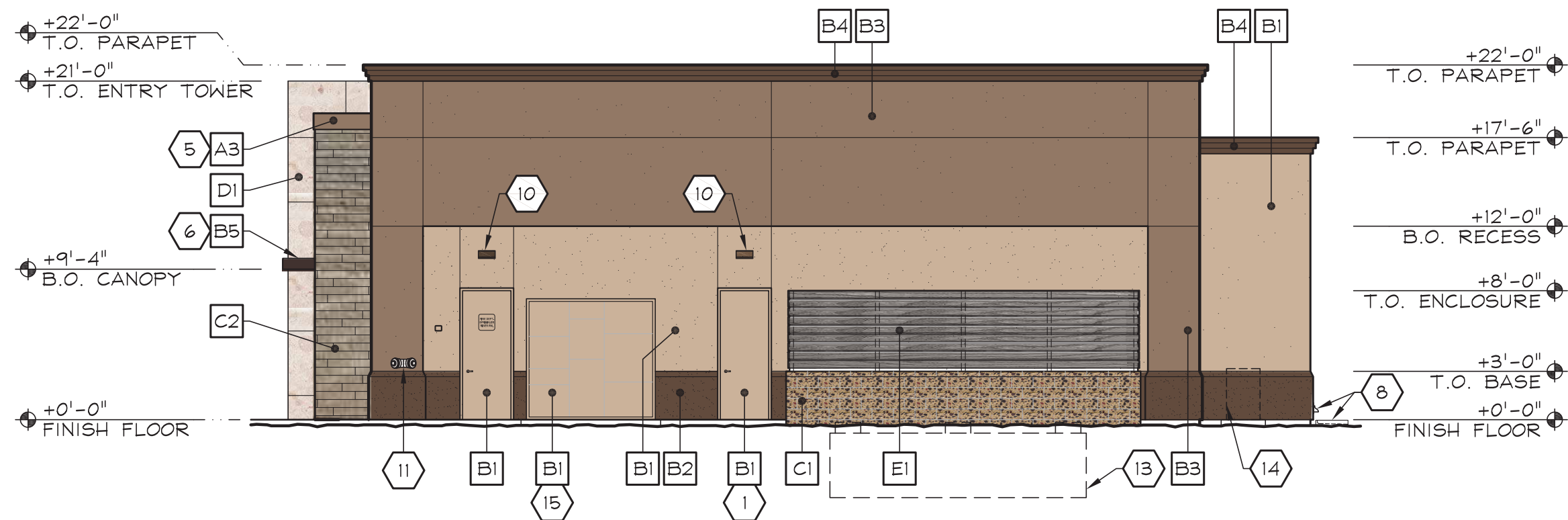
J:\2015\1546-babbo-italian-eatery\1546-ExteriorElevations.dwg, 3/7/2016 4:40:48 PM, AutoCAD PDF



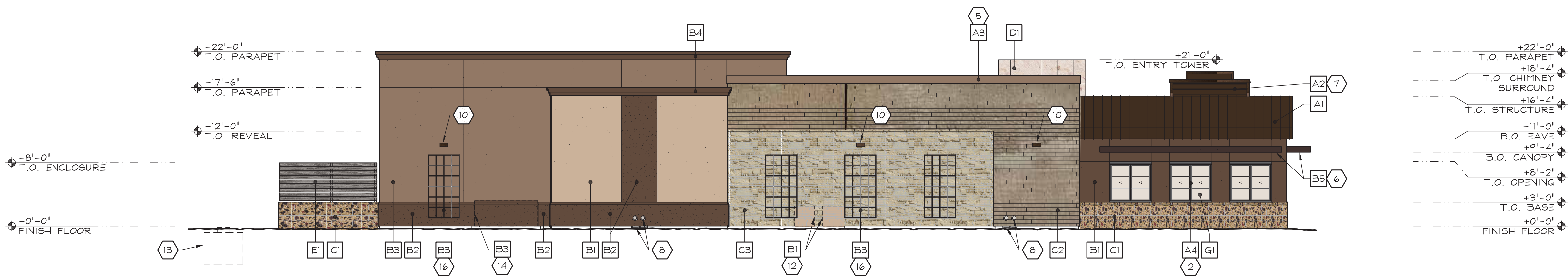
a EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



b EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



c EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



d EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

☒ MATERIALS / COLORS

METAL

A1	2" STANDING SEAM METAL ROOF ATAS METALS 71 "DARK BRONZE ANODIZED"
A2	RIBBED METAL PANEL ATAS METALS 71 "DARK BRONZE ANODIZED"
A3	METAL COPING COLOR TO MATCH SHERWIN WILLIAMS SW6081 "DOWN HOME"
A4	WINDOW/DOOR FRAMING DARK ANODIZED ALUMINUM

PAINT COLORS FOR STUCCO & MISCELLANEOUS ITEMS

B1	SHERWIN WILLIAMS SW7518 "BEACH HOUSE"
B2	SHERWIN WILLIAMS SW6083 "SABLE"
B3	SHERWIN WILLIAMS SW6081 "DOWN HOME"
B4	STUCCO COVERED FOAM CORNICE SHERWIN WILLIAMS SW6083 "SABLE"
B5	SHERWIN WILLIAMS SW6006 "BLACK BEAN"

MASONRY

C1	INTEGRAL COLOR GROUND FACE CONCRETE MASONRY UNITS TRENWYTH - TRENDSTONE "BERKELEY"
C2	FAUX WOOD BOARD UNITS CREATIVE MINES - CRAFTBOARD FORM "BARNWOOD" ICC REPORT NO. ESR-3685
C3	FAUX STACKED STONE UNITS CREATIVE MINES - CRAFT SPLIT MODULAR "TWIN" 100% 2.5" ICC REPORT NO. ESR-3685

STONE CLADDING

D1	NATURAL STONE TILE MARBELLA SHELL STONE 16"X24"X5/8", HONED AND FILLED
----	--

COMPOSITE BOARD

E1	COMPOSITE DECK BOARD TREX TRANSCEND COMPOSITE 1" SQUARE EDGE BOARD COLOR: "GRAVEL PATH"
----	--

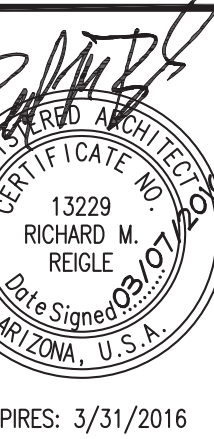
GLAZING

G1	INSULATED (LOW E) BRONZE TINTED GLAZING TO MATCH THE FOLLOWING REQUIREMENTS: • EXTERIOR LITE: 1/4" PPG SOLARBAN RIOO ON SOLARBONZE NEUTRAL REFLECTIVE LOW-E #2 • INTERIOR LITE: 1/4" CLEAR • 1/2" CAVITY: AIR FILLED • U-FACTOR: .27 • SHGC: .21
----	--

☒ KEYED NOTES

- HOLLOW METAL DOOR AND FRAME
- FOLDING AND CASEMENT WINDOW SYSTEM
- STOREFRONT SYSTEM
- STOREFRONT DOOR
- METAL COPING
- STEEL TUBE/SLAT CANOPY
- CHIMNEY ENCLOSURE
- INTERNAL ROOF DRAIN LEADER DOWNSPOUT NOZZLE AND CONCRETE SPLASH BLOCKS
- BUILDING SIGNAGE - BY SEPARATE PERMIT
- LIGHT FIXTURE
- FIRE DEPARTMENT CONNECTION
- IRRIGATION AND DOMESTIC WATER METERS
- GREASE INTERCEPTOR
- GAS METER
- SERVICE ENTRANCE SECTION
- METAL TUBE/STEEL TRELLIS

NOTE:
ALL SIGNAGE ARE SUBJECT TO SEPARATE SIGN PERMIT.



REVISIONS

NO.	DESCRIPTION



PROJECT NO.
1546.0
DRAWN BY:
FoRM/UP
SCALE:
AS NOTED
CAD SAVED NAME:

DATE:
03.07.2016

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proposed building for:
babbo
italian eatery
LOT 2, SURPRISE VILLAGE MARKETPLACE EAST | Surprise Arizona

SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NO.

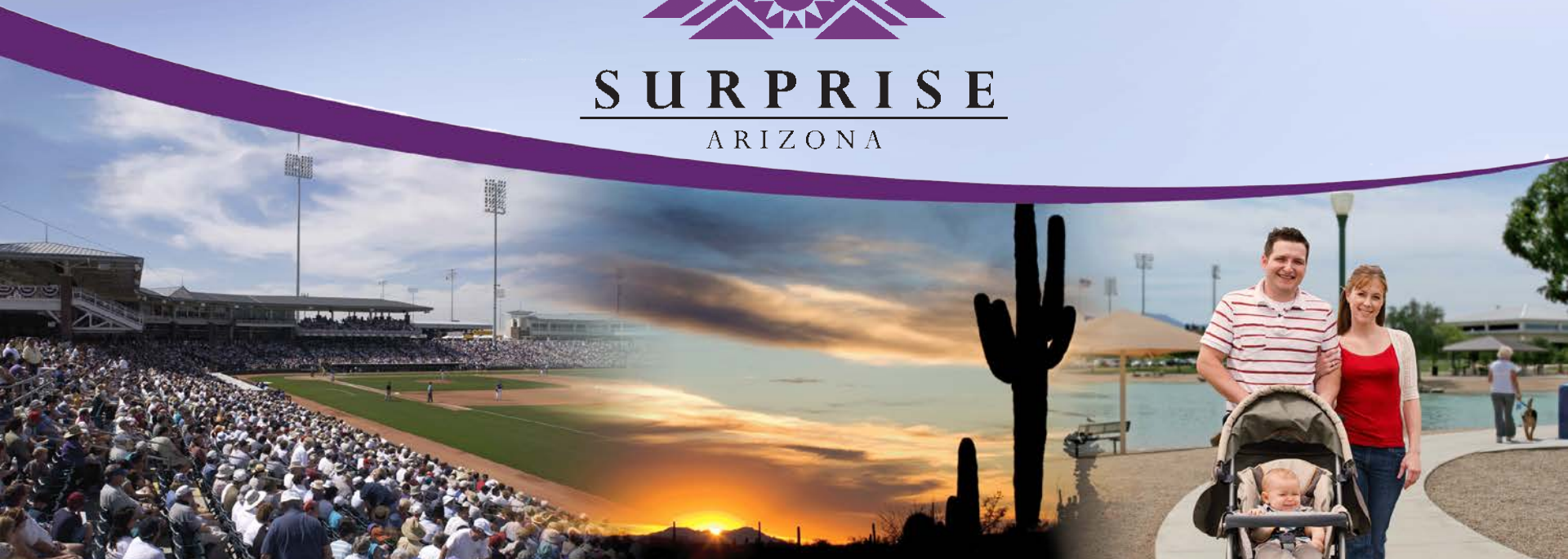
EE
Design Review

Babbo Italian Eatery

FS16-024

Planning and Zoning Commission

April 21, 2016



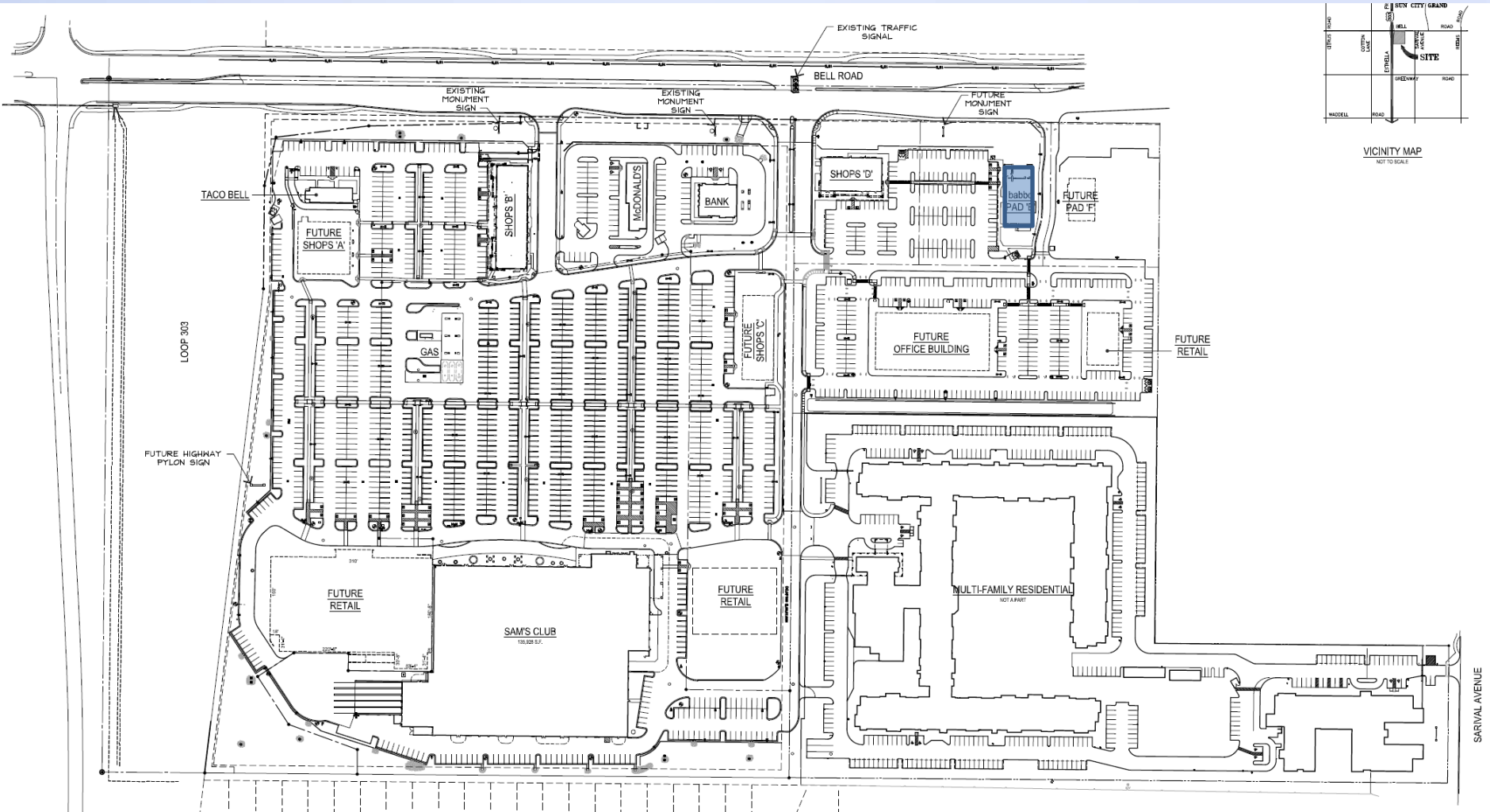
VICINITY MAP

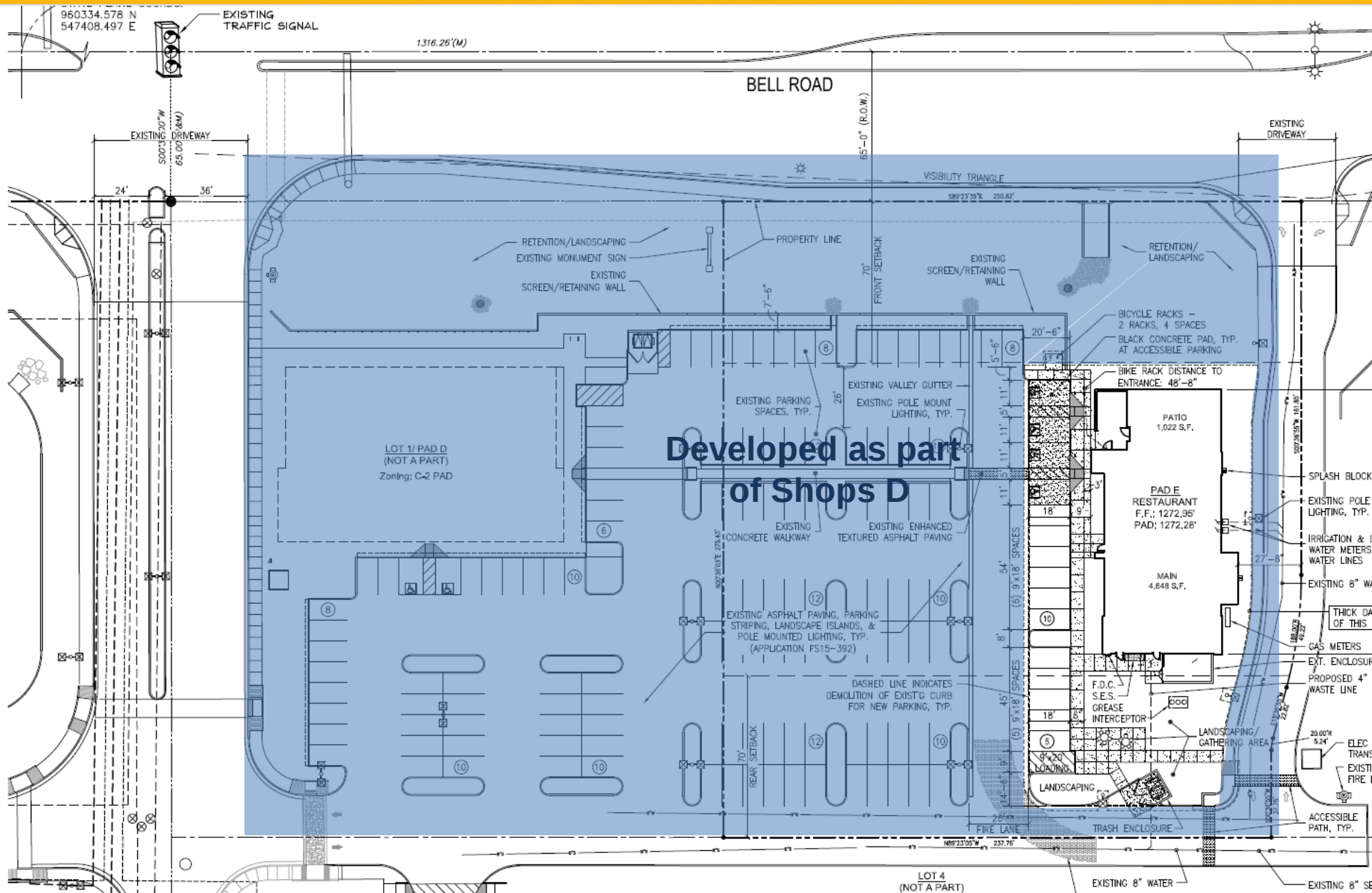


SITE MAP

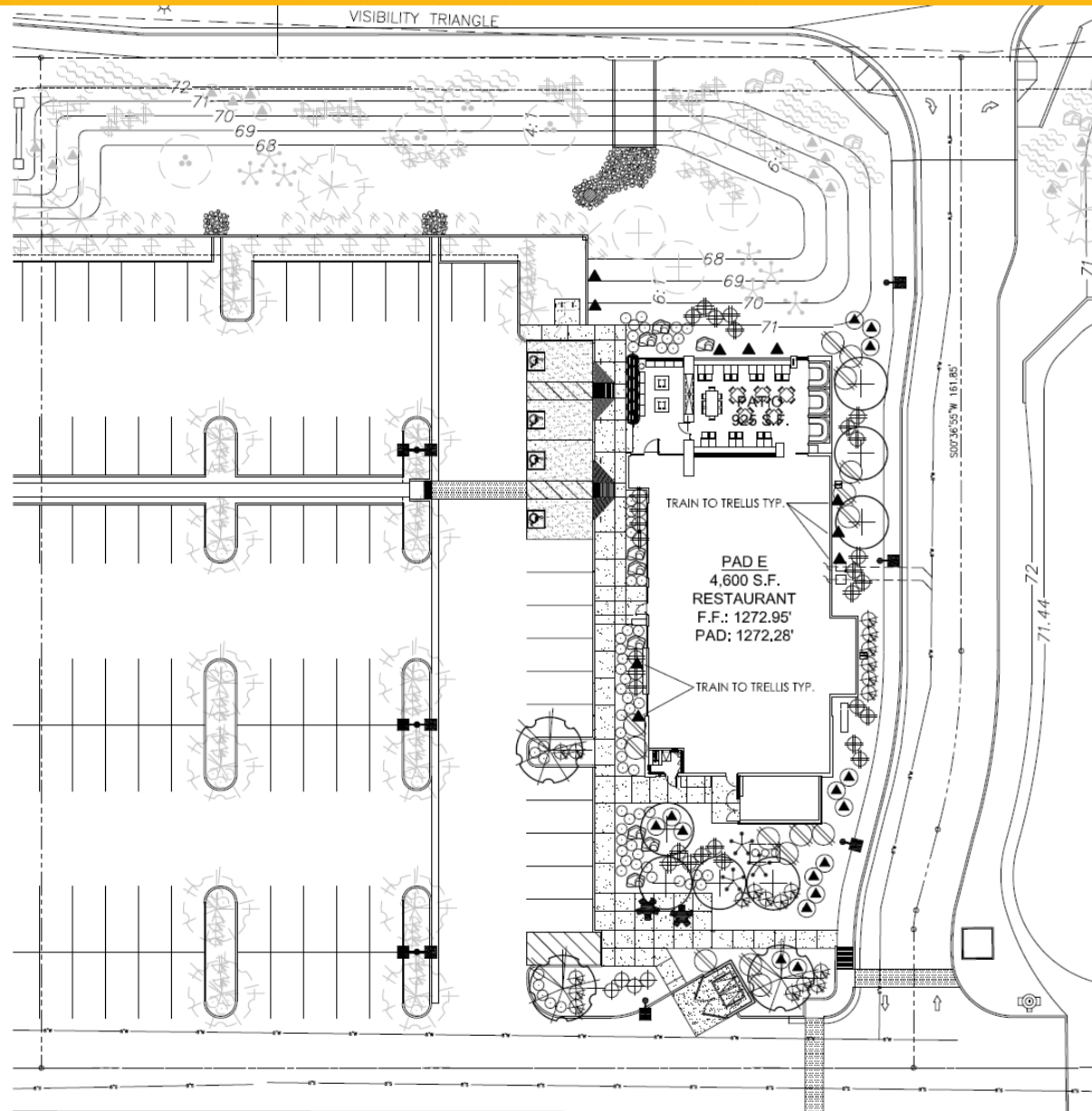


MASTER SITE PLAN

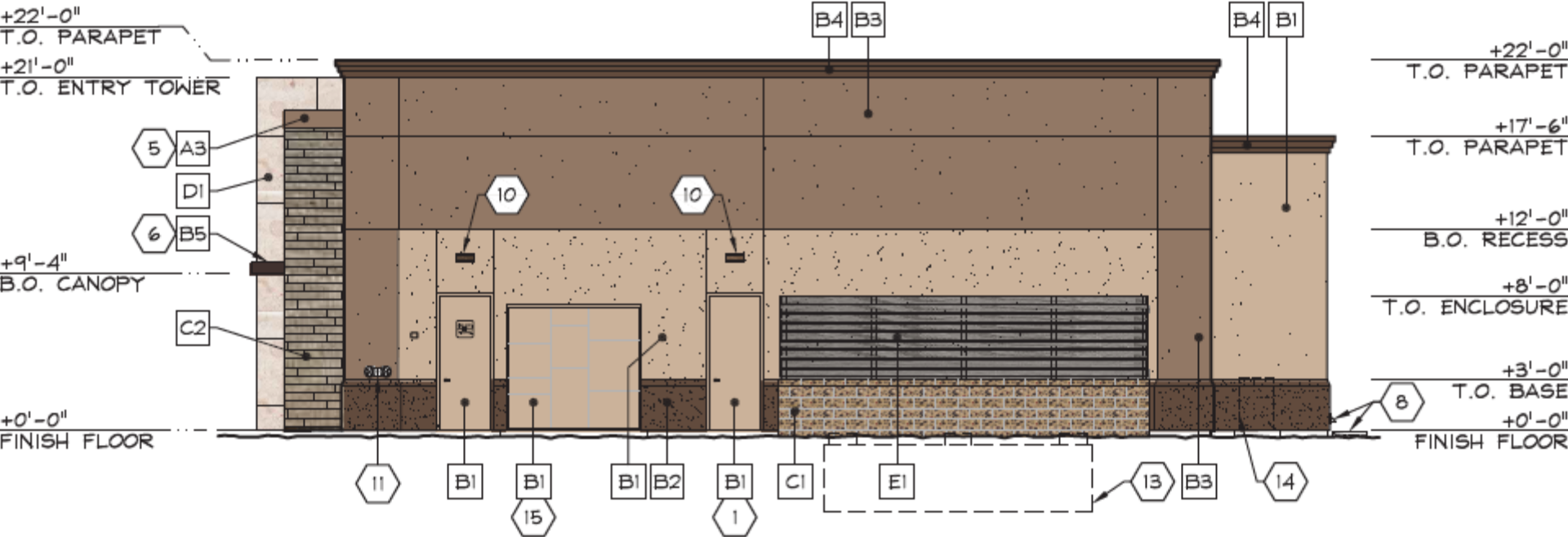




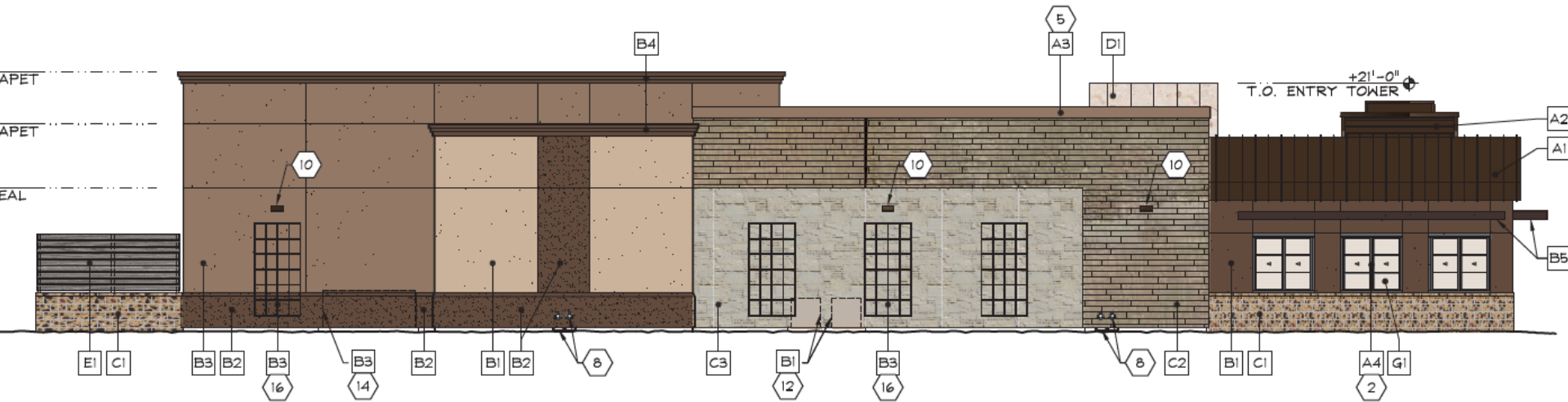
LANDSCAPE PLAN



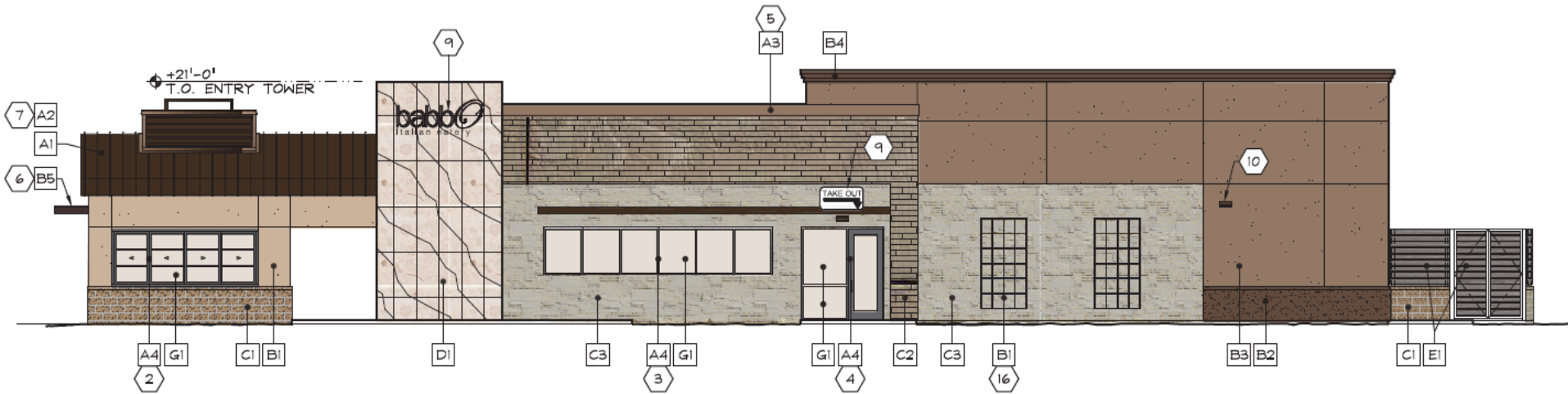
ELEVATIONS – South



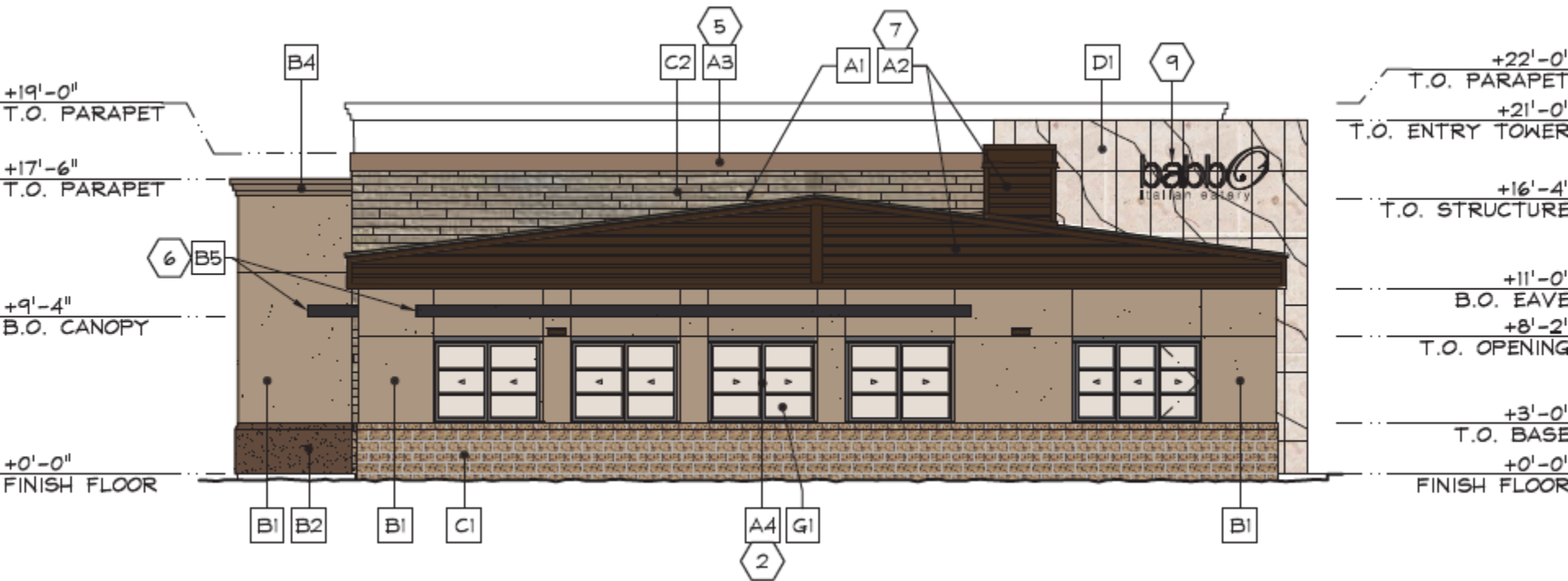
ELEVATIONS - East



ELEVATIONS – West (Front)



ELEVATIONS - North



**Staff Recommends Approval of
FS16-024, A Site Plan for
Babbo Italian Eatery
Subject to Stipulations 'a' – 'd'
Questions or Comments?**



CITY OF SURPRISE
Planning and Zoning Commission

April 21, 2016 @ 6:00:00 PM

Back Print

Board Meeting Date:	April 21, 2016	Contact Person:	Joshua Mike, Community Development
Submitting Department:	CD Boards and Commissions	District:	4
Staff Recommendations:	No Action		

Consent	Regular	x	Public Hearing	Report/Discussion
---------	---------	---	----------------	-------------------

Agenda Wording:

Presentation and discussion regarding an update for the proposed zoning text amendment to establish the Surprise Heritage District and two corresponding overlay zoning districts. Members of the public are encouraged to attend to listen and provide comments.

Motion:

No Action

Background:

The purpose of this district is to enhance and protect the historic character of the residential core while providing infill opportunities and encouraging redevelopment for both residential and commercial uses that further reflect the historic character of the area.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

ATTACHMENTS:

Click to download

- ☐ [00 - FS16-149- Surprise Heritage District - Staff Report](#)
- ☐ [01 - FS16-149 - Surprise Heritage District - Draft Section 122-69.01](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video x White Board x Other x

Presentation Speaker Names (spelling and titles for TV captions):

Joshua Mike, Planner II

Eric Fitzer, Director

ZONING TEXT CHANGE

REPORT TO THE PLANNING AND ZONING COMMISSION

Case: FS16-149

Project Name: Surprise Heritage District, Residential Neighborhood Overlay and Arts and Entertainment Overlay

Council District: District 4 – Mulberry

Meeting Date: April 21, 2016

Planner: Joshua Mike, 623.222.3134, joshua.mike@surpriseaz.gov

Owner: City of Surprise

Applicant: City Initiated

Request: Zoning text amendment to create a new Surprise Heritage District (SHD) zoning district for the Original Townsite with two corresponding overlay zones, Residential Overlay (RO) and Commercial Overlay (CO). The (SHD) zone is a hard zone that will repeal and replace the existing OTS Overlay Zone.

Site Location: The Original Townsite; specifically the area bounded by Bell Road on the north, Greenway Road on the south, El Mirage on the east and Dysart Road on the west.

General Plan 2035: The proposal is consistent with the Surprise General Plan 2035

Support/Opposition: General feedback has been supportive.

Staff Analysis: Collaborative efforts with the residents of the Original Townsite have included presentations, an interactive workshop, visual surveys, and numerous discussions. This process has led to the proposed text for the Surprise Heritage District zoning district and the two (2) accompanying zoning overlays.

40 **Project Background:**

41
42 The current Surprise Unified Development Code, Section 122-67 – Original Townsite (OTS) is a
43 zoning overlay that is the principal section of code that provides incentives for redevelopment
44 in the OTS. It also identifies the “Specific Plan for the Revitalization of the Original Townsite”
45 (adopted under Resolution No 02-104 on May 23, 2002) as the central document for review and
46 analysis of any development application or building permit within the OTS. The design
47 guidelines and desired uses within these documents are the guiding factors for the use of
48 developers, property owners, staff, the Planning and Zoning Commission, and City Council
49 when considering projects.

50
51 The City of Surprise has prepared this ordinance to further the efforts and objectives of the
52 existing Original Townsite (OTS) Revitalization Plan that was adopted by City Council in 2002.
53 The proposed Surprise Heritage District (SHD) zoning district will repeal and replace the existing
54 OTS overlay zoning district as a “hard zone” for this area, create two distinct overlays unique to
55 this area, codify the standards, and implement the revitalization plan. Under this district, the
56 following overlays will be provided:

- 57 • The Residential Overlay (RO) that will focus on residential areas within the SHD to
58 reinforce the desired standards and uses allowed within the neighborhood.
- 59 • The Commercial Overlay (CO) will be used to facilitate shopping for residents and
60 visitors with appropriate consumer-oriented retail and service functions.

61
62 **Project Description:**

63
64 *Inside the Surprise Unified Development Code*

65 Updating the Surprise Unified Development Code (SUDC) through a Zoning Text Amendment
66 requires public hearings and an ordinance associated with the changes. The proposed Surprise
67 Heritage District (SHD) is a proposed zoning district under Division 9 – Flexible Zoning and will
68 be included as Section 122-69.1. The adoption of this text amendment will cause the SHD
69 Zoning to repeal and replace Section 122-67 – OTS Overlay and Section 109-51 – Infill incentive
70 district.

71
72 This new section to the SUDC will contain all components directly associated with this zoning
73 district; i.e. design standards, two zoning overlays exclusively correlating to the SHD, a new land
74 use matrix, development standards, development incentives, definitions, and specific use
75 standards. Any future update to the SUDC may require the reorganization of these
76 components without any substantial changes to the regulations.

77
78 *Location with Surprise*

79 The physical boundary for the SHD will be consistent with the OTS; bound by Bell Road to the
80 north, El Mirage Road to the east, Greenway Road to the south, and Dysart to the west.
81 Neither of the two overlays have a defined boundary at this time but will generally be aligned
82 with the existing uses; RO in the central residential areas and the CO along major roadways and
83 exterior boundaries of the OTS.

Expectations for all Properties

Certain design standards and parameters will be applicable to all properties within the SHD as part of implementing of the vision and goals within the revitalization plan. The design guidelines and general character expectations for the area embodied within the SHD text. They are taken from the revitalization plan that is currently used to evaluate projects.

Development Incentives

There are many benefits built into the ordinance, but an increased number of development incentives will be available. Most of the proposed incentives are included from previous regulations and consolidated into one easy to read document. As such the SHD will continue to offer these as well as several new incentives to those property owners within one of the two proposed overlay zones.

While development incentives are not a “property right”, they are offered by the City to encourage new construction and redevelopment of properties needing an update. The existing development incentives within Sec. 109-51 – Infill Incentive District are specifically applied only to the Original Townsite. This section will also be repealed and replaced by the SHD Zoning District text rather than under Chapter 109 Miscellaneous Provisions, Article III.

There may be some properties that choose to opt-out of the proposed overlay zones, as it’s their right to retain the existing underlying zoning district with the associated land uses and development standards. Those properties that chose to opt-out will no longer be eligible for the existing incentives. However, these properties will have several new incentives available that continue to encourage improvements to the area and/or help alleviate some of the nonconforming issues that hinder these properties.

Land Uses

The SHD hard zoning district will not add new regulations land uses within the OTS. The existing rights within the underlying zoning and uses identified in the current Zoning Use Matrix found in Section 122-43 will be maintained prior to any properties being rezoned into either of the new overlay zones.

Any new land use regulations will be applied only to properties in either of the two (2) proposed SHD overlay zones. Section 122-69.1F of the SHD text will include the proposed Land Use Matrix that will only be applied after a rezoning action. This matrix will regulate land uses for both the Residential Overlay (RO) and the Commercial Overlay (CO).

For example, a property with an existing CN zoning will become SHD-CN after the proposed text amendment. Currently allowed commercial uses would not be changed as part of the adoption of this proposed text amendment. The next step will be for the City to apply one of two overlays throughout the OTS. That example property would be rezoned from SHD-CN to become SHD-CO and reflect the change in allowed land uses. It is during this process that property owners will have the opportunity to opt-out of the overlays and retain the current hard zoning and land uses.

128 In order to capture the preferred land uses identified in the Specific Plan for the Revitalization
129 of the Original Townsite the proposed Land Use Matrix provides an easy to read and easy to
130 administer regulation. It creates a balance of land uses that reflect the ability to live, work, and
131 play within the heritage neighborhood.

132
133 The most significant change in the proposed Land Use Matrix removes any future industrial and
134 intense commercial uses that may detract from the scale and cultural character of the district.
135 It also encourages the inclusion of new neighborhood scale businesses that may feature arts
136 and cultural type uses.

137
138 Additional changes include an increased number of uses in the residential area along with the
139 creation of an Administrative Use Permit (AUP) to facilitate applications that warrant more
140 review than a building permit but do not require a public hearing.

141 *Cottage Industries*

142 Part of growing the OTS is developing strong economic base and supporting entrepreneurs.
143 Surprise has made great strides with the development of the AZ Techcelerator and by allowing
144 home based businesses. However, there is a gap between what the SUDC regulates for “home
145 occupations” and the type of business that will progress into an innovation business incubator.

146
147 Unique to the SHD-RO is the introduction of the “Cottage Industry” in a residential setting.
148 Similar to home occupations, it is not a specific land use but a method of conducting business
149 within a residential setting. By definition a cottage industry is an accessory use to the single-
150 family dwelling unit and must retain the residential architecture and character. Cottage
151 industries go beyond home occupations by allowing a small number of employees, the
152 presence of customers, and an expansion of where and how much of the property can be used
153 for the business.

154
155 Standards and expectations for cottage industry include maintaining the residential character
156 and intensity within the neighborhood; the home must still look like a home. Any outdoor
157 activities associated with the cottage industry must be in the rear or side yards and screened
158 from the street. The only distinguishing feature to identify the business is a small sign on or
159 near the home and away from the street.

160 *New Development Standards*

161
162 In addition to the proposed Land Use Matrix, there are development standards specific to
163 properties rezoned into the two (2) proposed overlays. These properties receive natural
164 incentives built into the rights of the overlay zones with standards that include smaller lot sizes
165 than currently allowed. This will encourage the desired neighborhood character of the historic
166 Phoenix market. Lot coverage has been increase to provide optimal use and flexibility.

167
168 The ultimate goal is to bring “legal non-conforming” properties into conformance by providing
169 an opportunity to obtain building permits for sheds, garages and carports, additions, and other
170 renovations that will improve the neighborhood. This will also allow properties to obtain
171

172 financing from banks that would otherwise not lend due to current nonconforming issues with
173 the SUDC.

174
175 **Reviewing Agencies:**
176

177 In addition to the standard internal city reviewing divisions, EPCOR Water, the Arizona
178 Department of Transportation, Maricopa Water District, Luke AFB, USPS, the City of El Mirage,
179 and the Maricopa Association of Governments were included in the routing of this request. It is
180 still early in the process and there are additional opportunities for input.

181
182 *Luke AFB*

183 Overall support was received from Luke AFB. Concern was expressed towards the allowed
184 density up to 8 dwelling units/acre in the proposed SHD-RO text. According to the general
185 policy in the graduated density concept, the maximum density to gain full support from Luke
186 AFB for this area is 6 dwelling units/acre. This policy is directed towards any one property being
187 too dense under the extended flight patterns.

188
189 As an area focusing on redevelopment and infill projects, there are no large properties that will
190 conflict with the flight patterns around Luke AFB. Surprise will still achieve an overall density of
191 6 dwelling units/acre across the OTS will ensure that the area meets this policy.

192
193 **Citizen Review:**
194

195 Over the course of the past year, Community Development has been a guest and presenter at
196 the monthly District 4 meetings hosted by Councilwoman Villanueva. Collaborative efforts with
197 the residents have included presentations, and interactive workshop, visual surveys, and
198 numerous discussions. This process has led to the proposed text for the Surprise Heritage
199 District zoning district and two (2) accompanying zoning overlays.

200
201 Formal Citizen Review meetings are scheduled for April 27 and May 11, 2016. Results of these
202 meetings will be presented at the formal Public Hearings required to adopt the ordinance.

203
204 **Findings:**
205

- 206 • The proposed zoning text amendment is consistent with the Surprise General Plan 2035
 - 207 ○ Land Use Element – Goal 1: Policy 2. The City shall coordinate with established
208 neighborhoods to continue to foster stable households, while new
209 development will provide options for future residents.
 - 210 ○ Land Use Element – Goal 1: Policy 3. The City shall collaborate with property
211 owners and other stakeholders to ensure that Surprise Center will grow as
212 the heart of the city, with a dynamic mixed use environment where people
213 can live, shop, work, and socialize.

- Land Use Element – Goal 1: Policy 5. The city shall proceed with the preparation of individual specific area plans for the identified sub areas and/or Commerce and Office character areas presented in the General Plan.
- Land Use Element – Goal 7: Public Outreach. Promote public participation in the City’s planning processes.
- Conservation, Rehabilitation, & Redevelopment Element – Goal 2: Existing Dwellings. Preserve the quality of existing dwellings and neighborhoods so that people will find our community a healthy, safe, and attractive place to live.
- The proposed zoning text amendment will advance the goals of the City Council.

Next Steps:

Staff will continue public outreach and stakeholder review prior to the public hearings necessary for this zoning text amendment. The overall timeline for this project includes:

- Citizen Review Meeting – April and May
- City Council Work Session – May
- Zoning Text Amendment Public Hearings – June
- Rezoning of properties into the proposed overlays - August

The draft text in **Exhibit 1** will become Section 122-69.1 under DIVISION 9 – FLEXIBLE ZONING within the Surprise Unified Development Code.

- Section 122-67 - Original Townsite (OTS) will be deleted from the SUDC
- Specific Plan for the Revitalization of the Original Townsite will be repealed
- Sec. 109-51 – Infill Incentive District will be deleted from the SUDC
- The properties within the OTS will effectively be rezoned with the SHD zoning district
 - The SHD zoning will not remove property rights nor restrict uses
 - At a later date, the City will initiate an application to rezone properties within the OTS into either of the proposed overlay zones.

The approval of the text amendment for the proposed zoning district and overlays will be followed by the rezoning of properties within the new SHD. Each property will fall under one of three (3) basic groupings after the City initiated rezoning application:

- 1) retains existing zoning district, land use rights, and development standards, or
- 2) rezone to become SHD-RO or
- 3) rezone to become SHD-CO

Attachments:

Draft Section 122-69.1 – Surprise Heritage District

(Repeal and replace Sec 122-67 and Sec 109-51 in their entirety with below text)

Code of Ordinances

Part II – Land Development Ordinances

Chapter 122 – Surprise Unified Dev. Code

Article 6 – Zoning Districts

Division 9 Flexible Zoning

SEC 122-69.1 SURPRISE HERITAGE DISTRICT (SHD)

- A. Application.** The “Surprise Heritage District” (“SHD”) creates a specific zoning district to further delineate, and only be applied to, that specific area known as the original town site square mile. More specifically the area bounded by Bell Road on the north, Greenway Road on the south, El Mirage on the east and Dysart Road on the west. The SHD is a hard zone that replaces and repeals the existing Original Townsite (“OTS”) overlay zoning district. The SHD shall be applied to all properties within this very specific geographic area and in conjunction with either one of the two overlay zoning districts described in Sec 122-69.1(C) below or the existing underlying zoning district present on the property at the time of the adoption of this zoning ordinance. The City will not support any further rezoning in this area other than into one of the two overlay zoning districts.
- B. Purpose.** The purpose of this district is to enhance and protect the historic character of the residential core while providing infill opportunities and encouraging redevelopment for both residential and commercial uses that further reflect the historic character of the area. Further it is intended to promote the ability to live, work, and play within the heritage neighborhood by allowing for a refined mix of land uses and cottage industry that will revitalize and serve the neighborhood while maintaining both the scale and cultural character of the neighborhood.
- C. Establishment of Overlay Zoning Districts.** Further, and only in association with the SHD zone, is the creation of two overlay zoning districts to be known as; 1) the “Surprise Heritage District/Residential Overlay” (“SHD/RO”) and, 2) the “Surprise Heritage District/Commercial Overlay” (“SHD/CO”).
1. SHD/RO: This overlay is designed to preserve, protect and enhance the types of uses that are indicative of historic residential neighborhoods and the small scale cottage industry uses that are pedestrian-oriented and support the residents and allow for them to live, work, and play within their neighborhood. Limited multi-family uses that are designed to match the scale, massing, and appearance of the single-family neighborhood may be appropriate on infill parcels. The density of the multi-family use may be increased if the parcel is located at the fringe of the neighborhood and the architectural design, scale, and massing is harmonious with the adjacent neighborhood. Overall density for the SHD/RO zoning district is compliant with the Suburban Development Type in the General Plan 2035 up to 8 dwelling units per acre.

2. SHD/CO: This overlay is designed to provide and promote the local arts and culture as well as business opportunities that are compatible with and supportive of the Residential Overlay. A mix of neighborhood-scale commercial, retail, entertainment, live/work and mixed-use development shall be the primary land uses. Attached multi-residential complexes may also be permitted within this overlay district if appropriately located at the fringes of the district to serve as a buffer to the adjacent residential neighborhood. Overall density for the SHD/CO zoning district is compliant with the Mixed Use Residential and Commercial Development Types in the General Plan 2035 up to 10 dwelling units per acre.

D. Specific Terms Defined. The following words, terms and phrases, when used in this section, shall have the following meanings ascribed to them.

1. Adaptive Reuse: The conversion of historic or obsolescent building(s) from their original or most recent use to a new use representing compatible and appropriate change.
2. Cottage Industry: A small business, owned and operated by the residential occupant, in a residential area conducted within the dwelling or in an accessory building. The business may have employees and customers but must be clearly incidental and secondary to the use of the property for single-family residential purposes as well as adhere to the Use Specific Standards in Sec 122-69.1(G) below.
3. Community Garden: Land gardened collectively by a group of people. Gardening may include, but is not limited to, all types of horticulture such as flowers, vegetable or field crops, and orchards containing berry, bush or tree crops.
4. Qualifying Business: A new or expanding development that will be:
 - a. Legal and conforming upon project completion.
 - b. In possession of all required development approvals pursuant to City regulations, processes, procedures, and policies;
 - c. Occupying vacant property or replacing dilapidated buildings, or if expanding an existing business facility by at least 1,000 square feet and increasing the number of employees by ten (10%) percent.

E. Development Incentives. Development within the SHD shall be eligible for those specific incentives as outlined below.

1. Within the SHD Zoning District any new development or redevelopment, including resolution of existing non-conformance issues, shall be eligible for the following incentives:
 - a. A reduction in the front yard setback, for the front porch portion of the structure only, by five (5) feet.

- b. The maximum square footage of an individual accessory structure shall be 800 square feet; with the total number of such structure(s) limited by the maximum lot coverage.
2. In addition to any incentives permitted in section 1 above, development that is zoned one of the two overlay zoning districts associated with the SHD Zoning District (SHD/RO or SHD/CO) shall also be eligible for any of the following incentives:
 - a. Any new residential development zoned either as SHD/RO or as SHD/CO shall receive a one-hundred percent (100%) waiver of City of Surprise development impact fees.
 - b. New mixed-use projects and multi-residential projects shall be eligible for up to a twenty percent (20%) increase in permitted density when the development provides recreational facilities, community space, and connectivity to existing adjacent developments and the greater neighborhood.
 - c. New or expanding commercial development projects that also meet the definition of a qualifying business per Section 122-69.1(D) are eligible to receive a one-hundred percent (100%) waiver of building permit fees and building plan review fees.
 - d. Adaptive reuse projects shall be eligible to receive up to a fifty percent (50%) rebate of the City's sales tax apportionment of revenues during its first two years.
 - e. In lieu of providing on-site parking, participation in a joint use parking lot project or a parking improvement district shall be permitted.
 - f. If a "cottage industry" business is affiliated with a local-oriented small business promotion organization (such as "Local First Arizona") the annual City of Surprise Business License fee shall be waived. Proof of such affiliation must be presented annually to the City.

F. Land Use Matrix for the SHD Zoning District.

1. For those properties not in one of the overlay zones associated with the SHD, the Land Use Matrix in Sec 122-43 shall apply.
2. For those properties in one of the overlay zones associated with the SHD, the following Land Use Matrix, **Table No. 1**, shall apply.
3. The following Land Use Matrix, **Table No. 1**, describes land uses that are allowed in the two overlay zones in the SHD. Those uses delineated as needing a Conditional Use

Permit (CUP) shall be processed as a Type III development application (see Sec 122-154). Those uses delineated as needing an Administrative Use Permit (AUP) shall be processed as a Type I development application (see Sec 122-152).

4. Permitted (P) uses within the SHD overlay zones shall be those land uses listed as permitted by-right within the specific zoning district as listed in **Table No 1**; all other uses are prohibited (indicated by a double-hyphen "--"). Permitted uses are subject to all applicable standards of this Chapter and the Surprise Unified Development Code (SUDC).

TABLE NO. 1 LAND USE MATRIX FOR THE SHD OVERLAY ZONING DISTRICTS (P = Permitted; AUP = Administrative Use Permit; CUP = Conditional Use Permit; "--" = Prohibited)			
LAND USE GROUP		SHD/RO	SHD/CO
Agricultural, Ranching and Open Space Uses			
1	Animal Hospitals, Clinic, and Boarding Facilities (refer to Sec 122-74)	--	P
2	Community Garden (refer to Use Specific Standards of Sec 122-69.1G2 below)	P	P
3	Farmers Market (refer to Sec 122-82)	AUP	P
4	Parks, Recreation, and Open Lands	P	P
Residential Uses			
5	Assisted Living Center	AUP	P
6	Assisted Living Home (refer to Sec 122-99)	P	--
7	Bed And Breakfast Establishments (refer to Sec 122-76)	AUP	--
8	Caretaker, Guest or Granny Flat Dwelling (refer to Sec 122-83)	P	--
9	Group Home (refer to Sec 122-84)	P	--
10	Home Occupations (refer to Sec 122-86)	P	P
11	Hotels, Timeshares (refer to Sec 122-88)	--	P
12	Manufactured Homes (refer to Use Specific Standards of Sec 122-69.1G5 below)	P	--
13	Mixed-Use Dwellings (refer to Sec 122-91)	AUP	P
14	Multi-Family Dwellings (refer to Use Specific Standards of Sec 122-69.1G3. below)	CUP	P
15	Nursing Care Institution	CUP	P
16	Single-Family Dwellings (detached)	P	--
17	Single-Family Dwellings (detached with multiple single-family structures on 1 lot of record)	AUP	--
18	Single-Family Dwelling (attached) (refer to Use Specific Standards of Sec 122-69.1G4. below)	AUP	--
Retail and Service Uses			
19	Alcohol—Bar and/or Tavern, Microbrewery (refer to Sec 122-104)	CUP	P
20	Alcohol—Beverage Retail Sales	--	P
21	Animal Hotel/Overnight stay (refer to Sec 122-74)	--	P
22	Banks	--	P
23	Day Care Center - Child and/or Adult Care (refer to Sec 122-80)	AUP	--

TABLE NO. 1 LAND USE MATRIX FOR THE SHD OVERLAY ZONING DISTRICTS (P = Permitted; AUP = Administrative Use Permit; CUP = Conditional Use Permit; "--" = Prohibited)			
LAND USE GROUP		SHD/RO	SHD/CO
Retail and Service Uses (continued)			
24	Drive-Through Facilities (refer to Sec 122-78)	--	P
25	Funeral Home, Mortuary	--	P
26	Linen/Uniform/Diaper Service (Pickup and Supply Only)	--	P
27	Massage - Therapeutic	--	P
28	Medical Clinic or Laboratory	--	P
29	Medical Office	--	P
30	Mobile Vending	P	P
31	Nursery (display & sale of plant stock, seeds, or other horticultural items) (refer to Sec 122-93)	CUP	P
32	Personal Services Establishment (Typical personal service uses include arts and craft studios, barber/beauty shops, locksmith, shoe repair, tailors, photo studios, cleaning pickup and receiving station, travel agencies, printing or copy shops)	--	P
33	Personal Services Establishment (Uses Listed Above) - as a "cottage industry" (refer to Sec 122-69.1D and Sec 122-69.1G1 below)	AUP	P
34	Restaurant, Sit-down (Principally for the sale and consumption of food on the premises)	--	P
35	Restaurant, Convenience (Sale and consumption of food which has direct window service allowing customers to pick up food for off-premise consumption) (refer to Sec 122-78)	--	P
36	Restaurant, Sit-down or Convenience (excluding drive-thru) - as a "cottage industry" (refer to Sec 122-69.1D and Sec 122-69.1G1 below).	AUP	--
37	Retail Shopping Establishment limited to under 45,000 sf (Typical general merchandise includes clothing and other apparel, equipment for hobbies and sports, gifts, flowers and household plants, dry goods, food, home décor, home improvements, toys, furniture, antiques, books and stationery, pets, and similar consumer goods. Food store uses include grocery, delicatessen, catering, and specialty foods stores.)	--	P
38	Retail Shopping Establishment (Uses Listed Above) - as a "cottage industry" (refer to Sec 122-69.1D and Sec 122-69.1G1 below).	AUP	--
39	Vehicle Fueling Stations (refer to Sec 122-106)	--	P
Office Uses			
40	Call Center - as a "cottage industry" (refer to Sec 122-9.1D and Sec 122-69.1G1 below).	AUP	--
41	Call Center	--	P
42	General Office	--	P
43	Professional Office - as a "cottage industry" (refer to Sec 122-69.1D and Sec 122-69.1G1 below).	AUP	--
Public/Quasi-Public Facility Uses			
44	Business/Technology Incubator Space	--	P
45	Library	P	P
46	Post Office	P	P
47	Utility Equipment Infrastructure	P	P

TABLE NO. 1 LAND USE MATRIX FOR THE SHD OVERLAY ZONING DISTRICTS (P = Permitted; AUP = Administrative Use Permit; CUP = Conditional Use Permit; "--" = Prohibited)			
LAND USE GROUP		SHD/RO	SHD/CO
Public/Quasi-Public Facility Uses (continued)			
48	Wireless Telecommunication Facility (WTF)	refer to Sec 122-112 for permitting requirements	
Assembly Uses			
49	Assembly Uses limited to under 5,000 sf (Private Clubhouse and Lodges, Community Facilities, Public Meeting Hall, Youth Organization Clubs & Associated Activities, Auditoriums, Places of Worship	AUP	AUP
50	Assembly Uses (Uses Listed Above) greater than 5,000 sf (refer to Sec 122-69.1G3 below)	CUP	CUP
51	School—University or College (refer to Sec 122-101)	--	P
52	School—Pre-K through 12 (refer to Sec 122-100)	CUP	CUP
Recreational and Amusement Uses			
53	Athletic or Fitness Club, Commercial Recreation Facilities	--	P
54	Athletic or Fitness Club, Commercial Recreation Facilities (Less than 5,000 gross sq. ft. and Indoor Activities Only)	P	P
55	Athletic Fields—Non-commercial	P	P
56	Bowling Alley, Dance Hall, Pool Hall	--	P
57	Galleries, Museums (including display and production space)	--	P
58	Galleries - as a “cottage industry” (refer to Sec 122-69.1D and Sec 122-69.1G1 below).	AUP	--
59	Theater - Indoor including Dinner Theatres	--	P
Transportation Uses			
60	Park and Ride	--	CUP
61	Surface Parking Lot and Parking Structure	CUP	P
62	Transit Depot	CUP	CUP
Mixed Use Buildings			
63	Live-Work/Work-Live (refer to Sec 122-91)	P	CUP
64	Retail/Residential <u>or</u> Office/Residential (for uses previously listed in this Matrix)	CUP	P
65	Retail/Office (for uses previously listed in this Matrix)	--	P
Manufacturing and Process Uses			
66	Food Service Establishment under 15,000 sf that has manufacturing, on-site restaurant & retail combined as part of the establishment	--	CUP
67	Paper Products – as a “cottage industry” (refer to Sec 122-69.1D and Sec 122-69.1G1 below).	AUP	--
68	Warehousing, Mini	--	CUP
69	Welding Shop in association with art gallery - as a “cottage industry” (refer to Sec 122-69.1D and Sec 122-69.1G1 below).	AUP	--

G. Use-Specific Standards

1. Cottage Industry as accessory to a single-family residential use, as defined in Sec 122-69.1(D), shall adhere to the following use-specific standards:
 - a. The maximum size, including all portions of the dwelling and any and all accessory buildings used as a cottage industry shall be limited to 4,000 square feet or not more than sixty-five (65%) percent lot coverage, whichever is less.
 - b. The cottage industry use shall be limited to the first floor of the dwelling, accessory buildings, and outdoor areas of the lot.
 - c. A cottage industry use that receives patrons, students or any business-related individuals may only do so between the hours of 8:00 a.m. and 8:00 p.m.
 - d. Individual accessory buildings used as part of a cottage industry may be a maximum of 800 sq. ft. with the number of such buildings being subject to the total lot coverage limitations.
 - e. Accessory buildings and outdoor areas used for cottage industry purposes are intended to be limited to low intensity uses that produce or repair a product, and operate in such a way that they do not adversely affect adjacent properties. Parking and storage of business related commercial-rated vehicles, equipment, and products shall be limited to an enclosed building or within the rear yard and screened by an opaque wall or landscaping of approved drought-tolerant plant materials in combination with a wall.
 - f. Outdoor dining accessory to a cottage industry:
 - i. Shall not be located within the required front yard, shall be a minimum of fifteen (15') feet from an adjacent residential use, and screened by a minimum three (3') foot high opaque screening barrier or landscaping of approved drought-tolerant plant materials in combination with the barrier.
 - ii. Shall not be more than fifty (50%) percent of the dwelling unit's ground floor gross area.
 - iii. Shall not operate outside of the indoor restaurant's hours of operation.
 - g. A cottage industry use shall not change the character of the structure or alter the residential character of the neighborhood and shall be pedestrian-oriented.
 - h. Not more than forty-nine (49%) percent of the dwelling unit may be used for cottage industry. Up to one hundred (100%) percent of accessory buildings may be used for cottage industry.

- i. Cottage industries may employ up to 5 employees in addition to those residing in the residence.
- j. Signage shall be limited and shall comply with the following:

- i. One Shingle Sign designed to be hung from the front porch element of the structure and oriented primarily for the aid of pedestrians is permitted per business; the sign area shall not exceed six (6) square feet. The minimum clearance between the bottom of the shingle sign and any underlying pedestrian walkway shall be seven feet, six inch.



- ii. One A-frame Sign may be permitted; it shall not to exceed six (6) square feet in surface area on any one side and must be located on-site and within ten (10) feet from the edge of the front porch (or front door if no porch is present) of the business.



- 2. Community Gardens as defined in Sec 122-69.1(D), shall adhere to the following use-specific standards:
 - a. A fence shall be provided on the perimeter of the garden in accordance with the design standards in Sec 122-69.1.I.6 herein.
 - b. The site shall be designed and maintained so that water and fertilizer will not drain to adjacent property.
 - c. Hours of operation shall be limited to the hours between 6 a.m. – 8 p.m.
 - d. Waste receptacles shall be provided and screened from neighboring properties. Refuse shall be removed so as not to be a nuisance.
 - e. Composting equipment and containers, if provided, shall be specifically designed for that purpose and shall be located away from adjacent residences, businesses, and parks. Open composting piles are prohibited.
 - f. Facilities shall be provided for the storage of any tools, fertilizers, equipment or other materials used in conjunction with the community garden. Such facilities shall screen materials from neighboring properties and shall be adequately secured and meet setback requirements.
 - g. The property shall be maintained in a neat and orderly fashion as required by the Surprise Property Maintenance Code.
- 3. Multi-Family Dwellings and Assembly Uses over 5,000 square feet shall adhere to the following use-specific standards:

- a. The residential development shall have a building frontage presence to the neighborhood street rather than a parking lot frontage. The front entry shall include a walkway to the street or surrounding neighborhood.
 - b. All multi-story buildings shall have unified and stylistic design elements present on all sides of the building(s). A variety of massing and building heights and stepping rooflines are strongly encouraged. Straight rooflines should be minimized by using offsets, differing heights, stepping, or different orientations to produce variety within a development.
 - c. A color palette of earth tones shall be the predominate color used. The use of accent colors is encouraged to provide a festive and lively streetscape. Accent color, different from the dominate wall color, should be used to accent entryways and special architectural features of a building.
 - d. The required off-street parking spaces shall be located in the rear, to the side, or beneath the structures with cars recessed one-half level to avoid interrupting the rhythm of the established streetscape, to make land on site available for gardens and courtyards rather than for surface parking, and to provide a pedestrian level connection to the neighborhood.
 - e. Mechanical equipment and similar utility devices, whether ground level or roof mounted, shall be screened from public view and designed to appear as an integral part of the building, with the exception of solar panels. The mechanical equipment screening shall be included in the overall allowed building height. Mechanical equipment shall be treated to be non-reflective. Electrical meters, service components, and SES cabinets should be screened from public view or designed to appear as an integral part of the building.
 - f. Reflective building materials are prohibited. Metallic surfaces, including roof materials, shall be treated to be non-reflective.
 - g. The use of metal or corrugated metal as the primary building material is prohibited; it may however be used as an architectural accent or decorative element.
 - h. The building materials of a project shall be durable, require low maintenance, and be of the same or higher quality as surrounding developments. The City strongly encourages all new buildings to meet LEED (Leadership in Energy and Environmental Design) certification standards and building sites to utilize Low Impact Development (LID) technologies.
 - i. All buildings shall harmonize architecturally with the residential character of the neighborhood.
 - j. Assembly Uses may be required to provide a traffic study, depending on the specific location.
4. Attached Single-Family Dwellings shall adhere to the following use-specific standards.

- a. All buildings shall have their main entrance opening to a street or a central interior courtyard.
 - b. A variety of rooflines styles and heights shall be used as well as projections and recesses. The structures shall have stylistic architectural design elements on all sides. The architecture shall incorporate style-appropriate and varied door and window openings and architectural embellishments. A variety of porch configurations shall be used to provide functional architectural integrity to the buildings.
 - c. Brick, integral colored block, or slump block shall be used (not painted concrete masonry units) for buildings using masonry as the primary material.
 - d. Flat asphalt shingles shall not be permitted. Clay tile, concrete tile, architectural asphalt shingles, cementitious or fiberglass tiles, and standing-seam or corrugated metal shall be the permitted roofing material. New roofing products shall require city approval.
5. Manufactured Homes, as defined in Sec 122-178, may be permitted to provide affordable and diversified housing opportunities within the SHD provided they maintain the aesthetic and architectural design standards similar to those required for conventional site-built homes; more specifically the following use-specific standards.
- a. Existing mobile homes or manufactured homes that are not in compliance with the use-specific standards listed herein at the time of the adoption of this Ordinance shall be governed by the provisions of the SUDC – Zoning Ordinance on non-conforming structures.
 - b. The existing mobile home or manufactured home may be replaced in its' entirety with a conventional site-built home or with a multi-sectional manufactured home that will provide a dimensional appearance similar to the site-built homes in the neighborhood.
 - c. All manufactured homes shall be required to meet the current HUD Code standards, be certified under the National Manufactured Housing Construction and Safety Standards Act of 1974, and comply with State of Arizona Office of Manufactured Housing regulations.
 - d. A manufactured home shall not have been constructed more than ten (10) years prior to the date of application for building installation permit.
 - e. A mobile home, recreational vehicle, or park model may not be used as a residential dwelling within the SHD Zoning District.
 - f. Foundations. The manufactured home shall be set and placed on an excavated foundation with permanent stem wall so that the home appears to have a foundation wall similar in appearance and kind to conventional site built homes.
 - g. Exterior Building Materials. Reflective building materials are prohibited.

Metallic surfaces, including roof materials, shall be treated to be non-reflective. The building materials shall be durable, require low maintenance, and be of the same or higher quality as the surrounding site-built homes. Acceptable siding materials include: vinyl, wood, stucco, brick, stone, or other masonry materials or any combination of these materials.

- h. Roof Materials. Flat asphalt shingles shall not be permitted. Clay tile, concrete tile, architectural asphalt shingles, cementitious or fiberglass tiles, and standing-seam or corrugated metal shall be the permitted roofing material.
- i. Mechanical equipment. Roof-mounted mechanical equipment is prohibited. Mechanical equipment, propane tanks, water filters, coolers and air conditioning units and similar utility equipment shall be installed at ground level or wall mounted and should be screened from public view.
- j. Garage or Carports. The design and materials of any garage or carport shall be compatible with the design and materials of the main structure.
- k. Semi-Attached Accessory Structures. An open covered porch, deck or veranda is required on the front elevation. Uncovered porches, decks, or verandas are permitted on the side and rear of the home provided they meet the setback requirements. Canopies, awnings or other structures to provide shade or protection from weather shall be open on three (3) sides.
- l. Steps. If the dwelling unit has steps leading to the front entry the steps shall be attached to a permanent foundation and designed and constructed to compliment the architectural style of the dwelling unit.
- m. Anchor Ties. The structure shall be anchored to the ground, in accordance with engineered plans and/or approved manufactured home installation standards.
- n. Additions. All additions and alterations shall be in compliance with the current Building Code as adopted by the City or in compliance with the most current HUD Code standards.

H. Development Standards for the SHD Zoning District.

- 1. For those properties that retain the existing underlying zoning district present on the property at the time of the adoption of this zoning ordinance, the development standards shall be those of the retained underlying zoning district (shown here in **Table No. 2** and **Table No. 3** for convenience).
- 2. For those properties that chose to have one of the above (Sec 122-69.1C) overlay zones associated with the SHD applied to their property the development standards delineated in **Table No. 2** and **Table No. 3** shall apply.

Table No. 2 – SHD Residential Neighborhood					
	Retaining Existing Zoning		Residential Overlay Zoning (RNO)		
	Existing RL-5	Existing RM	Attached Product	Detached Product	Multi-Family Product
Min. Lot Area	7,000	6,000	5,000	5,000	15,000
Min. Lot Width	60'	50'	--	--	--
Min. Lot Depth	100'	60'	--	--	--
Min. Front Setback	20' w/ 5' BTL ²	20' w/ 5' BTL ²	15' ^{2,3}	15' ^{2,3}	15' ^{2,3}
Max. Front Setback	--	--	30' ⁴	30' ⁴	30' ⁴
Min. Side Setback	5'/15'	5'/10' ¹	5'/10' ¹	5' w/ 15' total ¹	20'
Min. Rear Setback	12'	12'	12'	15'	20'
Max. Bldg. Height	35'	35'	30'	30'	35'
Lot Coverage %	45%	45%	65%	65%	65%
Notes: 1 0 feet; side yard setback permitted for common wall attached dwelling option. End units shall maintain minimum total yard setback on one side of building. 2 Only a covered front porch may encroach closer to the street by up to 5 feet. 3 Front facing garage doors shall be setback a minimum of 20 feet. 4 Measured from the primary dwelling; excluding front porch					

Table No 3 – Non- Residential Area					
	Retaining Existing Zoning			Arts & Entertainment Overlay (AEO)	
	Existing CN	Existing CC	Existing IP	Mixed-Use	Commercial
Min. Lot Area	12,000	18,000	20,000'		
Min. Lot Width	100'	100'	50'	--	--
Min. Lot Depth	--	--	--	--	--
Front Yard Setback	Est. BTL	Est. BTL	Est. BTL	15'	15'
Side Yard Setback	10'/0' ¹	24'/0' ¹	15' ²	10'/0' ¹	10'/0' ¹
Rear Yard Setback	20'	24'	25' ²	10'	10'
Max. Bldg. Height	30'	35'	35'	45'	35'
Lot Coverage %	--	--	--	85%	85%
Notes: 1 0 feet side yard setback permitted for common wall option. 2 50 feet setback from residential.					

I. Design Standards for all new development in the SHD Zoning District.

- These Design Standards shall apply to any and all new development in the SHD regardless if the property is within one of the two overlays zones or not.
- Prior to any permits being issued for new development, or renovation of existing building, the architectural, site, and landscape plans shall be reviewed by Development Services for adherence to the following Design Standards, in addition to other adopted regulations.

3. Plants and landscape materials shall be drought-tolerant. All areas of bare soil shall be covered with grass, drought tolerant plantings or decomposed granite to discourage weeds and control dust. Edible citrus and nut trees are permitted. All landscaping shall be well-maintained with diseased and/or dead plant material removed and replaced promptly.
4. Trellis work, open front porches, and cloth shade sails will not be counted as part of the lot coverage allowance.
5. Architectural features of all buildings and structures shall reflect the historical character of Phoenix-valley architecture from the 1880's to the 1950's. These architectural features shall be present on all elevations, and include: projections and reveals; back and side porches on residential structures; roof and cornice lines; doors, windows, and window treatments such as shutters, awnings, and lintels; and other architectural features such as porte-cocheres, garage doors, dormers, chimneys, and patios etc. This also includes the types of building materials, textures, roof treatments and pitches, building heights, building mass, and proportions indicative of historical Phoenix-valley architecture.

Architectural Styles that Reflect the History of the Southwest



California Bungalow



Craftsman Bungalow



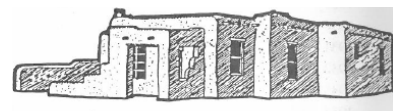
Spanish Colonial Revival



Classical Bungalow



Southwest Style



Pueblo Revival

6. An open and covered porch on the front elevation for all new residential development shall be required as a means to help create a pedestrian scale connection to the street and permit interaction with neighbors, enhance citizen Block Watch programs, and enhance the sense of neighborhood. Building orientation shall consider the existing environmental conditions and solar orientation.
7. Although not required, residential walls and fences may be built to a height not exceeding six (6') feet in a side or rear yard or thirty-six (36") inches in a required front yard. The wall or fence material shall be compatible with the design style and material of the main structure, preferably masonry, wrought iron, painted wood. The use of chain link fencing (with or without slats) is prohibited.

8. All non-residential land uses that abut residential properties are required to provide visual screening from those residences by an opaque wall or landscaping of approved drought-tolerant plant materials in combination with a wall. This screening shall include accessory uses, loading and unloading areas, and trash receptacles. The use of concertina wire is prohibited when adjacent to a public right-of-way.
9. On-site retention shall be required for all non-residential properties, all multi-family residential properties, and residential properties with more than one (1) single-family dwelling. Rainwater harvesting for plant irrigation is encouraged.
10. A color palette of earth tones shall be the predominate color used. The use of accent colors is encouraged to provide a festive and lively streetscape. Accent color, different from the predominate wall color, should be used to accent entryways and special architectural and trim elements (i.e. columns, trellises, lintels, sills, door and window frames, cornices and moldings).
11. Roof-mounted mechanical equipment shall be screened from public view and designed to appear as an integral part of the building, with the exception of solar panels. Mechanical equipment, propane tanks, water filters, coolers and air conditioning units and similar utility equipment installed at ground level or wall mounted shall be screened from public view.



CITY OF SURPRISE
Planning and Zoning Commission

April 21, 2016 @ 6:00:00 PM

Back Print

Board Meeting Date:	April 21, 2016	Contact Person:	Eric Fitzer, Community Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	No Action		

Consent	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Discussion pertaining to future agenda items.

Motion:

Background:

Financial Impact Statement:

No Financial Impact

ATTACHMENTS:

[Click to download](#)

No Attachments Available

External Attachment Links:

Meeting Requirements:

Powerpoint x Video x White Board x Other x

Presentation Speaker Names (spelling and titles for TV captions):