



CITY OF SURPRISE
Regular City Council Meeting Agenda
16000 N. Civic Center Plaza
Surprise, AZ 85374

Tuesday, January 20, 2015 @ 6:00 PM

[Back](#) [Print](#)

- A. Call To Order
- B. Roll Call
- C. Pledge of Allegiance
- D. PROCLAMATION AND COMMUNITY ACKNOWLEDGEMENTS
- E. City Manager Report:
- F. City Attorney Report:
- G. Regular City Council Meeting Agenda:

Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the City Council. There will be no separate discussion on these items unless a Councilmember requests, in which event the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

Consent Agenda:

- | | | | |
|-----|-------------------|---|---|
| *#1 | District Citywide | <u>Consideration and action on the meeting minutes of January 6, 2015 Regular City Council Meeting.</u> | Approve
Sherry Ann
Aguilar,
City Clerk |
| *#2 | District 1 | <u>Approval of final plat entitled “A Resubdivision of a Portion of Martin Acres,” generally located on the northwest corner of Norwich Drive and the Grand Avenue Frontage Road; Resolution 2015-08.</u> | Approve
Hobart
Wingard -
Community
Development |
| *#3 | District 3 | <u>Consideration and action accepting maintenance of the streets and public utility improvements at Greer Ranch North Phase II; Resolution 2015-04.</u> | Approve
Karl Zook
and Kristin
Tytler,
Public
Works
Department |
| *#4 | District 4 | <u>Consideration and action on a request for a Series 14 (New License/CLUB)for Surprise AZ Aerie #4534 FOE located at 12425 W. Bell Road, Suite #100, Surprise, Arizona 85378.</u> | Approve
Sherry Ann
Aguilar, City
Clerk MMC |

Regular Agenda Item - Non-Public Hearing:

- | | | | |
|----|-------------------|--|---|
| #5 | District Citywide | <u>Presentation and consideration of the City's proposed state legislative agenda for the First Regular Session of the 52nd Legislature.</u> | Approve
Michael
Celaya |
| #6 | District Citywide | <u>Presentation and discussion regarding the FY2014 Budget Status Report through November 2014.</u> | No Action
Lindsey
Duncan,
Finance
Director |
| #7 | District Citywide | <u>Consideration and action regarding changes to the Surprise Municipal Code, Chapter 18, Article I establishing City Manager Authority regarding the provision of emergency services within the City and in the surrounding communities; and authorizing council to adopt by resolution appropriate fees for the provision of emergency services.</u> | Approve
Fire Chief
Tom Abbott |
| #8 | District Citywide | <u>Presentation and discussion on the Central Arizona Water Conservation District (CAWCD) 4-Cent Property Tax, its possible extension, and the implications if the tax is not extended.</u> | No Action
Terry Lowe,
Director
Water
Resource
Management
Department |

H. Call To The Public:

INSTRUCTIONS: In order to address the City Council, you will need to fill out a Call to the Public Form available at the front counter, and then turn it in to the City Clerk before the meeting begins.

[Download the Call to the Public form](#) (PDF download requires [Adobe Acrobat Reader](#))

[Fill out the Call to the Public form online](#) If submitting form electronically, please submit to City Clerk at least one hour before the meeting start time.

The Call to the Public form is also available at the front counter.

Note: A.R.S. 38-431.01(H) - During this time members of the public may address City Council on any item not on the agenda. At the conclusion of the open call, City Council may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the City Council. There will be no separate discussion on these items unless a Councilmember requests, in which event the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

I. Other Business and Future Agenda Items:

J. Mayor/Council Reports:

K. Executive Session:

For information Purposes; Upon a public majority vote of a quorum of the City Council, the Council may hold an executive session, which will not be open to the public, but for only the following purposes:

- discussion or consideration of personnel matters (A.R.S. §38-431.03 (A)(1));
- discussion or consideration of records exempt by law from public inspection (A.R.S. §38-401.03 (A)(2));
- discussion or consultation for legal advice with the city's attorneys (A.R.S. §38-431.03 (A)(3));
- discussion or consultation with the city's attorneys regarding the city's position regarding contracts that are the subject of negotiations, in pending or contemplated litigation, or in settlement discussions conducted in order to avoid or resolve litigation (A.R.S. §38-431.03 (a)(4));
- discussion or consultation with designated representatives of the city in order to consider its position and instruct its representatives regarding negotiations with employee organizations (A.R.S. §38-431.03 (A)(5)); or
- discussion, consultation or consideration for international and interstate negotiations or for negotiations by a city or town, or its designated representatives, with members of a tribal council, or its designated representatives, of an Indian reservation located within or adjacent to the city or town. A.R.S. §38-401.03 (A)(6)).
- discussing or consulting with designated representatives of the city in order to consider its position and instruct its representatives regarding negotiations for the purchase, sale or lease of real property (A.R.S. §38-431.03 (A)(7)).

Confidentiality Requirements Pursuant to A.R.S. §38-431.03(C)(D): Any person receiving executive session information pursuant to A.R.S. §38-431.02 shall not disclose that information except to the Attorney General or County Attorney by agreement of the City Council, or as otherwise ordered by a court of competent jurisdiction.

L. Adjournment:

SHERRY ANN AGUILAR, CITY CLERK, MMC

POSTED: January 15, 2015 at 12:40 PM

SPECIAL NOTE: PERSONS WITH SPECIAL ACCESSIBILITY NEEDS, INCLUDING LARGE PRINT MATERIALS OR INTERPRETER, SHOULD CONTACT THE CITY CLERK'S OFFICE @ 623.222.1200 OR TTY 623.222.1002, BY NO LATER THAN 24 HOURS IN ADVANCE OF THE REGULAR SCHEDULED MEETING TIME.



CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

+ Back Print

Council Meeting Date: January 20, 2015

Contact Person: Sherry Ann Aguilar, City Clerk

Submitting Department:

District: Citywide

Staff Recommendations: Approve

Consent	x	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on the meeting minutes of January 6, 2015 Regular City Council Meeting.

Motion:

I move to approve the meeting minutes.

Background:

Financial Impact Statement:

ATTACHMENTS:

Click to download

☐ [Minutes](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	White Board	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

CITY OF SURPRISE
Regular City Council Meeting Minutes
16000 North Civic Center Plaza
Surprise, AZ 85374

Tuesday, January 6, 2015 @ 06:00 PM

Call to Order

Roll Call

Mayor Wolcott called the **Regular City Council Meeting** to order at 06:00 PM at Surprise City Hall Council Chamber, 16000 North Civic Center Plaza Surprise, Arizona 85374, on **Tuesday, January 6, 2015**. Also in attendance with Mayor Wolcott were Vice Mayor Hall, Council Member Winters, Council Member Biundo, Council Member Williams, Council Member Villanueva, and Council Member Tande.

Staff City Manager, Bob Wingenroth, City Attorney, Misty Leslie, and City Clerk,
Present: Sherry Ann Aguilar.

Pledge of Allegiance

Invocation

City Manager Report:

City Attorney Report:

Consent Agenda

***1 - Consideration and action on the meeting minutes of the Regular City Council Work Session and Regular City Council Meeting of December 16, 2014 - APPROVED**

***2 - Consideration and action on a request for Sampling Privileges for Wal-Mart #277 located at 13770 W Bell Road, Surprise, Arizona 85374 (Current License #09070240) - APPROVED**

***3 - Consideration and action on an Intergovernmental Agreement between the City and ADOT related to the installation and maintenance of the Emergency Vehicle Pre-emption systems; Resolution 2015-02 - APPROVED**

***4 - Consideration and action approving an extension term for an Intergovernmental Agreement between the City and Maricopa County related to HOME Investment Partnership Funding extending the term to June 20, 2015; Resolution 2015-06 - APPROVED**

***5 - Consideration and action approving an Intergovernmental Agreement between the City and ADOT regarding the installation of conduit along State Route 303 (SR303); Resolution 2015-05 - APPROVED**

Council Member Williams made the motion to approve the consent agenda. Council Member Biundo seconded the motion. Seven yes votes. Motion carried.

Regular Agenda Item test- Non-Public Hearing

6 - Consideration and action approving a Vice Mayor. City Clerk Aguilar Will administer the Oath of Office - APPOINTED WILLIAMS

Mayor Wolcott opened the nominations for Vice Mayor.

Council Member Winters nominated Council Member Tande.

Council Member Villanueva nominated Council Member Williams.

4 votes for Williams, 3 votes for Tande. Williams was appointed Vice Mayor

City Clerk Aguilar administered the Oath of Office for Vice Mayor Williams.

7 - Consideration and action authorizing the addition of one position to the Legal Department and one position to the Water Fund, and amending the FY2014-2015 Budget in the amount of \$135,800 from Water Fund Contingency to Water Fund Personnel; Resolution 2015-07 - APPROVED

Water Services Director, Terry Lowe gave a presentation regarding the Water Portfolio Manager.

Council Member Hall inquired if this would be split. It will be split evenly 50/50.

Regular City Council Meeting Minutes – January 6, 2015 – Page 3

Council Member Biundo made the motion to approve authorizing the addition of one position to the Legal Department and one position to the Water Fund, and amending the FY2014-2015 Budget in the amount of \$135,800 from Water Fund Contingency to Water Fund Personnel; Resolution 2015-07. Council Member Winters seconded the motion.

Call to the Public:

Other Business:

Mayor and Council Reports:

Mayor and Council attended and/or reported on the following:

Council Member Villanueva - Nice holiday with her family, and New Year's Dance.

Vice Mayor Williams - Gave kudos to Paul Bernardo, reviewed You Tube videos of students, very impressed.

Council Member Tande - Attended Governor's Inauguration - liked his speech. Looking forward to seeing the budget being presented in a few weeks. Hopeful for this budget process.

Council Member Hall - Thanked and congratulated Mike Gent and team for the completion of Mountain View Blvd.

Council Member Biundo - White papers for the SC Grand Magazine, then posted to website for public view. New management team, water, and January will be on Volunteers within the City organization. February will be on the Tech-celerator, March will be on the Youth Initiative.

Council Member Winters - Judged Christmas Decorations at Bell West Ranch, very cold that night. December 19th Friday night chat had a good turnout. Reflection of my last year, I hope I am representing our residents of District 1 well.

Mayor Wolcott - First, Happy New Year to everyone! Thanked our City Manager to putting together a tremendous team for the City and appreciate all of your hard work.

Regular City Council Meeting Minutes – January 6, 2015 – Page 4

Arizona Commission and GPEC Updates - The picture is not as glum as we think it is in terms of ED. The City of Surprise has done a great job for a very successful 2015. We are going to see a lot of big things happening in this next year. Every member of this Council has done an extraordinary job in representing the residents of their districts and the City as a whole.

Mayor and Council thanked Vice-Mayor Hall and presented him with a plaque of appreciation.

Executive Session:

Adjournment:

Council Member Hall made the motion to adjourn the Regular City Council Meeting of January 6, 2015 at 6:25 PM. Vice Mayor Williams seconded the motion. Seven yes votes.

Sharon R. Wolcott, Mayor

ATTEST:

Sherry Ann Aguilar, City Clerk

CERTIFICATION:

I, Sherry Ann Aguilar, City Clerk for the City of Surprise, Maricopa County, Arizona, do hereby verify that these are the true and correct minutes of the Regular City Council Meeting of **Tuesday, January 6, 2015.**

Sherry Ann Aguilar, City Clerk



CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

Back Print

Council Meeting Date:	January 20, 2015	Contact Person:	Hobart Wingard - Community Development
Submitting Department:	CD	District:	1
Staff Recommendations:	Approve		

Consent	x	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Approval of final plat entitled "A Resubdivision of a Portion of Martin Acres," generally located on the northwest corner of Norwich Drive and the Grand Avenue Frontage Road; Resolution 2015-08.

Motion:

I move to approve Resolution 2015-08.

Background:

The proposed project is seeking a Final Plat to facilitate a 6,400 square foot retail sales facility.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

ATTACHMENTS:

Click to download

- ☐ [FS14-347 - Pottery Place Warehouse - Final Plat - Staff Report](#)
- ☐ [FS14-347 - Pottery Place Warehouse - Final Plat](#)
- ☐ [FS14-347 - Pottery Place Warehouse - Site Plan](#)
- ☐ [FS14-347 - Pottery Place Warehouse - Vicinity Map](#)
- ☐ [Resolution 2015-08 with attachment](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	White Board	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

Hobart Wingard, Planner II
Eric Fitzer, Director



COMMUNITY DEVELOPMENT

Date: January 20, 2015

To: Mayor and City Council

From: Eric Fitzer, Director
Lloyd Abrams, Long Range Planning Manager
Hobart Wingard, Planner
hobart.wingard@surpriseaz.gov 623-222-3156

Re: FS14-347 – The Pottery Place Warehouse Final Plat

Application Summary

The applicant is requesting Final Plat approval for a proposed retail sales project known as The Pottery Place Warehouse.

Location

The approximate two (2) acre subject project is generally located on the northwestern corner of Norwich Drive and the Grand Avenue Frontage Road.

History

- The subject parcel was annexed into the City of Surprise on May 23, 1987.
- On January 9, 2003, the Mayor and City Council approved a rezone from Single Family Residential (R1-43) to Community Commercial (C-2).
- On January 8, 2015, the Planning and Zoning Commission approved a site plan for a retail facility known as The Pottery Warehouse.

Project Summary

The proposed Pottery Place Warehouse project is seeking a Final Plat to facilitate a retail sales facility. The Final Plat, known as “A Resubdivision of a Portion of Martin Acres” will combine three (3) parcels into a single parcel referred to as “Lot 66.”

The Pottery Place Warehouse has provided indoor and outdoor retail sales in the city since 1988. Currently, the existing facility is located about ¼ mile northwest on the Grand Avenue Frontage Road. The proposed facility will allow the retail activities to expand their use and create a facility that meets code requirements. Additionally, the existing site is located in a floodplain and has a history of Stormwater inundation. The proposed site, bounded by this plat is completely removed from any flood plain issues.

Findings of Fact

1. Staff finds that the proposed Final Plat complies with the Surprise General Plan.
2. Staff finds that the proposed Final Plat complies with the Surprise Municipal Code.

Recommendation

Staff recommends approval of “A Resubdivision of a Portion of Martin Acres” project.

Attachments

Vicinity Maps, Final Plat, and Site Plan

"A RESUBDIVISION OF A PORTION OF MARTIN ACRES"

BEING A PORTION OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

DEDICATION

STATE OF ARIZONA
COUNTY OF MARICOPA

KNOW ALL PERSONS BY THESE PRESENTS: THAT WILLIAM J. KLEIN & KARIN J. KLEIN "OWNERS", HAVE SUBDIVIDED UNDER THE NAME "A RESUBDIVISION OF A PORTION OF MARTIN ACRES", A SUBDIVISION LOCATED IN A PORTION OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA AS SHOWN AND PLATTED HEREON AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF "A RESUBDIVISION OF A PORTION OF MARTIN ACRES" AND DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET, AND EASEMENT CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET, AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, AND/OR NAME GIVEN TO EACH RESPECTIVELY AS SHOWN ON THIS PLAT.

OWNER HEREBY GRANTS TO THE PUBLIC A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS PUBLIC UTILITY EASEMENTS AS SHOWN ON THE PLAT FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, MAINTAINING, REPAIRING, REPLACING AND UTILIZING PUBLIC UTILITIES.

OWNER HEREBY GRANTS TO THE CITY OF SURPRISE A CROSS ACCESS EASEMENT ACROSS THE ENTIRE PLAT FOR THE PURPOSE OF PROVIDING CONTINUOUS AND UNINTERRUPTED INGRESS AND EGRESS FOR EMERGENCY AND TRASH COLLECTION VEHICLES.

OWNER HEREBY GRANTS TO THE UNITED STATES OF AMERICA DEPARTMENT OF THE AIR FORCE ("USAF") AN AVIGATION EASEMENT OVER AND ACROSS THIS PLAT AND EVERY LOT AND PARCEL THEREOF, WHICH EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE RIGHT OF FLIGHT OF AIRCRAFT OVER THIS PLAT, TOGETHER WITH ITS ATTENDANT NOISE, VIBRATIONS, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE AND AUXILIARY FIELD.

THE MAINTENANCE OF LANDSCAPING WITHIN OPEN SPACES, LANDSCAPED TRACTS, RETENTION BASINS AND PARKS SHALL BE THE RESPONSIBILITY OF THE OWNER OR THE ASSOCIATION FORMED BY THE OWNER.

THE MAINTENANCE OF LANDSCAPING WITHIN THE ADJACENT PUBLIC RIGHTS-OF-WAY, INCLUDING LANDSCAPED MEDIANS WITHIN COLLECTORS AND LOCAL STREETS AND LANDSCAPED AREAS BETWEEN THE CURB AND THE DETACHED SIDEWALK, SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER OR THE PROPERTY ASSOCIATION FORMED BY THE ADJACENT PROPERTY.

LANDSCAPING MAINTENANCE WITHIN THE MEDIANS WITHIN THE PUBLIC RIGHT-OF-WAY WITHIN ANY ARTERIAL OR PARKWAY STREET CLASSIFICATION SHALL BE RESPONSIBILITY OF THE CITY OF SURPRISE AFTER ACCEPTANCE.

ALL IMPROVEMENTS, FOR STREETS AND PUBLIC UTILITIES OWNED AND OPERATED BY THE CITY, INSTALLED OR CONSTRUCTED BY OWNER WITHIN THE PUBLIC RIGHTS-OF-WAY, THE EASEMENTS, OR ANY TRACTS OR PARCELS HEREBY DEDICATED TO THE CITY OF SURPRISE SHALL BE DEEMED TO HAVE BEEN DEDICATED BY OWNER TO THE CITY UPON THEIR COMPLETION; HOWEVER, SUCH TRANSFER SHALL NOT OCCUR UNTIL THE CITY COUNCIL FOR THE CITY OF SURPRISE MANIFESTS ITS ACCEPTANCE BY SEPARATE FORMAL COUNCIL ACTION.

THE EASEMENTS GRANTED WITHIN THIS DEDICATION ARE PERMANENT AND PERPETUAL AND SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF.

IN WITNESS WHEREOF, WILLIAM J. KLEIN & KARIN J. KLEIN, AS OWNERS HAS HEREUNDER CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER THIS ____ DAY OF ____, 20__.

(WILLIAM J. KLEIN & KARIN J. KLEIN)

BY _____

ITS _____

ACKNOWLEDGMENTS

STATE OF ARIZONA)
)S.S.
COUNTY OF MARICOPA)

ON THIS ____ DAY OF ____, 20__, BEFORE ME THE UNDERSIGNED

PERSONALLY APPEARED, _____ WHO HEREBY EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING THE NAME OF SCOTTSDALE HEALTH OFFICE PROPERTIES, LLC, AND ACKNOWLEDGED THAT HE, AS SUCH OFFICER, BEING AUTHORIZED SO TO DO, EXECUTED THE FORGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

SOUND ATTENUATION AND OVERFLIGHT

PUBLIC NOTICE:

THE LOTS DEPICTED ON THIS PLAT ARE LOCATED WITHIN THE VICINITY OF LUKE AIR FORCE BASE AND MAY BE SUBJECT TO OVER FLIGHTS BY JET AIRCRAFT. ALL STRUCTURES WITHIN THIS PLAT SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE SOUND ATTENUATION STANDARDS ADOPTED BY THE CITY OF SURPRISE. A MAP DEPICTING THE MOST CURRENT ADOPTED MAG NOISE CONTOURS IN RELATION TO THIS PLAT SHALL BE DISPLAYED IN ALL SALES OFFICES. ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.

RELEASE OF LIABILITY:

WILLIAM J. KLEIN & KARIN J. KLEIN "OWNER" DOES HEREBY (1) RELEASE AND DISCHARGE THE USAF AND THE CITY OF SURPRISE, AND (2) INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE, OF AND FROM ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE OVER, OR IN CONNECTION WITH AIRCRAFT OVER FLIGHTS FROM AIRCRAFT UTILIZING LUKE AIR FORCE BASE, WHETHER SUCH DAMAGE SHALL ORIGINATE FROM NOISE, VIBRATION, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE. THIS INSTRUMENT SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF. THIS INSTRUMENT DOES NOT RELEASE THE USAF FROM LIABILITY FOR DAMAGE OR INJURY TO PERSON OR PROPERTY CAUSED BY FALLING AIRCRAFT OR FALLING PHYSICAL OBJECTS FROM AIRCRAFT, EXCEPT AS STATED HEREIN WITH RESPECT TO NOISE, FUMES, DUST, FUEL, AND LUBRICANT PARTICLES.

NOTES

1. OWNER HEREBY FURTHER AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE FROM ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE IN CONNECTION WITH THE USE OF THE SIDEWALKS LOCATED WITHIN THE RIGHT-OF-WAY.

2. THE PROPERTY OWNER AT THE TIME WHEN CITY OF SURPRISE WATER AND/OR SEWER INFRASTRUCTURE IS AVAILABLE AT THE PROPERTY, SHALL BE REQUIRED TO CONNECT IN ACCORDANCE WITH SURPRISE MUNICIPAL CODE AND PAY ALL APPLICABLE FEES. ANY OWNER OF THE PROPERTY SHALL NOTIFY PROSPECTIVE BUYERS AND THE PUBLIC OF THIS NOTE, AND SALES CONTRACT, REPORT SHALL CONTAIN SUCH NOTE.

3. THE PROPERTY OWNERS, OR ANY SUBSEQUENT OWNERS SHALL NOT PROCEED WITH ANY ON SITE GRADING OR EXCAVATION WITHOUT FIRST OBTAINING A PERMIT FROM THE CITY OF SURPRISE.

4. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING FLOOD ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 04013C1210 L, WITH A DATE OF IDENTIFICATION OF OCTOBER 16, 2013, FOR COMMUNITY NO. 040063. IN MARICOPA COUNTY, STATE OF ARIZONA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

5. IN ACCORDANCE WITH ARS § 9-461.07, THE CITY OF SURPRISE HAS DETERMINED THAT ALL DEDICATIONS OCCURRING WITH THIS PLAT ARE IN CONFORMANCE WITH THE SURPRISE GENERAL PLAN.

6. PURSUANT TO A.R.S. § 42-11102, THE CITY OF SURPRISE, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA, IS EXEMPT FROM ALL TAXES AND ASSESSMENTS BASED ON ASSESSED VALUE EXCEPT FOR SPECIAL DISTRICTS #14751 AND 14710, WHEN APPLICABLE.

CITY OF SURPRISE ENGINEER APPROVAL

DATA ON THIS PLAT REVIEWED AND APPROVED THIS ____ DAY, OF ____, 20__, BY

THE CITY ENGINEER OF SURPRISE, ARIZONA.

APPROVED _____
CITY ENGINEER DATE

OWNER

THE POTTERY PLACE WAREHOUSE
24620 N. GRAND AVENUE
SURPRISE, ARIZONA 85387
WILLIAM J. KLEIN & KARIN J. KLEIN
623-214-9081

WATER PROVIDER

BEARDSLEY WATER

FEMA NOTE

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C1210 L, DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED ENTIRELY IN ZONE X. ZONE X (OTHER AREAS) DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BENCHMARK

CITY OF SURPRISE B.M. NO. 58

CHISELED SQUARE ON THE EAST SIDE OF CONCRETE BASE OF WICKENBURG DIRECTIONAL SIGN, 9± EAST OF EDGE OF PAVEMENT OF GRAND AVENUE ON THE EAST SIDE OF THE INTERSECTION OF GRAND AVENUE AND NORWICH DRIVE

CITY OF SURPRISE ELEVATION = 1395.16 (NAVD 88 DATUM)

BASIS OF BEARING

S89°52'14"W ALONG THE SOUTH LINE OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, PER THE PLAT OF RECORD FOR MARTIN ACRES AS RECORDED IN BOOK 65 OF MAPS, PAGE 47, MARICOPA COUNTY RECORDS, ARIZONA.

CITY OF SURPRISE COUNCIL APPROVAL

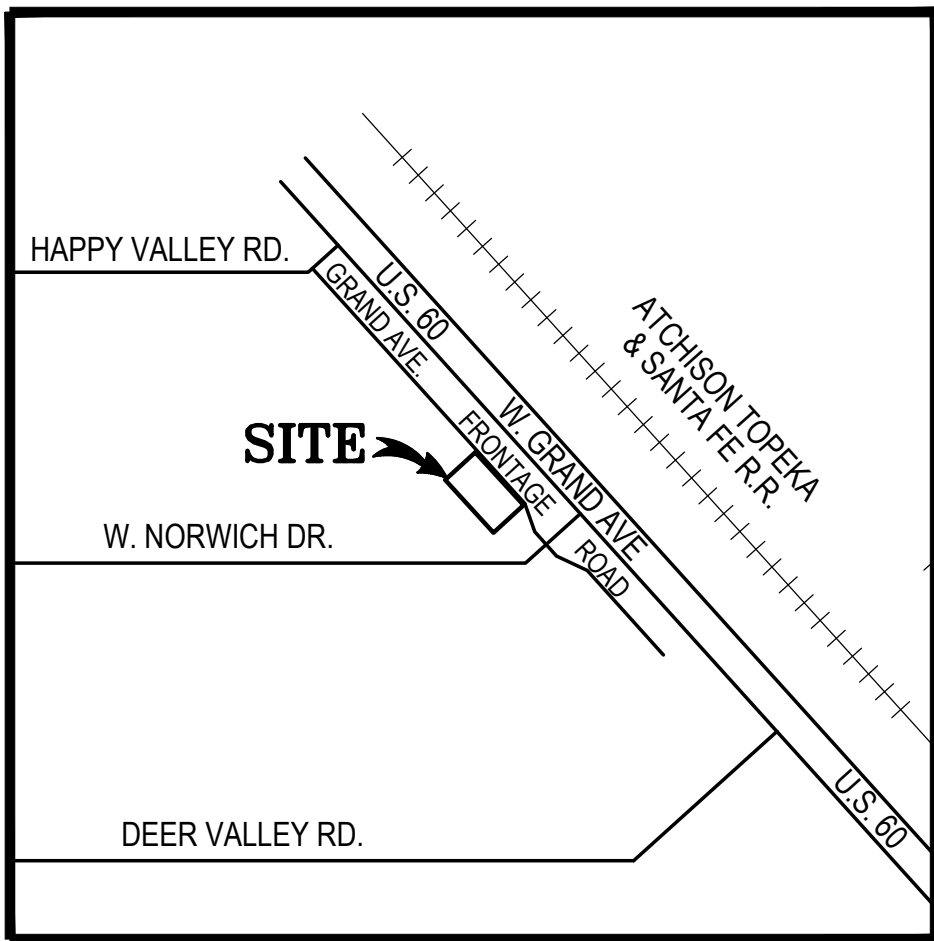
APPROVED BY THE CITY COUNCIL OF THE CITY OF SURPRISE, ARIZONA. THIS ____ DAY,

OF ____, 20__.

MAYOR DATE

ATTEST: _____

CITY CLERK DATE



VICINITY MAP
N.T.S.

LEGEND/ABBREVIATIONS

	PROPERTY CORNER FOUND (ACCEPTED CORNER, UNLESS OTHERWISE NOTED)
	PROPERTY LINE
	SET 1/2" REBAR W/ CAP
	EASEMENT
	MEASURED DIMENSION
	RIGHT OF WAY
	RECORD DIMENSION
	EXISTING
	ASSESSOR'S PARCEL NUMBER
	DOCKET
	PAGE
	MARICOPA COUNTY RECORDER
	PROPERTY BOUNDARY/ RIGHT OF WAY
	EXISTING ROAD CENTERLINE/MONUMENT LINE
	MONUMENT

LEGAL DESCRIPTION

PARCEL NO.1:

LOTS 17 AND 18, MARTIN ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 65 OF MAPS, PAGE 47;

EXCEPTING THEREFROM THAT PORTION OF SAID LOTS 17 AND 18 CONVEYED TO STATE OF ARIZONA IN WARRANTY DEED RECORDED FEBRUARY 28, 2000 AS DOCUMENT NO. 2000-95200; AND EXCEPTING THEREFROM ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS, AS RESERVED IN THE PATENT TO THE LAND.

PARCEL NO.2:

LOT 19, MARTIN ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 65 OF MAPS, PAGE 47;

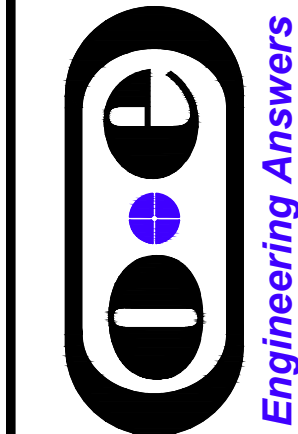
EXCEPTING THEREFROM THAT PORTION OF SAID LOT 19 CONVEYED TO STATE OF ARIZONA IN WARRANTY DEED RECORDED SEPTEMBER 16, 1999 AS DOCUMENT NO. 99-868529; AND EXCEPTING THEREFROM ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS, AS RESERVED IN THE PATENT TO THE LAND.

CERTIFICATION

THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT OF THE PREMISES DESCRIBED AND PLATTED HEREON WAS MADE UNDER MY DIRECTION DURING THE MONTH OF SEPTEMBER 2014; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE REFERENCED.

GENE C. HARRISON, R.L.S. #22762
12-02-2014
DATE

O'NEILL ENGINEERING, L.L.C.
Engineering • Planning • Surveying • SUE

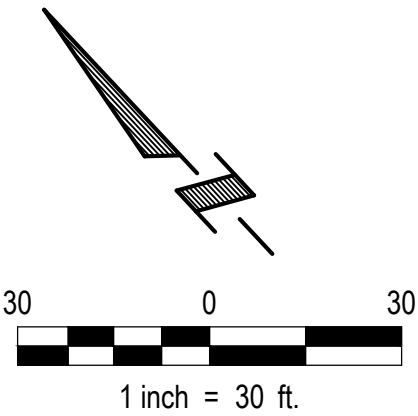


"A RESUBDIVISION OF
A PORTION OF MARTIN ACRES"
CITY OF SURPRISE
MARICOPA COUNTY, ARIZONA

RESUBDIVISION

Proj No.	2014.317.001	Revision	Date	Description
Date:	2014/12/03			
Designed By:	MWP			
Drawn By:	MWP			
Scale:	NTS			
Sheet:	1	of	2	

BEING A PORTION OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST OF
THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



1. FINAL PLAT OF "MARTIN ACRES" AS RECORDED IN BOOK 65 OF MAPS, PAGE 47, MARICOPA COUNTY RECORDS. (R)
2. RECORD OF SURVEY PREPARED BY LAND SURVEY SERVICES PLC, SIGNED AND SEALED BY THOMAS L. ROPE RLS. # 21081 DATED JULY 5, 2013 (UNRECORDED RECORD OF SURVEY) (R2)
3. ARIZONA DEPARTMENT OF TRANSPORTATION (ADOT) WARRANTY DEEDS, DOCUMENT NUMBER 1999-0868529 AND DOCUMENT NUMBER 2000-0095200. EXCEPTIONS (R3)
4. WARRANTY DEED AS RECORDED IN DOCUMENT 2013-0623538, MARICOPA COUNTY RECORDS. (APN: 503-72-017A & APN: 03-72-018A)
5. WARRANTY DEED AS RECORDED IN DOCUMENT 2013-0628375, MARICOPA COUNTY RECORDS. (APN: 503-72-019)
6. WARRANTY DEED AS RECORDED IN DOCUMENT 2009-0465517, MARICOPA COUNTY RECORDS. (APN: 503-72-016) RE-RECORDING OF RESOLUTION NO. 2006-04-A-017 WICKENBURG-PHOENIX HIGHWAY. EXCEPTION, LOT 16
7. JOINT TENANCY DEED AS RECORDED IN DOCUMENT 10596 PAGE 0893, MARICOPA COUNTY RECORDS. (APN: 503-72-020) ARIZONA DEPARTMENT OF TRANSPORTATION (ADOT) ORDER FOR IMMEDIATE POSSESSION, DOCUMENT NUMBER 1999-1047390. EXCEPTION, LOTS 20 AND 21
8. MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION (MCDOT) GIS-SURVEY POINT REPORT (WWW.FED.MARICOPA.GOV) LAND SURVEY SECTION. REFERENCE POINT NAME 63075-1M.

PROJECT TEAM

OWNER: BILL KLEIN
POTTERY PLACE WAREHOUSE
24620 N. GRAND AVE.
SURPRISE, AZ 85387
PH 623 214-9081

CONTRACTOR:
MIKE STEFFES
CAPSTONE CONSTRUCTION
1525 W. HATCHER ROAD
PHOENIX, AZ 85021
PH 602 997-4492

ARCHITECT:
DOUG STROH
STROH ARCHITECTURE
1323 SOUTH SCENIC HEIGHTS DRIVE
PRESCOTT, AZ, 86303
PH 928 771-0548

SITE ENGINEER:
DANIEL GONZALEZ
O'NEILL ENGINEERING
2001 W. CAMELBACK RD STE 200
PHOENIX AZ 85015
PH 602 242-0020

LANDSCAPE:
DAVE FLYNN
BILTFORM LANDSCAPE ARCHITECTURE
11460 N. CAVECREEK RD
SUITE II
PHOENIX AZ, 85020
PH 602 285-9200

PARKING REQUIREMENTS

BUILDING AREA - 7,261 S.F.
ONE REQUIRED SPACE PER 375 S.F. OF BUILDING AREA = 20 SPACES
NUMBER OF SPACES PROVIDED = 23

ADA ACCESSIBLE PARKING SPACES - REQUIRED = 1,
PROVIDED ONE (1) ADA VAN ACCESSIBLE PARKING SPACE.

BUILDING / SITE INFORMATION

SITE SQUARE FOOTAGE - 77,060.63 SQUARE FEET

SITE PERCENTAGE COVERAGE = 15.9%

BUILDING AREA - 7,261 SQUARE FEET (BUILDING ONLY)
- UNDER ROOF 12,322 SQUARE FEET

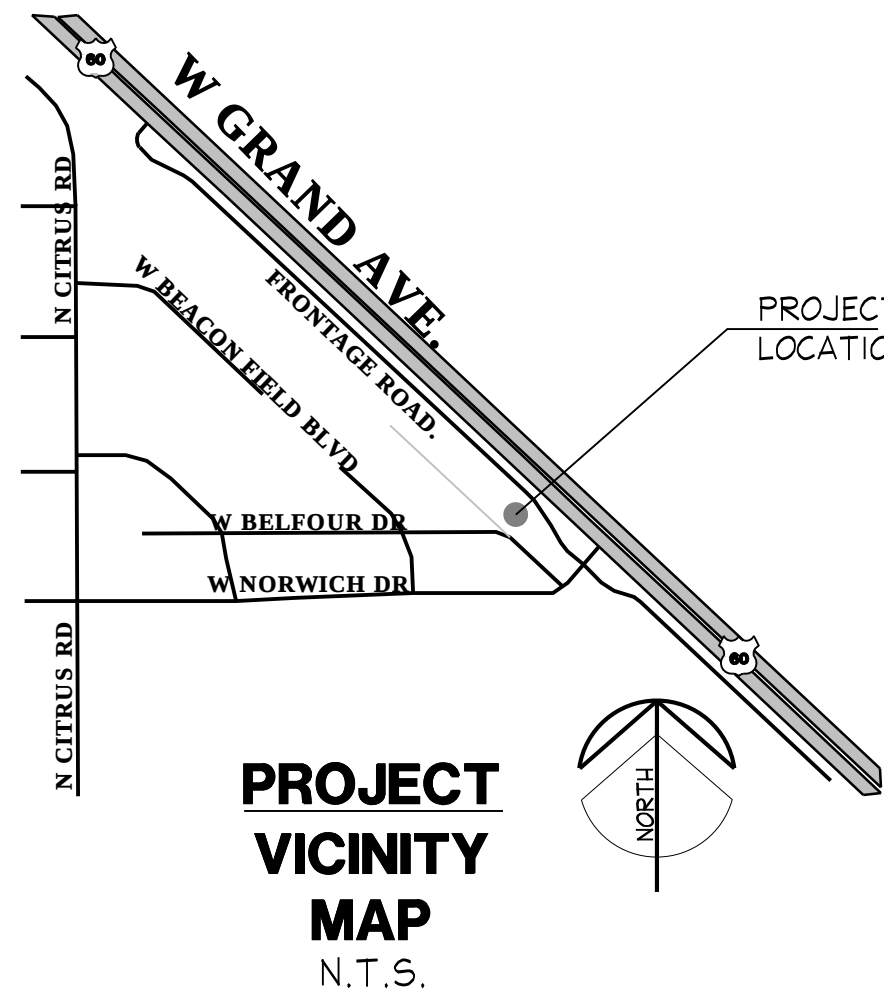
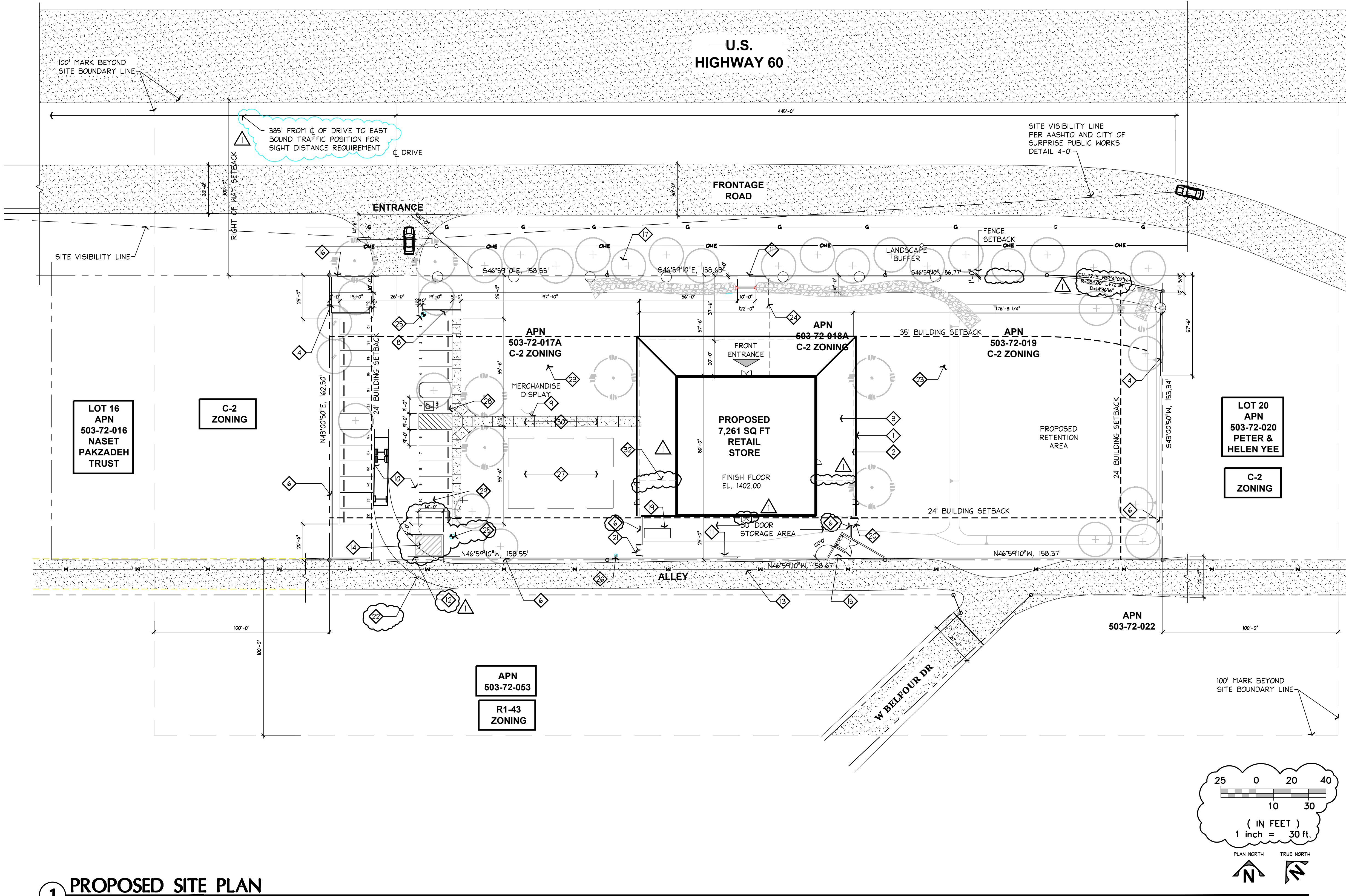
CONSTRUCTION TYPE - VB

OCCUPANCY TYPE - "M"

100 YEAR FLOOD ELEVATION = 1398.40

KEY NOTES

- EDGE OF ROOF
- PATIO SLAB BELOW
- COVERED OUTDOOR DISPLAY AREA
- 7'-0" HIGH PROPOSED WROUGHT IRON FENCE
- 24' BUILDING SET BACK
- 7'-4" HIGH PROPOSED CONCRETE MASONRY FENCE, PAINT TO MATCH BUILDING STUCCO COLOR.
- 35' BUILDING SET BACK
- 4' HIGH CMU SCREEN WALL WITH STUCCO FINISH MATCH BLDG STUCCO COLOR.
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PARKING
- PROPOSED 10' WIDE ROLLING GATE
- PROPOSED 42' WIDE ROLLING GATE
- 6" DIA. WATER LINE (BEARDSLEY WATER).
- AFTER HOURS LOADING AREA
- 7'-4" HIGH PROPOSED CMU DUMSTER ENCLOSURE, SEE SHT. ASI.2
- PROPOSED 24' WIDE ROLLING GATE
- LANDSCAPE BUFFER
- NOT USED
- UNDERGROUND WATER STORAGE TANK FOR FIRE SUPPRESSION
- 4' WIDE SINGLE GATE
- 6' WIDE DOUBLE GATE
- FIRE TRUCK TURNING RADIUS FOR FIRE TRUCK EGRESS (SU-40)
- PROVIDE HOSE BIB CONNECTION - SEE OWNER FOR EXACT LOCATION.
- FUTURE SIGN LOCATION UNDER SEPARATE PERMIT. PROVIDE ELECTRICAL CONDUIT FOR FUTURE SIGN.
- FIRE HYDRANT LOCATION - SEE CIVIL DRAWINGS.
- WATER METER - SEE CIVIL DRAWINGS.
- 40' X 60' SEPTIC DRAIN FIELD SEE CIVIL FOR LOCATION
- ADA COMPLIANT VAN STALL, SEE DETAIL SHEET ASI.1.
- STANDARD PARKING STALL SEE DETAIL ON SHEET ASI.1.
- ACCESSIBLE ROUTE TO BUSINESS / PUBLIC WAY. SLOPES AND CROSS SLOPES SHALL COMPLY WITH ADA REQUIREMENTS.
- 1/4" MINUS STONE MATERIAL IN DISPLAY AREA FINISH GRADES TO BE ADA COMPLIANT.
- LINE OF EXTERIOR WALL OF BUILDING BELOW.



1 PROPOSED SITE PLAN

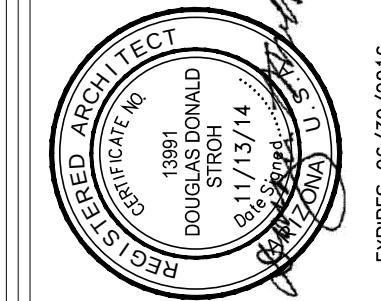
SCALE: 1" = 30'

NEW CONSTRUCTION
POTTERY PLACE
N. Grand Avenue
SURPRISE, ARIZONA

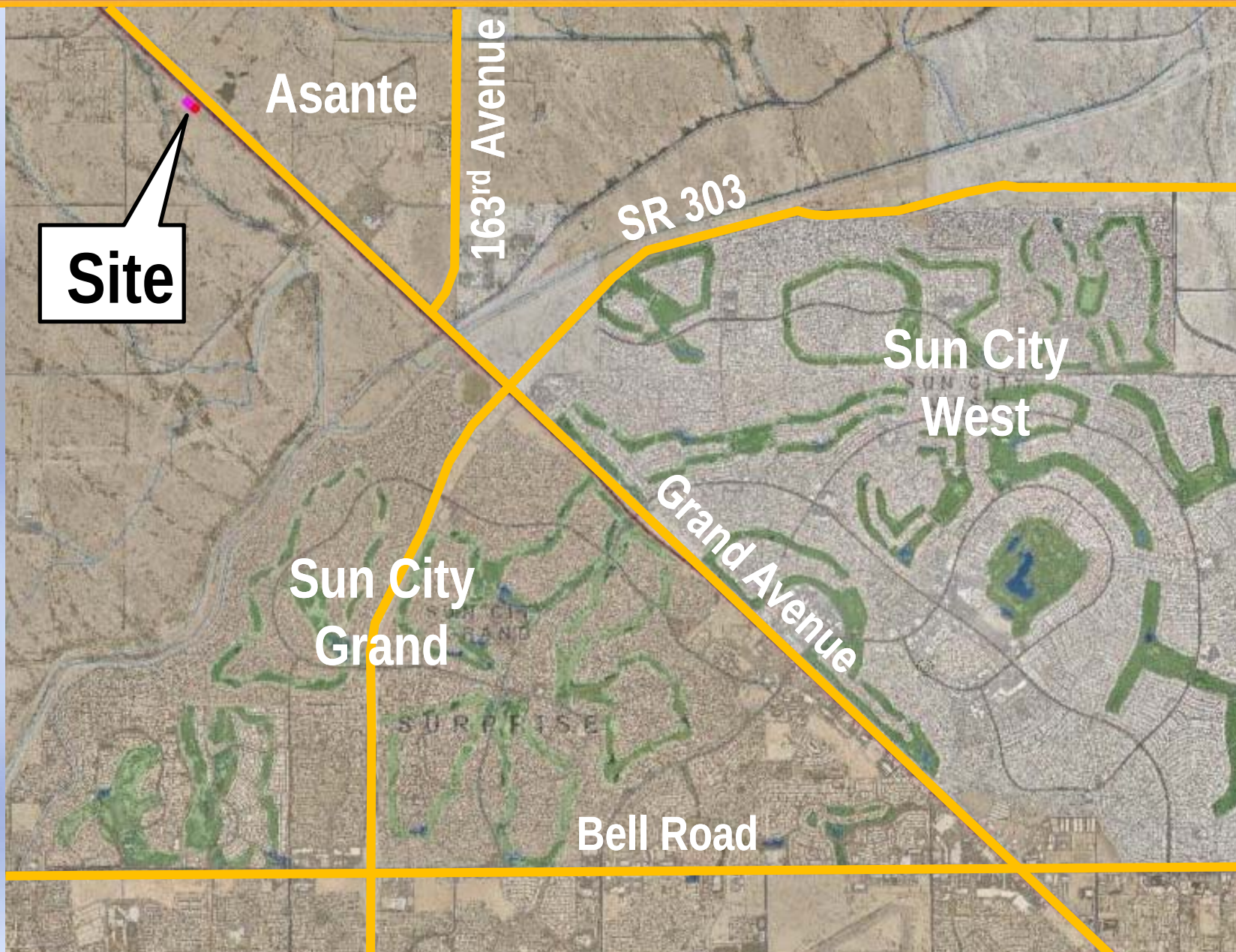
REVISION
11/13/14 CITY COMMENTS

SHEET
ARCHITECTURAL
SITE PLAN
AS11
DRAWN BY: P.J.M.
CHECKED BY: DDS
DATE: 11/13/14
JOB NO: 14010

STROH ARCHITECTURE, INC.
1323 South Scenic Heights Drive
Prescott, AZ 86303
(928) 771-0548



VICINITY MAP – FS14-347



VICINITY MAP – FS14-347



VICINITY MAP – FS14-347



RESOLUTION #2015-08

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF SURPRISE, ARIZONA, APPROVING AN AMENDED FINAL PLAT ENTITLED "A RESUBDIVISION OF A PORTION OF MARTIN ACRES," GENERALLY LOCATED AT THE NORTHWEST CORNER OF NORWICH DRIVE AND THE GRAND AVENUE FRONTAGE ROAD.

WHEREAS, prior to annexation, the Maricopa Board of Supervisors approved the Martin Acres Final Plat;

WHEREAS, on January 9, 2003, the Mayor and City Council approved a rezone from Single Family Residential (R1-43) to Community Commercial (C-2);

WHEREAS, three (3) parcels are being combined to form a single parcel;

WHEREAS, the proposed Amended Final Plat does not create any substandard or non-conforming lots; and

WHEREAS, the proposed Amended Final Plat is in compliance with the Surprise Municipal Code and Surprise General Plan.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Surprise, Arizona, as follows:

Section 1. The Amended Final Plat entitled "A Resubdivision of a Portion of Martin Acres," dated December 3, 2014 is approved.

APPROVED AND ADOPTED this _____ day of _____ 2015.

Sharon R. Wolcott, Mayor

Attest:

Approved as to form:

Sherry Aguilar, City Clerk

Misty Leslie, City Attorney

"A RESUBDIVISION OF A PORTION OF MARTIN ACRES"

BEING A PORTION OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

DEDICATION

STATE OF ARIZONA
COUNTY OF MARICOPA

KNOW ALL PERSONS BY THESE PRESENTS: THAT WILLIAM J. KLEIN & KARIN J. KLEIN "OWNERS", HAVE SUBDIVIDED UNDER THE NAME "A RESUBDIVISION OF A PORTION OF MARTIN ACRES", A SUBDIVISION LOCATED IN A PORTION OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA AS SHOWN AND PLATTED HEREON AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF "A RESUBDIVISION OF A PORTION OF MARTIN ACRES" AND DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET, AND EASEMENT CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET, AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, AND/OR NAME GIVEN TO EACH RESPECTIVELY AS SHOWN ON THIS PLAT.

OWNER HEREBY GRANTS TO THE PUBLIC A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS PUBLIC UTILITY EASEMENTS AS SHOWN ON THE PLAT FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, MAINTAINING, REPAIRING, REPLACING AND UTILIZING PUBLIC UTILITIES.

OWNER HEREBY GRANTS TO THE CITY OF SURPRISE A CROSS ACCESS EASEMENT ACROSS THE ENTIRE PLAT FOR THE PURPOSE OF PROVIDING CONTINUOUS AND UNINTERRUPTED INGRESS AND EGRESS FOR EMERGENCY AND TRASH COLLECTION VEHICLES.

OWNER HEREBY GRANTS TO THE UNITED STATES OF AMERICA DEPARTMENT OF THE AIR FORCE ("USAF") AN AVIGATION EASEMENT OVER AND ACROSS THIS PLAT AND EVERY LOT AND PARCEL THEREOF, WHICH EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE RIGHT OF FLIGHT OF AIRCRAFT OVER THIS PLAT, TOGETHER WITH ITS ATTENDANT NOISE, VIBRATIONS, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE AND AUXILIARY FIELD.

THE MAINTENANCE OF LANDSCAPING WITHIN OPEN SPACES, LANDSCAPED TRACTS, RETENTION BASINS AND PARKS SHALL BE THE RESPONSIBILITY OF THE OWNER OR THE ASSOCIATION FORMED BY THE OWNER.

THE MAINTENANCE OF LANDSCAPING WITHIN THE ADJACENT PUBLIC RIGHTS-OF-WAY, INCLUDING LANDSCAPED MEDIANS WITHIN COLLECTORS AND LOCAL STREETS AND LANDSCAPED AREAS BETWEEN THE CURB AND THE DETACHED SIDEWALK, SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER OR THE PROPERTY ASSOCIATION FORMED BY THE ADJACENT PROPERTY.

LANDSCAPING MAINTENANCE WITHIN THE MEDIANS WITHIN THE PUBLIC RIGHT-OF-WAY WITHIN ANY ARTERIAL OR PARKWAY STREET CLASSIFICATION SHALL BE RESPONSIBILITY OF THE CITY OF SURPRISE AFTER ACCEPTANCE.

ALL IMPROVEMENTS, FOR STREETS AND PUBLIC UTILITIES OWNED AND OPERATED BY THE CITY, INSTALLED OR CONSTRUCTED BY OWNER WITHIN THE PUBLIC RIGHTS-OF-WAY, THE EASEMENTS, OR ANY TRACTS OR PARCELS HEREBY DEDICATED TO THE CITY OF SURPRISE SHALL BE DEEMED TO HAVE BEEN DEDICATED BY OWNER TO THE CITY UPON THEIR COMPLETION; HOWEVER, SUCH TRANSFER SHALL NOT OCCUR UNTIL THE CITY COUNCIL FOR THE CITY OF SURPRISE MANIFESTS ITS ACCEPTANCE BY SEPARATE FORMAL COUNCIL ACTION.

THE EASEMENTS GRANTED WITHIN THIS DEDICATION ARE PERMANENT AND PERPETUAL AND SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF.

IN WITNESS WHEREOF, WILLIAM J. KLEIN & KARIN J. KLEIN, AS OWNERS HAS HEREUNDER CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER THIS ____ DAY OF ____, 20___. (WILLIAM J. KLEIN & KARIN J. KLEIN)

BY _____

ITS _____

ACKNOWLEDGMENTS

STATE OF ARIZONA)
)S.S.
COUNTY OF MARICOPA)

ON THIS ____ DAY OF ____, 20__, BEFORE ME THE UNDERSIGNED

PERSONALLY APPEARED, _____ WHO HEREBY EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING THE NAME OF SCOTTSDALE HEALTH OFFICE PROPERTIES, LLC, AND ACKNOWLEDGED THAT HE, AS SUCH OFFICER, BEING AUTHORIZED SO TO DO, EXECUTED THE FORGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

SOUND ATTENUATION AND OVERFLIGHT

PUBLIC NOTICE:

THE LOTS DEPICTED ON THIS PLAT ARE LOCATED WITHIN THE VICINITY OF LUKE AIR FORCE BASE AND MAY BE SUBJECT TO OVER FLIGHTS BY JET AIRCRAFT. ALL STRUCTURES WITHIN THIS PLAT SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE SOUND ATTENUATION STANDARDS ADOPTED BY THE CITY OF SURPRISE. A MAP DEPICTING THE MOST CURRENT ADOPTED MAG NOISE CONTOURS IN RELATION TO THIS PLAT SHALL BE DISPLAYED IN ALL SALES OFFICES. ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.

RELEASE OF LIABILITY:

WILLIAM J. KLEIN & KARIN J. KLEIN "OWNER" DOES HEREBY (1) RELEASE AND DISCHARGE THE USAF AND THE CITY OF SURPRISE, AND (2) INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE, OF AND FROM ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE OVER, OR IN CONNECTION WITH AIRCRAFT OVER FLIGHTS FROM AIRCRAFT UTILIZING LUKE AIR FORCE BASE, WHETHER SUCH DAMAGE SHALL ORIGINATE FROM NOISE, VIBRATION, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE. THIS INSTRUMENT SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF. THIS INSTRUMENT DOES NOT RELEASE THE USAF FROM LIABILITY FOR DAMAGE OR INJURY TO PERSON OR PROPERTY CAUSED BY FALLING AIRCRAFT OR FALLING PHYSICAL OBJECTS FROM AIRCRAFT, EXCEPT AS STATED HEREIN WITH RESPECT TO NOISE, FUMES, DUST, FUEL, AND LUBRICANT PARTICLES.

NOTES

1. OWNER HEREBY FURTHER AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE FROM ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE IN CONNECTION WITH THE USE OF THE SIDEWALKS LOCATED WITHIN THE RIGHT-OF-WAY.

2. THE PROPERTY OWNER AT THE TIME WHEN CITY OF SURPRISE WATER AND/OR SEWER INFRASTRUCTURE IS AVAILABLE AT THE PROPERTY, SHALL BE REQUIRED TO CONNECT IN ACCORDANCE WITH SURPRISE MUNICIPAL CODE AND PAY ALL APPLICABLE FEES. ANY OWNER OF THE PROPERTY SHALL NOTIFY PROSPECTIVE BUYERS AND THE PUBLIC OF THIS NOTE, AND SALES CONTRACT, REPORT SHALL CONTAIN SUCH NOTE.

3. THE PROPERTY OWNERS, OR ANY SUBSEQUENT OWNERS SHALL NOT PROCEED WITH ANY ON SITE GRADING OR EXCAVATION WITHOUT FIRST OBTAINING A PERMIT FROM THE CITY OF SURPRISE.

4. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING FLOOD ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 04013C1210 L, WITH A DATE OF IDENTIFICATION OF OCTOBER 16, 2013, FOR COMMUNITY NO. 040063. IN MARICOPA COUNTY, STATE OF ARIZONA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

5. IN ACCORDANCE WITH ARS § 9-461.07, THE CITY OF SURPRISE HAS DETERMINED THAT ALL DEDICATIONS OCCURRING WITH THIS PLAT ARE IN CONFORMANCE WITH THE SURPRISE GENERAL PLAN.

6. PURSUANT TO A.R.S. § 42-11102, THE CITY OF SURPRISE, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA, IS EXEMPT FROM ALL TAXES AND ASSESSMENTS BASED ON ASSESSED VALUE EXCEPT FOR SPECIAL DISTRICTS #14751 AND 14710, WHEN APPLICABLE.

CITY OF SURPRISE ENGINEER APPROVAL

DATA ON THIS PLAT REVIEWED AND APPROVED THIS ____ DAY, OF ____, 20__, BY

THE CITY ENGINEER OF SURPRISE, ARIZONA.

APPROVED _____
CITY ENGINEER DATE

OWNER

THE POTTERY PLACE WAREHOUSE
24620 N. GRAND AVENUE
SURPRISE, ARIZONA 85387
WILLIAM J. KLEIN & KARIN J. KLEIN
623-214-9081

WATER PROVIDER

BEARDSLEY WATER

FEMA NOTE

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C1210 L, DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED ENTIRELY IN ZONE X. ZONE X (OTHER AREAS) DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BENCHMARK

CITY OF SURPRISE B.M. NO. 58

CHISELED SQUARE ON THE EAST SIDE OF CONCRETE BASE OF WICKENBURG DIRECTIONAL SIGN, 9± EAST OF EDGE OF PAVEMENT OF GRAND AVENUE ON THE EAST SIDE OF THE INTERSECTION OF GRAND AVENUE AND NORWICH DRIVE

CITY OF SURPRISE ELEVATION = 1395.16 (NAVD 88 DATUM)

BASIS OF BEARING

S89°52'14"W ALONG THE SOUTH LINE OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, PER THE PLAT OF RECORD FOR MARTIN ACRES AS RECORDED IN BOOK 65 OF MAPS, PAGE 47, MARICOPA COUNTY RECORDS, ARIZONA.

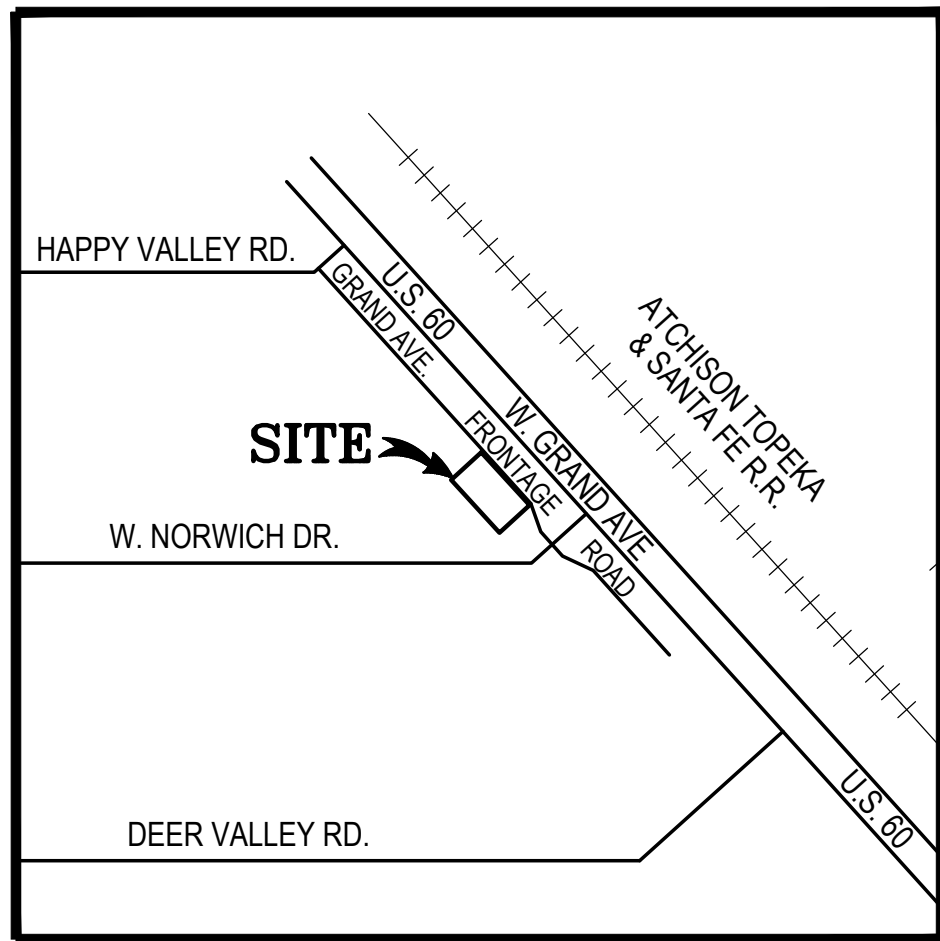
CITY OF SURPRISE COUNCIL APPROVAL

APPROVED BY THE CITY COUNCIL OF THE CITY OF SURPRISE, ARIZONA. THIS ____ DAY,

OF ____, 20__.

MAYOR DATE

ATTEST: _____
CITY CLERK DATE



VICINITY MAP
N.T.S.

LEGEND/ABBREVIATIONS

	PROPERTY CORNER FOUND (ACCEPTED CORNER, UNLESS OTHERWISE NOTED)
	PROPERTY LINE
	SET 1/2" REBAR W/ CAP
	EASEMENT
	MEASURED DIMENSION
	RIGHT OF WAY
	RECORD DIMENSION
	EXISTING
	ASSESSOR'S PARCEL NUMBER
	DOCKET
	PAGE
	MARICOPA COUNTY RECORDER
	PROPERTY BOUNDARY/ RIGHT OF WAY
	EXISTING ROAD CENTERLINE/MONUMENT LINE
	MONUMENT

LEGAL DESCRIPTION

PARCEL NO.1:

LOTS 17 AND 18, MARTIN ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 65 OF MAPS, PAGE 47;

EXCEPTING THEREFROM THAT PORTION OF SAID LOTS 17 AND 18 CONVEYED TO STATE OF ARIZONA IN WARRANTY DEED RECORDED FEBRUARY 28, 2000 AS DOCUMENT NO. 2000-95200; AND EXCEPTING THEREFROM ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS, AS RESERVED IN THE PATENT TO THE LAND.

PARCEL NO.2:

LOT 19, MARTIN ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 65 OF MAPS, PAGE 47;

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 19 CONVEYED TO STATE OF ARIZONA IN WARRANTY DEED RECORDED SEPTEMBER 16, 1999 AS DOCUMENT NO. 99-868529; AND EXCEPTING THEREFROM ALL COAL, OIL, GAS AND OTHER MINERAL DEPOSITS, AS RESERVED IN THE PATENT TO THE LAND.

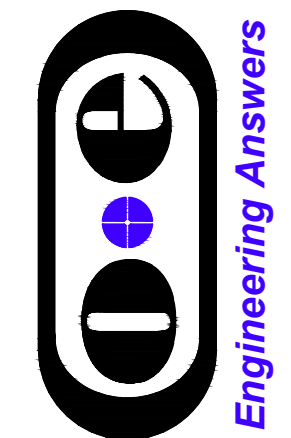
CERTIFICATION

THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT OF THE PREMISES DESCRIBED AND PLATTED HEREON WAS MADE UNDER MY DIRECTION DURING THE MONTH OF SEPTEMBER 2014; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE REFERENCED.

GENE C. HARRISON, R.L.S. #22762
12-02-2014
DATE

O'NEILL ENGINEERING, L.L.C.
Engineering • Planning • Surveying • SUE

201 West Camelback Road, Suite 200 Phoenix, AZ 85015
Phone: 602.242.3722
www.oneilleng.com

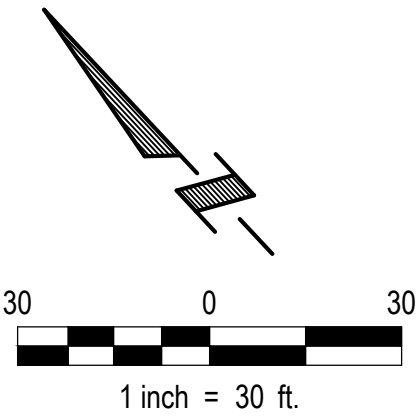


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A PORTION OF MARTIN ACRES"
CITY OF SURPRISE
MARICOPA COUNTY, ARIZONA

RESUBDIVISION

Proj No.	2014.317.001	Revision	Date	Description
Date:	2014/12/03			
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8. MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION (MCDOT) GIS-SURVEY POINT REPORT (WWW.FED.MARICOPA.GOV) LAND SURVEY SECTION. REFERENCE POINT NAME 63075-1M.



CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

+ [Back](#) [Print](#)

Council Meeting Date:	January 20, 2015	Contact Person:	Karl Zook and Kristin Tytler, Public Works Department
Submitting Department:	Public Works	District:	3
Staff Recommendations:	Approve		

Consent	x	Regular	Public Hearing	Report/Discussion
---------	---	---------	----------------	-------------------

Agenda Wording:

Consideration and action accepting maintenance of the streets and public utility improvements at Greer Ranch North Phase II; Resolution 2015-04.

Motion:

I move to approve Resolution 2015-04.

Background:

The Public Works Department conducted the final inspection of the public utility improvements for Greer Ranch North Phase II Shea Homes on or about September 25, 2014 totaling 36,960 linear feet of asphalt and concrete and determined that the infrastructure was compliant and acceptable to the city.

Financial Impact Statement:

Acceptance of streets, water, and sewer infrastructure increases the city's asset base and adds to future maintenance commitments. The anticipated incremental additional maintenance expense associated with the acceptance of these infrastructure items will be incorporated in future street preservation and maintenance and water and sewer operational budgets.

ATTACHMENTS:

Click to download

- ☐ [Memo](#)
 - ☐ [Resolution 2015-04](#)
 - ☐ [Inspector Sign Off](#)
 - ☐ [Notice of completion Letter](#)
 - ☐ [Final Plat](#)
 - ☐ [Resolution 05-108 Greer Ranch Phase II Final Plat](#)
-

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):



Memorandum

To: City of Surprise City Council
From: Public Works – Engineering Services
Date: 12/1/14
Re: Shea Homes at Greer Ranch North Phase II Improvements and City Acceptance

The public improvements for the above project have been completed and are on the January 6, 2015 council agenda for acceptance. The amounts for the infrastructure have been provided by a third party and not the City of Surprise. The following are the infrastructure improvements included with this acceptance and the corresponding valuation that the City will be accepting.

- City Concrete - \$990,849.90
- City Paving - \$1,479,189.95

RESOLUTION # 2015-04

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF SURPRISE, ARIZONA, TO ACCEPT MAINTENANCE OF STREET AND PUBLIC UTILITY IMPROVEMENTS AT GREER RANCH NORTH PHASE 2, GENERALLY LOCATED NEAR THE SOUTH EAST CORNER OF CACTUS AND SARIVAL ROADS.

WHEREAS, the Mayor and City Council of the City of Surprise approved a final plat entitled "Greer Ranch North Phase 2" on, June 23, 2005;

WHEREAS, Courtland Homes, the original developer of Greer Ranch North Phase 2, dedicated to the City the street and offsite street and public utility improvements per the final plat;

WHEREAS, Shea Homes completed the required improvements specifically those street and utilities located at northwest section of the Greer Ranch development;

WHEREAS, the City of Surprise Public Works Department Engineering Division notes that the two-year warranty period will commence upon acceptance of the maintenance by the City; and

WHEREAS, the City of Surprise Public Works Department Engineering Division conducted the final inspection of the street, water and sewer improvements located at Greer Ranch North Phase 2 on or about September 2, 2014.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Surprise, Arizona, as follows.

Section 1. The City of Surprise accepts the maintenance of the street and public utility improvements located as generally depicted on the map attached as Exhibit "A."

APPROVED AND ADOPTED this _____ day of _____, 2015.

Sharon R. Wolcott, Mayor

Attest:

Approved as to form:

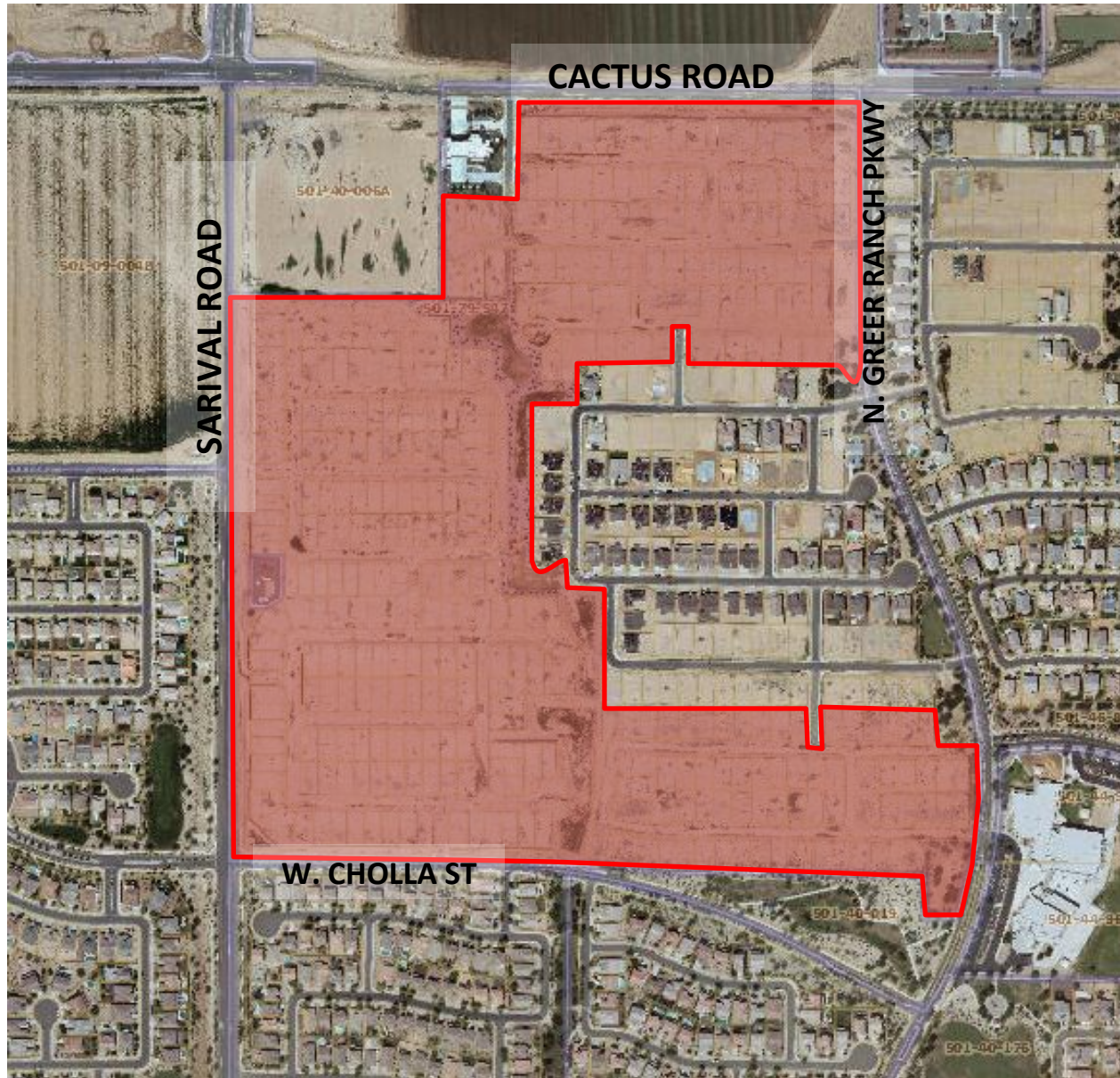
Sherry Aguilar, City Clerk

Misty Leslie, City Attorney

Exhibit A

[Map of Infrastructure]

GREER RANCH PHASE II





PROJECT SIGN OFF FORM

PUBLIC WORKS - ENGINEERING SERVICES, INSPECTIONS

Date Submitted: 09/10/2014 ☐ Commercial ☐ Commercial w/Offsite ☒ Residential

☒ COMPLETION ACCEPTANCE (End of Construction) ☐ FINAL ACCEPTANCE (End of Warranty)

7/10/2014 Date of Punch-List Walk 9/2/2014 Date Punch-List Completed

Permit Number: E13P-0431

Project Name: Shea Homes at Greer Ranch Project Description (Phase/Parcel): 2

Project Developer/Builder: (Name, Address, and Phone #)

Shea Homes

8800 N Gainey Center Dr 350. Scottsdale AZ. 85253

MAG TIP Reporting:

Street Name	Classification	Begin Limits	End Limits	# Lanes	Length to nearest 1/4 mi.	Features
Sarival Rd	Major	Cholla St	Taper S of Cactus	2	1 mile	
Cameron Dr	Collector	162nd Lane	Cul-de-sac	2	1/4 mile	
161st	Collector	Cholla St	Cameron Dr	2	1/4 mile	
Cortez St	Collector	162nd	161St	2	1/4 Mile	
Canterbury Dr	Collector	162nd	Cul-De-Sac	2	1/4 Mile	

MATERIALS:

Asphalt: Arizona Materials Supplier 7 Total Lane Miles 50,117 Total Square Yards

Water: N/A Size/Type Total Linear Feet Size/Type Total Linear Feet

 Size/Type Total Linear Feet Size/Type Total Linear Feet

Sewer: N/A Size/Type Total Linear Feet Size/Type Total Linear Feet

 Size/Type Total Linear Feet Size/Type Total Linear Feet

Fire Ln: N/A Size/Type Total Linear Feet Size/Type Total Linear Feet

Additional Comments:

Water and Sewer installed and accepted at earlier date, Road improvements only.

SUPPORTING DOCUMENTATION REQUIRED:

☒ Copy of Punch List

☐ Engineer of Record Reports to Include but not limited to:

 ATC, AOC, Material Submittals, Water Test Results, Daily Reports

☐ Final Certification Letter from Engineer of Record

☐ Asphalt Concrete Emulsion Fog Seal Cert. (SS1H)

☒ Complete Geotechnical Testing Packet

☒ Asphalt Concrete Ticket w/ Name of Contractor

☐ Sewer Pressure Testing Results

☒ Streetlight Energize Letter

☐ Sewer Manhole Vacuum Testing Certification

☒ As built Documents (☒ 2 Bond and ☒ 1 Mylar)

☐ Sewer Manhole Insecticide Certification

☒ CD with As Built Documents in .pdf format

☐ Sewer Videos with Operators Notes (inc. re-videos)

 Other Fog Seal at Final acceptance.

(Specify)

APPROVAL:

Civil Inspector:

[Signature]

Date: 9/10/2014

Civil Engineering Supervisor:

[Signature]

Date: 9/10/2014



PROJECT SIGN OFF FORM

PUBLIC WORKS - ENGINEERING SERVICES, INSPECTIONS

Date Submitted: 9/10/2014 Commercial Commercial w/Offsite X Residential

X COMPLETION ACCEPTANCE (End of Construction) FINAL ACCEPTANCE (End of Warranty)

 Date of Punch-List Walk Date Punch-List Completed

Permit Number: E13P-0431

Project Name: Shea Homes at Greer Ranch Project Description (Phase/Parcel):

Project Developer/Builder: (Name, Address, and Phone #)

MAG TIP Reporting:

Street Name	Classification	Begin Limits	End Limits	# Lanes	Length to nearest ¼ mi.	Features
Poinsetta Drive	Collector	162nd Lane	161st Lane	2	1/4 Mile	
162nd Lane	Collector	Sierra Lane	Cul-de-Sac	2	1/4 Mile	
161st Lane	Collector	Sierra Lane	Poinsetta Drive	2	1/4 Mile	
162nd Court	Collector	Poinsetta Drive	Cul-de-Sac	2	1/4 Mile	
160th Lane	Collector	Cholla Street	Cortez Street	2	1/4 Mile	

MATERIALS:

Asphalt: Supplier Total Lane Miles Total Square Yards

Water: Size/Type Total Linear Feet Size/Type Total Linear Feet

 Size/Type Total Linear Feet Size/Type Total Linear Feet

Sewer: Size/Type Total Linear Feet Size/Type Total Linear Feet

 Size/Type Total Linear Feet Size/Type Total Linear Feet

Fire Ln: Size/Type Total Linear Feet Size/Type Total Linear Feet

Additional Comments:

SUPPORTING DOCUMENTATION REQUIRED:

 Copy of Punch List

 Engineer of Record Reports to Include but not limited to:

 ATC, AOC, Material Submittals, Water Test Results, Daily Reports

 Final Certification Letter from Engineer of Record

 Asphalt Concrete Emulsion Fog Seal Cert. (SS1H)

 Complete Geotechnical Testing Packet

 Asphalt Concrete Ticket w/ Name of Contractor

 Sewer Pressure Testing Results

 Streetlight Energize Letter

 Sewer Manhole Vacuum Testing Certification

 As built Documents (2 Bond and 1 Mylar)

 Sewer Manhole Insecticide Certification

 CD with As Built Documents in .pdf format

 Sewer Videos with Operators Notes (inc. re-videos)

 Other (Specify)

APPROVAL:

Civil Inspector:

Date:

Civil Engineering Supervisor:

Date:



_____ Date of Punch-List Walk _____ Date Punch-List Completed

Project Developer/Builder: (Name, Address, and Phone #)

Street Name	Classification	Begin Limits	End Limits	# Lanes	Length to nearest ¼ mi.	Features
Cameron Drive	Collector	160th Lane	Greer Ranch Parkway	2	1/4 Mile	
Cortez Street	Collector	160th Lane	Cul-de-Sac	2	1/4 Mile	
159th Drive	Collector	Cameron Drive	Cortez Street	2	1/4 Mile	
Laurel Lane	Collector	Greer Ranch Parkway	Cul-de-sac	2	1/4 Mile	
160th Drive	Collector	Laurel Lane	Desert Hill Drive	2	1/4 Mlle	

Date: .



PROJECT SIGN OFF FORM

PUBLIC WORKS - ENGINEERING SERVICES, INSPECTIONS

Date Submitted: 9/10/2014 _____ Commercial _____ Commercial w/Offsite ☒ Residential

☒ COMPLETION ACCEPTANCE (End of Construction) _____ FINAL ACCEPTANCE (End of Warranty)

_____ Date of Punch-List Walk _____ Date Punch-List Completed

Permit Number: E13P-0431

Project Name: Shea Homes at Greer Ranch _____ Project Description (Phase/Parcel): _____

Project Developer/Builder: (Name, Address, and Phone #) _____

MAG TIP Reporting:

Street Name	Classification	Begin Limits	End Limits	# Lanes	Length to nearest 1/4 mi.	Features
Desert Hill Drive	Collector	Greer Ranch Parkway	Cul-de-Sac	2	1/4 Mile	
Shaw Butte Drive	Collector	161st Lane	Cul-de-Sac	2	1/4 Mile	
159th Drive	Collector	Shaw Butte Drive	Desert Hill Drive	2	1/4 Mile	
161st Lane	Collector	Desert Hill Drive	Cactus Road	2	1/4 Mile	

MATERIALS:

Asphalt: _____ Supplier _____ Total Lane Miles _____ Total Square Yards

Water: _____ Size/Type _____ Total Linear Feet _____ Size/Type _____ Total Linear Feet

_____ Size/Type _____ Total Linear Feet _____ Size/Type _____ Total Linear Feet

Sewer: _____ Size/Type _____ Total Linear Feet _____ Size/Type _____ Total Linear Feet

_____ Size/Type _____ Total Linear Feet _____ Size/Type _____ Total Linear Feet

Fire Ln: _____ Size/Type _____ Total Linear Feet _____ Size/Type _____ Total Linear Feet

Additional Comments: _____

SUPPORTING DOCUMENTATION REQUIRED:

_____ Copy of Punch List

_____ Engineer of Record Reports to Include but not limited to:

_____ ATC, _____ AOC, _____ Material Submittals, _____ Water Test Results, _____ Daily Reports

_____ Final Certification Letter from Engineer of Record

_____ Asphalt Concrete Emulsion Fog Seal Cert. (SS1H)

_____ Complete Geotechnical Testing Packet

_____ Asphalt Concrete Ticket w/ Name of Contractor

_____ Sewer Pressure Testing Results

_____ Streetlight Energize Letter

_____ Sewer Manhole Vacuum Testing Certification

_____ As built Documents (_____ 2 Bond and _____ 1 Mylar)

_____ Sewer Manhole Insecticide Certification

_____ CD with As Built Documents in .pdf format

_____ Sewer Videos with Operators Notes (inc. re-videos)

_____ Other _____ (Specify)

APPROVAL:

Civil Inspector: _____

Date: _____

Civil Engineering Supervisor: _____

Date: _____



Public Works Department
Engineering Development Services
16000 North Civic Center Plaza
Surprise, Arizona 85374
Phone 623-222-6141
Fax 623-222-6006

September 25, 2014

Shea Homes
8800 N Gainey Center Dr. 350
Scottsdale, AZ 85253

**RE: NOTICE OF COMPLETION AND COUNCIL ACTION REQUIREMENT FOR
GREER RANCH NORTH PHASE II-FS13-370**

The City of Surprise Public Works Department has completed the inspection of the street and public utility improvements for the above referenced subdivision. These improvements are in substantial compliance with the approved plans and specifications. Council action is required prior to conditional acceptance and the official beginning of the warranty period. The time frame for Council action is approximately 90 days after the following items have been submitted:

- A copy of all lien releases or a title report
- Actual construction cost for related civil permits issued
- Warranty assurance in a format acceptable by the City

A notice of the required assurance amount and acceptable formats will be sent via email once actual construction costs have been submitted by the applicant. The warranty period starts upon council acceptance for a period of two (2) years; please ensure warranty assurance will not expire prior to this date. The applicant will be notified of the council date as soon as it is scheduled and the warranty financial assurance is required to be submitted to the city 10 calendar days prior to the council date. If a warranty financial assurance is not received within 10 calendar days, council action and start of the warranty period will be delayed, at a minimum, an additional two (2) weeks.

A letter of conditional acceptance and notification that the warranty period has begun will be forwarded upon the completion of council acceptance. Also, a request to release the associated completion assurance will be made; notification will be sent when assurance document is available for pick up.

If you have any questions or concerns, you can reach me at 623-222-6141.

Sincerely,

Kristin Tytler, P.E.,
Engineering Manager - Development

kt/jg

c: David Mobley, Civil Inspector
Cindy Coen, Legal
David Kohlbeck, Public Works
Mike Gent, Public Works
File

Andrea Davis, Finance
Antonio DeLaCruz, Public Works
Fermin Camacho, Public Works
Terry Lowe, Water Services

When Recorded Please Return To:
City of Surprise
City Clerk's Office
12425 W. Bell Road
Surprise, AZ 85374-9002



OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
2006-1205797 09/11/06 04:08 PM
OF 1
MARESA

CERTIFICATE OF CORRECTION

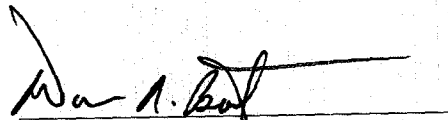
Greer Ranch Phase 1 North
Book 741 Page 32

This is to certify that I, Warren R. Bert, of The City of Surprise, 12425 W. Bell Road, Suite C-300, Surprise, AZ 85374, having submitted the above Plats, do hereby publish this Certificate of Correction to amend said Plats as indicated by the correction listed hereon:

CORRECTION

The following street names are to be changed as specified below:

"W Sierra Drive" changed to "W Sierra Street"

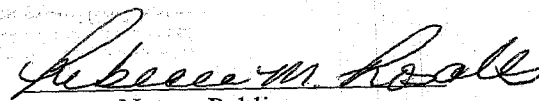

WARREN R. BERT

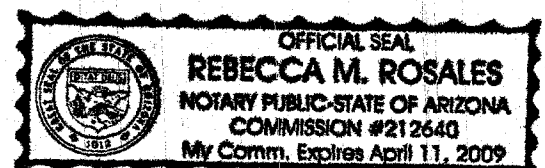
STATE OF ARIZONA)
) ss.
County of Maricopa)

On this 06 September, 2006, before me, the undersigned notary, personally appeared Warren R. Bert, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purpose therein contained.

IN WITNESS WHEREOF, I set my hand and official seal.

My Commission Expires: 4-11-2009


Notary Public



DEDICATION:

STATE OF ARIZONA)
COUNTY OF MARICOPA) SS

KNOW ALL MEN BY THESE PRESENTS:

THAT COURTLAND HOMES INC., AS OWNER, HAS SUBDIVIDED UNDER THE NAME "GREER RANCH NORTH PHASE II" A SUBDIVISION LOCATED IN A PORTION OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF "GREER RANCH PHASE II" AND HEREBY DECLARE THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET AND EASEMENT CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER AND/OR NAME GIVEN TO EACH RESPECTIVELY SHOWN ON THIS PLAT.

OWNER HEREBY DEDICATES TO THE CITY OF SURPRISE FEE TITLE TO ALL PUBLIC RIGHTS-OF-WAY AS SHOWN ON THE PLAT.

OWNER HEREBY GRANTS TO THE CITY OF SURPRISE A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS PUBLIC UTILITY EASEMENTS AS SHOWN ON THE PLAT FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, MAINTAINING, REPAIRING, REPLACING AND UTILIZING PUBLIC UTILITIES.

OWNER HEREBY GRANTS TO THE CITY OF SURPRISE A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS SIGHT VISIBILITY TRIANGLES FOR THE PURPOSE OF ENSURING THAT THESE AREAS REMAIN FREE OF SIGHT VISIBILITY OBSTRUCTIONS.

OWNER HEREBY GRANTS TO THE ULTIMATE OWNER OF EACH PARCEL CREATED BY THIS PLAT A CROSS ACCESS EASEMENT OVER, UPON AND ACROSS THE ENTIRE PLAT FOR THE PURPOSE OF PROVIDING CONTINUOUS AND UNINTERRUPTED INGRESS AND EGRESS TO EACH PARCEL CREATED BY THIS PLAT.

OWNER HEREBY GRANTS TO THE UNITED STATES OF AMERICA DEPARTMENT OF THE AIR FORCE ("U.S.A.F.") AN AVIGATION EASEMENT OVER AND ACROSS THIS PLAT AND EVERY LOT AND PARCEL THEREOF, WHICH EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE RIGHT OF FLIGHT OF AIRCRAFT OVER THIS PLAT, TOGETHER WITH ITS ATTENDANT NOISE, VIBRATIONS, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE.

OWNER HEREBY DEDICATES THE MAINTENANCE OF LANDSCAPING WITHIN THE OPEN SPACES, LANDSCAPED TRACTS, RETENTION BASINS, PARKS, AND PUBLIC RIGHTS-OF-WAY, INCLUDING LANDSCAPED MEDIANS WITHIN COLLECTORS AND LOCAL STREETS AND LANDSCAPED AREAS BETWEEN THE CURB AND THE DETACHED SIDEWALK, SHALL BE THE RESPONSIBILITY OF THE OWNER OR THE HOMEOWNER'S ASSOCIATION FORMED BY THE OWNER AS MORE FULLY SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS.

OWNER HEREBY DEDICATES ALL IMPROVEMENTS, FOR STREETS AND PUBLIC UTILITIES OWNED AND OPERATED BY THE CITY, INSTALLED OR CONSTRUCTED BY THE OWNER WITHIN THE PUBLIC RIGHTS-OF-WAY, THE EASEMENTS, OR ANY TRACTS OR PARCELS HEREBY DEDICATED TO THE CITY OF SURPRISE, SHALL BE DEEMED TO HAVE BEEN DEDICATED BY OWNER TO THE CITY UPON THEIR COMPLETION; HOWEVER, SUCH TRANSFERS SHALL NOT OCCUR UNTIL THE CITY COUNCIL FOR THE CITY OF SURPRISE MANIFESTS ITS ACCEPTANCE BY FORMAL COUNCIL ACTION.

OWNER HEREBY DEDICATES THE EASEMENTS GRANTED WITHIN THIS DEDICATION ARE PERMANENT AND PERPETUAL AND SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF.

IN WITNESS WHEREOF, THE OWNER HAS HEREUNTO CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER

THIS THE 2nd DAY OF August, 2005.

COURTLAND HOMES, INC., AN ARIZONA CORPORATION.

BY: [Signature]
ITS: President

ACKNOWLEDGEMENT:

STATE OF ARIZONA)
COUNTY OF MARICOPA) SS
ON THIS THE 2nd DAY OF August, 2005, BEFORE ME,

Alan Thumler PERSONALLY APPEARED
AND ACKNOWLEDGED THEMSELVES TO BE President
OF COURTLAND HOMES, INC., AN ARIZONA CORPORATION AND THAT THEY AS SAID OFFICER BEING DULY AUTHORIZED TO DO SO AND ATTESTED TO BY THEIR SIGNATURE, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES CONTAINED THEREIN.

IN WITNESS WHEREOF:
I HEREUNTO SET FORTH MY HAND AND OFFICIAL SEAL

BY: [Signature] August 2, 2005
NOTARY PUBLIC

MY COMMISSION EXPIRES: 12-24-2007

NOTICE OF GREER RANCH NORTH DEVELOPMENT AGREEMENT

LANDOWNER HAS ENTERED INTO A GREER RANCH NORTH DEVELOPMENT AGREEMENT DATED: December 14, 2004 (AGREEMENT) WITH MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT NUMBER ONE ("MWD") FOR WHICH A MEMORANDUM OF AGREEMENT WAS RECORDED ON December 16, 2004 AT THE MARICOPA COUNTY RECORDER'S OFFICE AT DOCKET NO. 2004-1493608. THE PROPERTIES INVOLVED IN THIS PLAT ARE SUBJECT TO THIS AGREEMENT. THE AGREEMENT AND THIS PLAT, INCLUDING ANY AND ALL DEDICATIONS THEREIN, HEREBY PRESERVE MWD'S PRIOR AND SUPERIOR RIGHTS OF ACCESS TO AND USE OF EXISTING AND FUTURE MWD FACILITIES AND MWD PROPERTY INTERESTS. AS SUCH TERMS ARE DEFINED IN THE AGREEMENT, THE ENABLE MWD TO ACCOMPLISH ALL OF MWD'S PURPOSES, INCLUDING, BUT NOT LIMITED TO, THE TRANSMISSION AND DISTRIBUTION OF WATER, WASTEWATER, POWER AND COMMUNICATIONS, AND TO CONSTRUCT, RECONSTRUCT, OPERATE, MAINTAIN AND REPLACE THOSE MWD FACILITIES AND MWD PROPERTY INTERESTS.

DATED THIS 13th DAY OF July, 2005

MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT NUMBER ONE, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA ("MWD").

BY: [Signature]

ITS: Administrative Manager

ATTEST:

BY: [Signature]

ITS: Assistant Secretary

COURTLAND HOMES, INC.
AN ARIZONA CORPORATION

BY: [Signature]

ITS: President

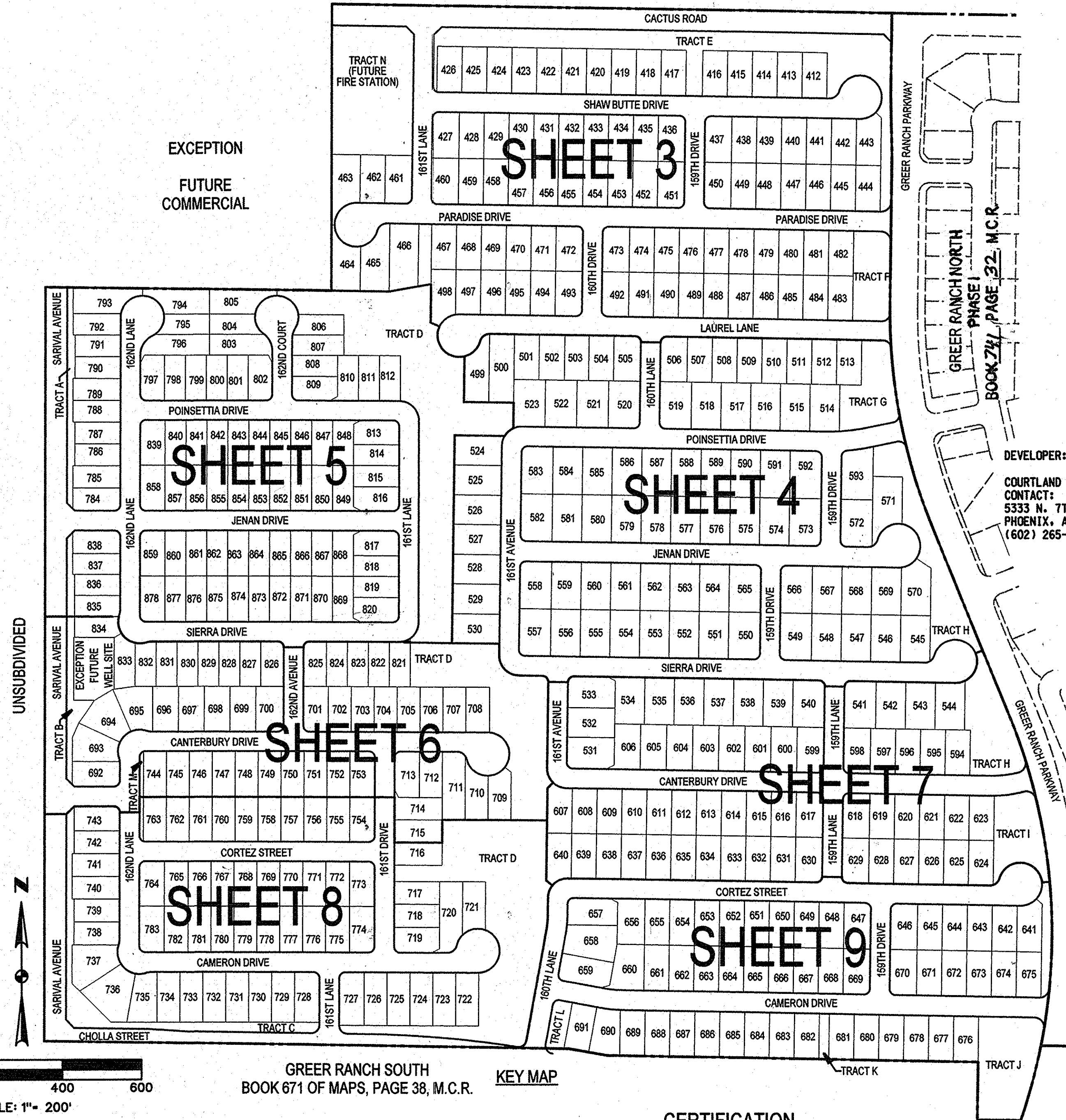
BOOK 790 PAGE 48
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
2005-1705395
11/09/2005 03:27 PM

FINAL PLAT OF GREER RANCH NORTH PHASE II

A SUBDIVISION OF A PART OF SECTION 19 TOWNSHIP 3 NORTH, RANGE 1 WEST,
OF THE GILA AND SALT RIVER MERIDIAN,
CITY OF SURPRISE, MARICOPA COUNTY, ARIZONA

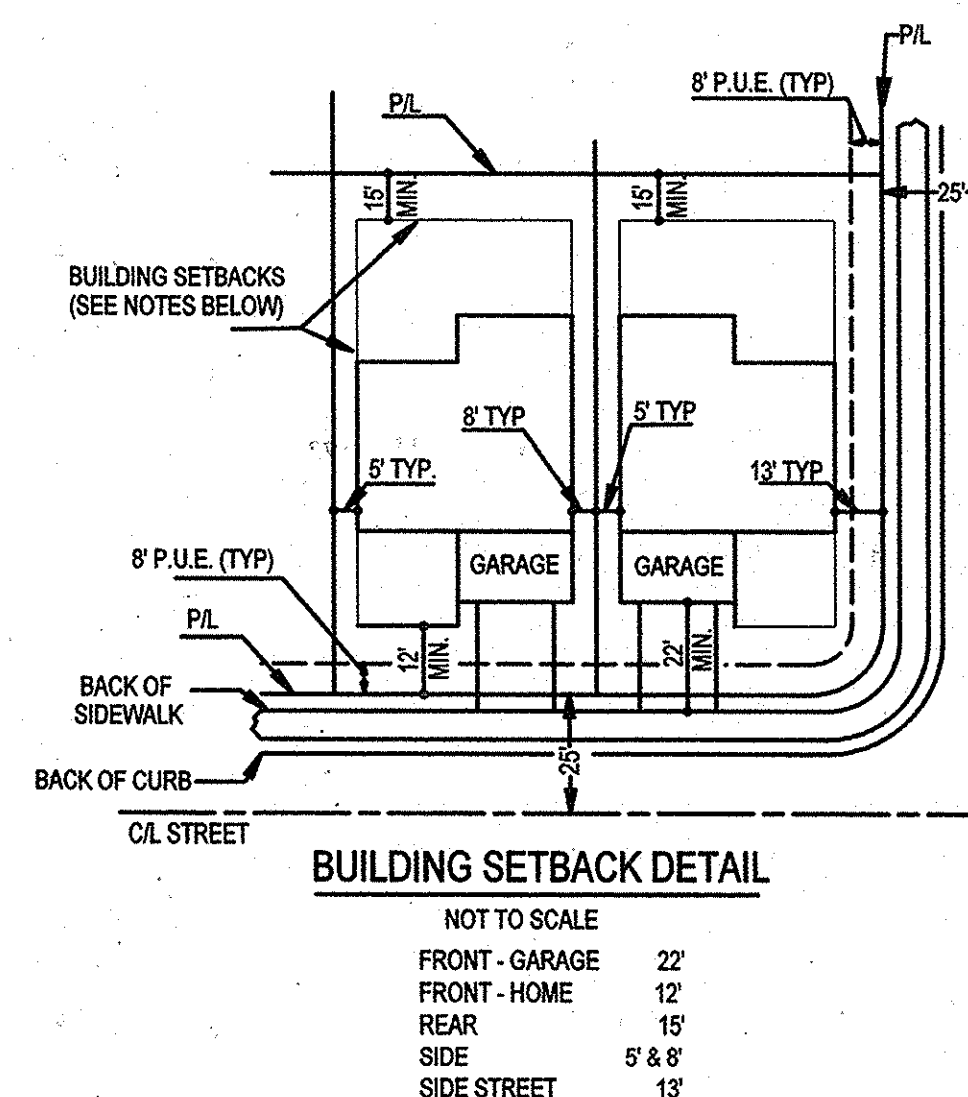
UNSUBDIVIDED

EXCEPTION
FUTURE
COMMERCIAL



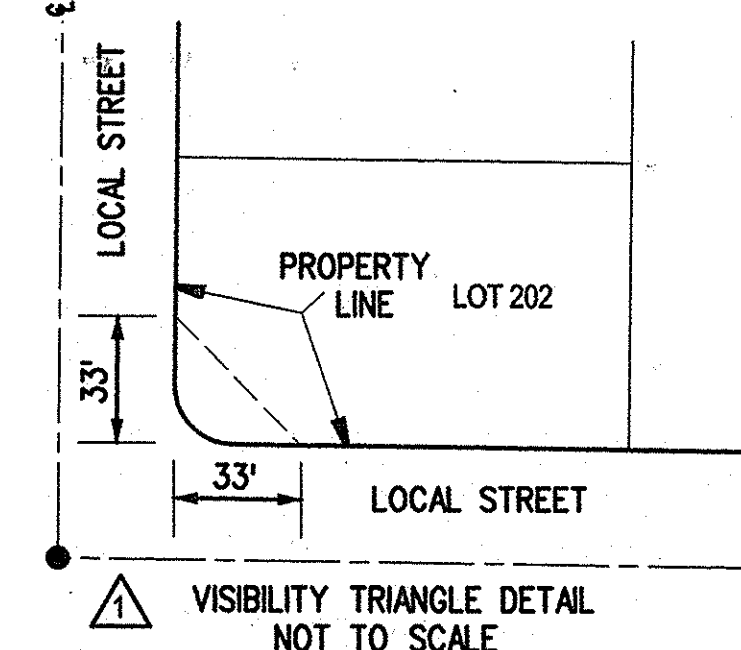
TRACT INFORMATION CHART		
TRACT	DESCRIPTION	AREA
A	DRAINAGE / LANDSCAPING / P.U.E.	0.22 AC
B	LANDSCAPING / P.U.E.	0.30 AC
C	LANDSCAPING / P.U.E.	0.62 AC
D	DRAINAGE / LANDSCAPING / P.U.E.	7.35 AC
E	DRAINAGE / LANDSCAPING / P.U.E.	1.90 AC
F	DRAINAGE / LANDSCAPING / P.U.E.	0.49 AC
G	DRAINAGE / LANDSCAPING / P.U.E.	0.56 AC
H	DRAINAGE / LANDSCAPING / P.U.E.	1.55 AC
I	LANDSCAPING / P.U.E.	0.72 AC
J	DRAINAGE / LANDSCAPING / P.U.E.	0.86 AC
K	DRAINAGE / LANDSCAPING / P.U.E.	0.06 AC
L	DRAINAGE / LANDSCAPING / P.U.E.	0.13 AC
M	LANDSCAPING / P.U.E.	0.06 AC
N	FUTURE FIRE STATION	1.53 AC
TOTAL TRACT AREA		16.35 AC

LEGEND	
---	SUBDIVISION BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	EASEMENT
---	CORNER OF THIS SUBDIVISION OTHERWISE NOTED.)
△	(SET 1/2" IRON PIN MAG STD DET 120-1 TYPE "C", CAPPED, L.S. 22283 UNLESS FOUND MONUMENT AS NOTED
○	STREET CL MONUMENT (SET BRASS
•	CAP MAG STD DET 120-1 TYPE "B")
•	PRELIMINARY GRADING
•	1/2" IRON PIN TO BE SET AFTER
V.N.A.E.	VEHICULAR NON-ACCESS EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
(TYP)	TYPICAL
(R)	RADIAL BEARING
△	SIGHT VISIBILITY EASEMENT
25'	RIGHT OF WAY
M.C.R.	MARICOPA COUNTY RECORDER



BUILDING SETBACK DETAIL

NOT TO SCALE	
FRONT - GARAGE	22'
FRONT - HOME	12'
REAR	15'
SIDE	5' & 8'
SIDE STREET	13'



NOTE:
TOTAL ACREAGE = 128.488 ACRES MORE OR LESS
TOTAL LOTS = 467
EXISTING ZONING: PAD
FIRM MAP # 04013C1585
JULY 19, 2001 (ZONE X)

PUBLIC NOTICE

THE LOTS DEPICTED ON THIS PLAT ARE LOCATED WITHIN THE VICINITY OF LUKE AIR FORCE BASE AND MAY BE SUBJECT TO OVERFLIGHTS BY JET AIRCRAFT. ALL HOMES WITHIN THIS PLAT SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE SOUND ATTENUATION STANDARDS ADOPTED BY THE CITY OF SURPRISE. A MAP DEPICTING THE 1988 M.A.C. NOISE CONTOUR LINES IN RELATION TO THIS PLAT SHALL BE DISPLAYED IN ALL SALES OFFICES. ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.

RELEASE OF LIABILITY

COURTLAND HOMES ("OWNER") DOES HEREBY (1) RELEASE AND DISCHARGE THE U.S.A.F. AND THE CITY OF SURPRISE ("CITY"), AND (2) INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY, OF AND FROM, ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE, OVER, OR IN CONNECTION WITH AIRCRAFT OVERFLIGHTS FROM AIRCRAFT UTILIZING LUKE AIR FORCE BASE, WHETHER SUCH DAMAGE SHALL ORIGINATE FROM NOISE, VIBRATION, FUMES, DUST, FUEL AND LUBRICANT PARTICLES, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE. THIS INSTRUMENT SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF. THIS INSTRUMENT DOES NOT RELEASE THE U.S.A.F. FROM LIABILITY FOR DAMAGE OR INJURY TO PERSONS OR PROPERTY CAUSED BY FALLING AIRCRAFT OR FALLING PHYSICAL OBJECTS FROM AIRCRAFT, EXCEPT AS STATED HEREIN WITH RESPECT TO NOISE, FUMES, DUST, FUEL, AND LUBRICANT PARTICLES.

OWNER HEREBY FURTHER AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY FROM ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE IN CONNECTION WITH THE USE OF THE SIDEWALKS LOCATED WITHIN THIS PLAT, UNTIL SUCH TIME THE CITY HAS ACCEPTED THE SIDEWALKS.

LIMITATION ON THE ISSUANCE OF CERTIFICATES OF OCCUPANCY

THE LOTS AND PARCELS CREATED, DEFINED OR DEPICTED ON THIS PLAT ARE SUBJECT TO A LIMITATION ON THE ISSUANCE OF CERTIFICATES OF OCCUPANCY AS SET FORTH WITH THE SURPRISE MUNICIPAL CODE. NO PERSON MAY OCCUPY A BUILDING OR STRUCTURE ERECTED ON ANY LOT OR PARCEL ON THIS PLAT UNTIL THE CITY OF SURPRISE ("CITY") HAS ISSUED A CERTIFICATE OF OCCUPANCY. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL ALL ON-SITE IMPROVEMENTS SUBJECT TO A CERTIFICATE OF OCCUPANCY FREEZE HAVE BEEN CONSTRUCTED AND CONDITIONALLY ACCEPTED BY THE CITY. THIS LIMITATION MAY BE RELEASED IN PHASES. A PROSPECTIVE BUYER OF A LOT OR PARCEL SHOULD REQUIRE THE SELLER TO PRODUCE A RECORDED RELEASE OF THIS LIMITATION SIGNED BY THE CITY PRIOR TO PURCHASING OR CLOSING ESCROW ON ANY LOT OR PARCEL. FAILURE TO OBTAIN SUCH A RELEASE OF THIS LIMITATION MAY RESULT IN THE BUYER BEING PROHIBITED FROM OCCUPYING THE HOUSE OR STRUCTURE BUILT ON THE LOT OR PARCEL.

APPROVALS:

THIS PLAT REVIEWED AND APPROVED THIS THE 6th DAY OF June, 2005, BY THE CITY ENGINEER OF SURPRISE, ARIZONA.

APPROVED BY THE CITY COUNCIL OF THE CITY OF SURPRISE, ARIZONA.
ON THIS THE 23rd DAY OF June, 2005

ATTEST: [Signature] CITY ENGINEER
[Signature] MAYOR
[Signature] CITY CLERK

GREER RANCH NORTH
PHASE II
SEC # 1348900
JULY 2005
SHEET 1 OF 9

sage engineering corporation
344 S. 48th ST. - SUITE 8
PHOENIX, ARIZONA 85040
(480) 966-9971

COPY

N:\1348004\SURVEY\FINAL PLAT/PHASE 2/SHEET 1

GREER RANCH NORTH PHASE II

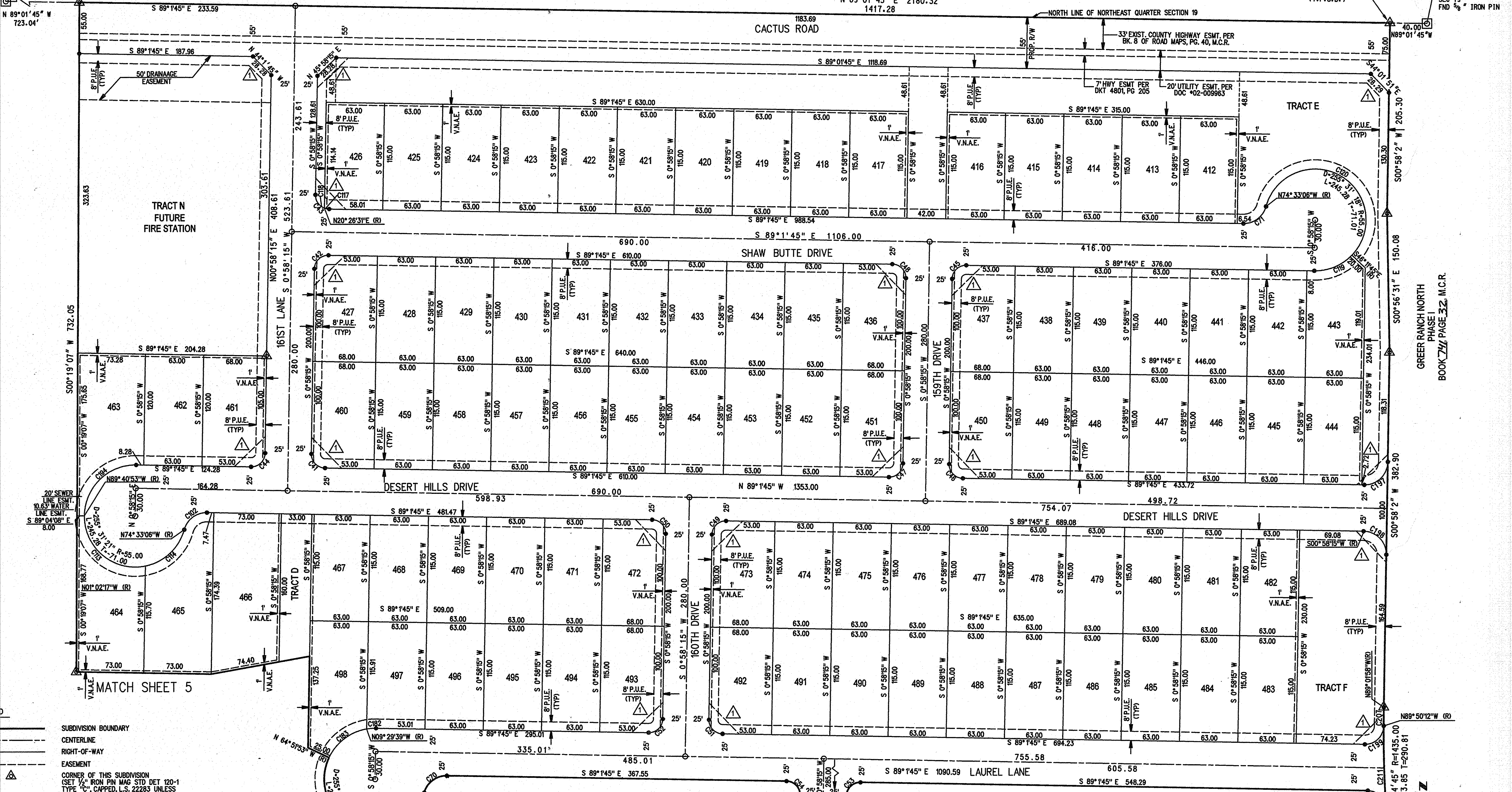
UNSUBDIVIDED

N 89°01'45" E 2180.32
1417.28

TRUE POINT OF
BEGINNING
(T.P.O.B.)

NORTH QUARTER CORNER
SEC 19
FND 5/8" IRON PIN

NORTHWEST CORNER
OF SEC 19
PARCEL 1 OF COMMITMENT
NO. 229-053-1309614



LEGEND

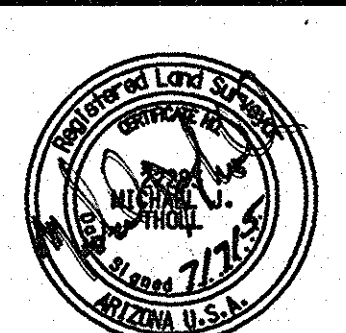
- SUBDIVISION BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- EASEMENT
- CORNER OF THIS SUBDIVISION (SET 1/2" IRON PIN MAG STD DET 120-1 TYPE "C", CAPPED, L.S. 22283 UNLESS OTHERWISE NOTED.)
- FOUND MONUMENT AS NOTED
- STREET CL MONUMENTATION (SET BRASS CAP MAG STD DET 120-1 TYPE "B")
- 1/2" IRON PIN TO BE SET AFTER PRELIMINARY GRADING
- MARICOPA COUNTY RECORDER
- VEHICULAR NON-ACCESS EASEMENT
- PUBLIC UTILITY EASEMENT
- TYPICAL
- RADIAL BEARING
- SIGHT VISIBILITY EASEMENT
- RIGHT OF WAY

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C41	90° 00' 00"	15.00	23.56	15.00
C42	90° 00' 00"	15.00	23.56	15.00
C43	90° 00' 00"	15.00	23.56	15.00
C44	90° 00' 00"	15.00	23.56	15.00
C45	90° 00' 00"	15.00	23.56	15.00
C46	90° 00' 00"	15.00	23.56	15.00
C47	90° 00' 00"	15.00	23.56	15.00
C48	90° 00' 00"	15.00	23.56	15.00
C49	90° 00' 00"	15.00	23.56	15.00
C50	90° 00' 00"	15.00	23.56	15.00
C51	90° 00' 00"	15.00	23.56	15.00
C52	90° 00' 00"	15.00	23.56	15.00
C53	90° 00' 00"	15.00	23.56	15.00
C54	90° 00' 00"	15.00	23.56	15.00
C70	75° 31' 21"	25.00	32.95	19.36
C71	75° 31' 21"	25.00	32.95	19.36
C102	75° 31' 21"	25.00	32.95	19.36
C113	91° 21' 24"	55.00	87.70	56.32
C114	73° 30' 49"	55.00	70.57	41.08

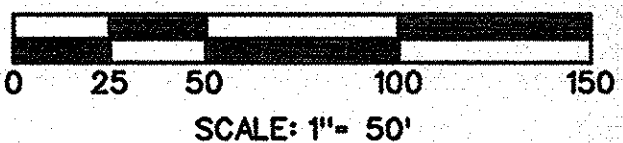
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C117	19° 28' 16"	15.00	5.10	2.57
C118	70° 31' 44"	15.00	18.46	10.61
C119	47° 09' 57"	55.00	45.28	24.01
C120	208° 21' 21"	55.00	200.01	-217.71
C182	10° 27' 56"	55.00	10.05	5.04
C183	55° 22' 14"	55.00	53.15	28.86
C194	90° 39' 09"	55.00	87.02	55.63
C197	90° 00' 13"	25.00	39.27	25.00
C198	89° 59' 47"	25.00	39.27	25.00
C199	90° 48' 27"	20.00	31.70	20.28
C207	00° 48' 14"	1435.00	20.13	10.07
C211	03° 32' 54"	1435.00	88.87	44.45

BOOK 790 PAGE 48
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
2005-1705395
08/27 PM
1108/2005

MATCH SHEET 4



GREER RANCH NORTH
PHASE II
SEC # 1348900
JULY 2005
SHEET 3 OF 9

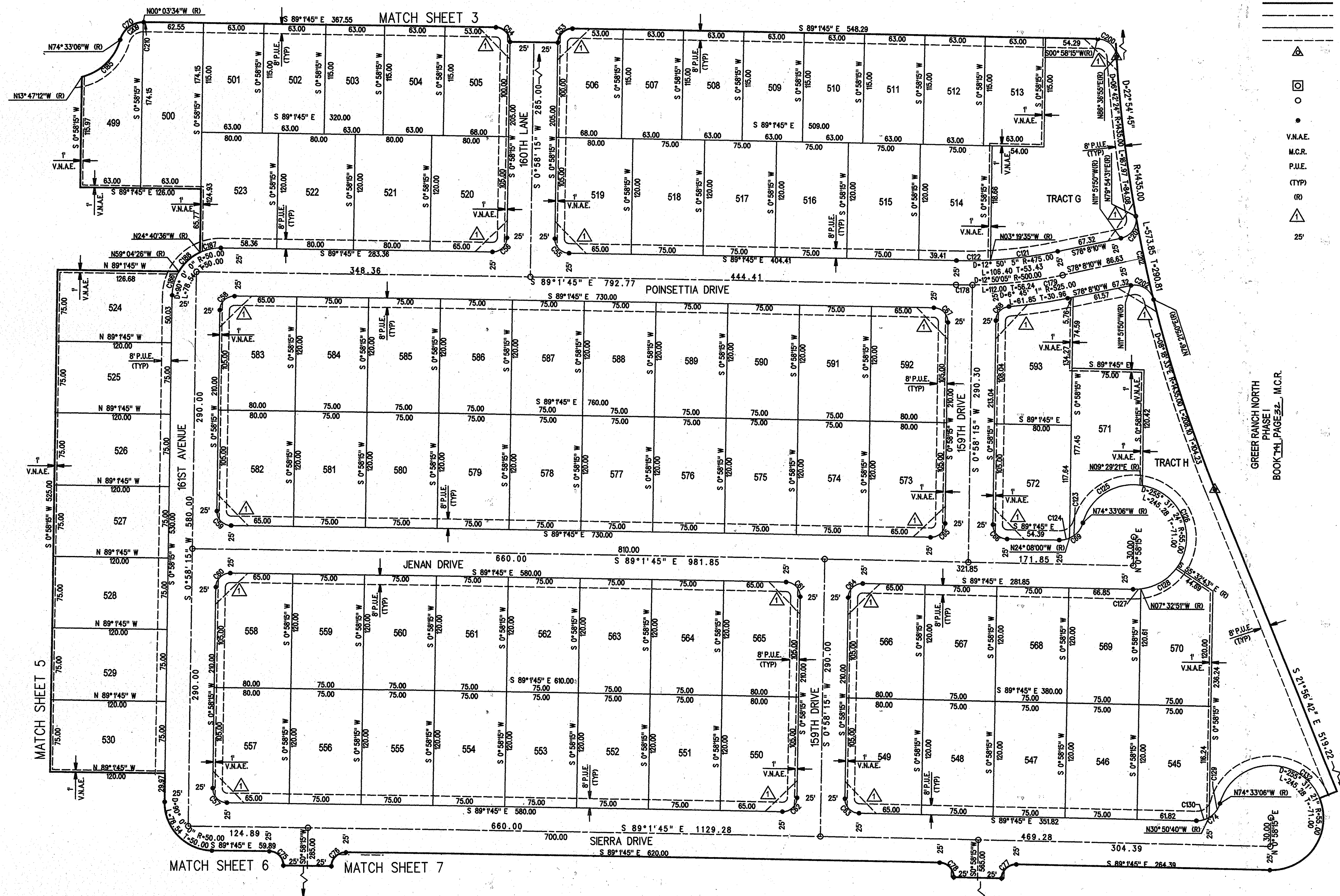


age engineering corporation
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GREER RANCH NORTH PHASE II

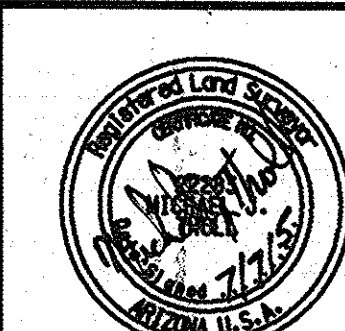


- LEGEND**
- SUBDIVISION BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY
 - EASEMENT
 - △ CORNER OF THIS SUBDIVISION (SET 1/2" IRON PIN MAG STD DET 120-1 TYPE "C" CAPPED, L.S. 22283 UNLESS OTHERWISE NOTED.)
 - FOUND MONUMENT AS NOTED
 - STREET CL MONUMENTATION (SET BRASS CAP MAG STD DET 120-1 TYPE "B.")
 - 1/2" IRON PIN TO BE SET AFTER PRELIMINARY GRADING
 - V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
 - M.C.R. MARICOPA COUNTY RECORDER
 - P.U.E. PUBLIC UTILITY EASEMENT
 - (TYP) TYPICAL
 - (R) RADIAL BEARING
 - 25' SIGHT VISIBILITY EASEMENT
 - 25' RIGHT OF WAY

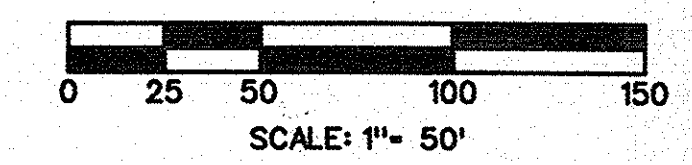
GREER RANCH NORTH
PHASE II
BOOK 790, PAGE 48, M.C.R.

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CURVE	DELTA	RADIUS	LENGTH	TANGENT	CURVE	DELTA	RADIUS	LENGTH	TANGENT	CURVE	DELTA	RADIUS	LENGTH	TANGENT
C53	90° 00' 00"	15.00	23.56	15.00	C64	90° 00' 00"	15.00	23.56	15.00	C121	08° 32' 14"	475.00	70.78	35.45	C178	00° 36' 57"	500.00	14.10	7.05
C54	90° 00' 00"	15.00	23.56	15.00	C65	90° 00' 00"	15.00	23.56	15.00	C122	04° 17' 51"	475.00	35.63	17.82	C179	10° 51' 33"	500.00	94.77	47.53
C55	90° 00' 00"	15.00	23.56	15.00	C66	90° 00' 00"	15.00	23.56	15.00	C123	50° 25' 08"	25.00	22.00	11.77	C180	60° 45' 54"	55.00	58.33	32.25
C56	90° 00' 00"	15.00	23.56	15.00	C67	90° 00' 00"	15.00	23.56	15.00	C124	25° 06' 15"	25.00	10.95	5.57	C181	29° 57' 19"	50.00	26.14	13.38
C57	90° 00' 00"	15.00	23.56	15.00	C68	83° 54' 57"	15.00	21.97	13.49	C125	84° 02' 27"	55.00	80.67	49.56	C182	25° 38' 51"	50.00	22.38	11.38
C58	90° 00' 00"	15.00	23.56	15.00	C69	75° 31' 21"	25.00	32.95	19.36	C126	114° 57' 56"	55.00	110.36	86.28	C183	34° 23' 50"	50.00	30.02	15.48
C59	90° 00' 00"	15.00	23.56	15.00	C70	75° 31' 21"	25.00	32.95	19.36	C127	08° 31' 09"	55.00	8.18	4.10	C200	85° 38' 40"	20.00	29.90	18.53
C60	90° 00' 00"	15.00	23.56	15.00	C71	75° 31' 21"	25.00	32.95	19.36	C128	47° 59' 52"	55.00	46.07	24.49	C201	88° 13' 40"	20.00	30.80	19.39
C61	90° 00' 00"	15.00	23.56	15.00	C72	43° 42' 28"	25.00	23.56	15.00	C129	31° 48' 55"	25.00	19.07	10.03	C202	88° 13' 40"	20.00	30.80	19.39
C62	90° 00' 00"	15.00	23.56	15.00	C73	90° 00' 00"	15.00	23.56	15.00	C130	31° 48' 55"	25.00	13.88	7.13	C203	74° 29' 32"	25.00	32.50	19.01
C63	90° 00' 00"	15.00	23.56	15.00	C74	90° 00' 00"	15.00	23.56	15.00	C131	227° 45' 56"	55.00	218.64	-124.22	C210	01° 01' 49"	25.00	0.450	0.225
					C75	90° 00' 00"	15.00	23.56	15.00	C132					C211	03° 32' 40"	1435.00	88.78	44.40

BOOK 790 PAGE 48
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
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GREER RANCH NORTH
PHASE II
SEC #: 1348900
JULY 2005
SHEET 4 OF 9

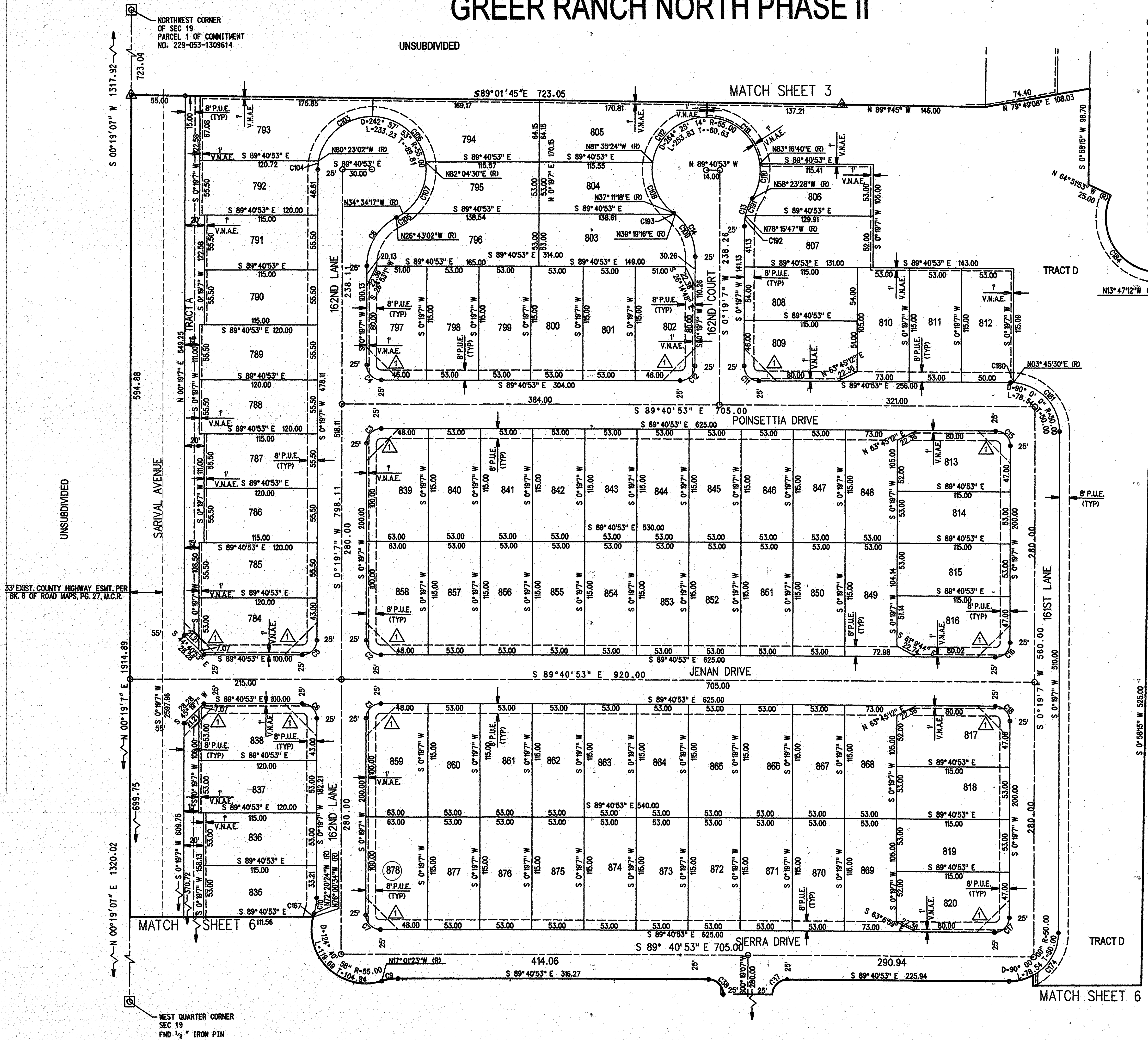


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(480)965-9971

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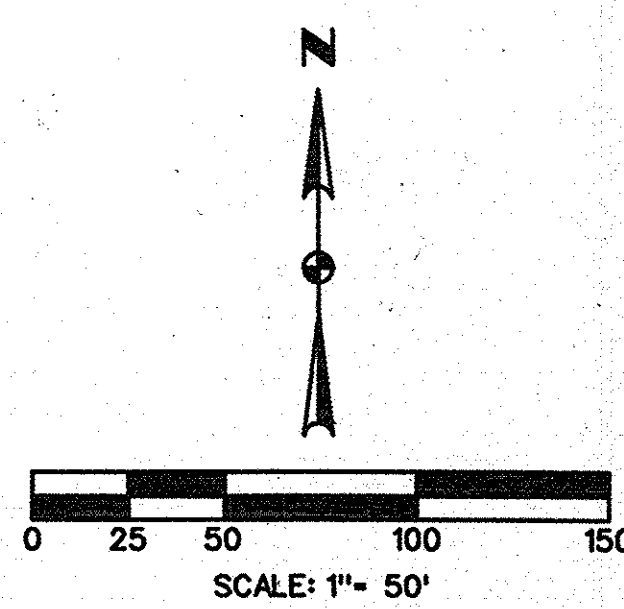
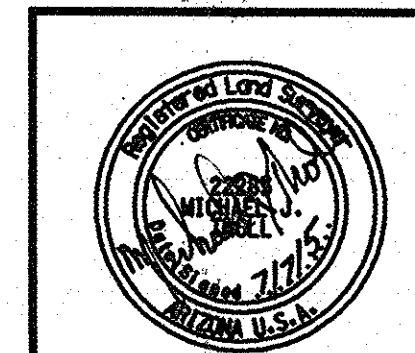
GREER RANCH NORTH PHASE II



CURVE	DELTA	RADIUS	LENGTH	TANGENT	CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	90° 00' 00"	15.00	23.56	15.00	C109	50° 59' 51"	55.00	48.95	26.23
C2	90° 00' 00"	15.00	23.56	15.00	C110	38° 19' 52"	55.00	36.80	19.12
C3	90° 00' 00"	15.00	23.56	15.00	C111	82° 18' 25"	55.00	79.01	48.07
C4	90° 00' 00"	15.00	23.56	15.00	C112	82° 33' 39"	55.00	79.25	48.29
C5	90° 00' 00"	15.00	23.56	15.00	C159	06° 18' 00"	55.00	6.05	3.03
C6	90° 00' 00"	15.00	23.56	15.00	C160	40° 30' 28"	55.00	38.88	20.29
C7	90° 00' 00"	15.00	23.56	15.00	C161	40° 50' 35"	55.00	39.21	20.48
C8	62° 57' 52"	55.00	60.44	33.68	C162	43° 19' 55"	55.00	41.60	21.85
C9	17° 20' 23"	55.00	16.65	8.39	C164	06° 24' 06"	55.00	6.15	3.08
C10	90° 00' 00"	15.00	23.56	15.00	C167	03° 40' 10"	55.00	3.52	1.76
C11	90° 00' 00"	15.00	23.56	15.00	C174	72° 57' 23"	50.00	63.67	36.97
C12	90° 00' 00"	15.00	23.56	15.00	C180	03° 26' 23"	50.00	3.00	1.50
C13	31° 17' 26"	55.00	30.04	15.40	C181	86° 33' 37"	50.00	75.54	47.08
C14	53° 07' 48"	55.00	51.00	27.50	C184	128° 55' 19"	55.00	123.76	115.11
C15	90° 00' 00"	15.00	23.56	15.00	C188	34° 23' 50"	50.00	30.02	15.48
C16	90° 00' 00"	15.00	23.56	15.00	C191	19° 53' 19"	55.00	19.09	9.64
C17	90° 00' 00"	15.00	23.56	15.00	C192	11° 24' 07"	55.00	10.95	5.49
C18	90° 00' 00"	15.00	23.56	15.00	C193	02° 07' 57"	55.00	2.05	1.02
C37	90° 00' 00"	15.00	23.56	15.00					
C38	90° 00' 00"	15.00	23.56	15.00					
C103	81° 21' 17"	55.00	78.09	47.27					
C104	80° 17' 52"	55.00	8.93	4.47					
C105	07° 51' 15"	55.00	7.54	3.78					
C106	81° 06' 15"	55.00	77.85	47.06					
C107	63° 21' 14"	55.00	60.82	33.94					
C108	61° 13' 18"	55.00	58.77	32.54					

- LEGEND**
- SUBDIVISION BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY
 - EASEMENT
 - CORNER OF THIS SUBDIVISION (SET 1/2" IRON PIN MAG STD DET 120-1 TYPE "C" CAPPED L.S. 22283 UNLESS OTHERWISE NOTED)
 - FOUND MONUMENT AS NOTED
 - STREET CL MONUMENTATION (SET BRASS CAP MAG STD DET 120-1 TYPE "B")
 - 1/2" IRON PIN TO BE SET AFTER PRELIMINARY GRADING
 - VEHICULAR NON-ACCESS EASEMENT
 - MARICOPA COUNTY RECORDER
 - P.U.E. PUBLIC UTILITY EASEMENT
 - (TYP) TYPICAL
 - (R) RADIAL BEARING
 - ! SIGHT VISIBILITY EASEMENT
 - 25' RIGHT OF WAY

BOOK 790 PAGE 48
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
2005-1705395
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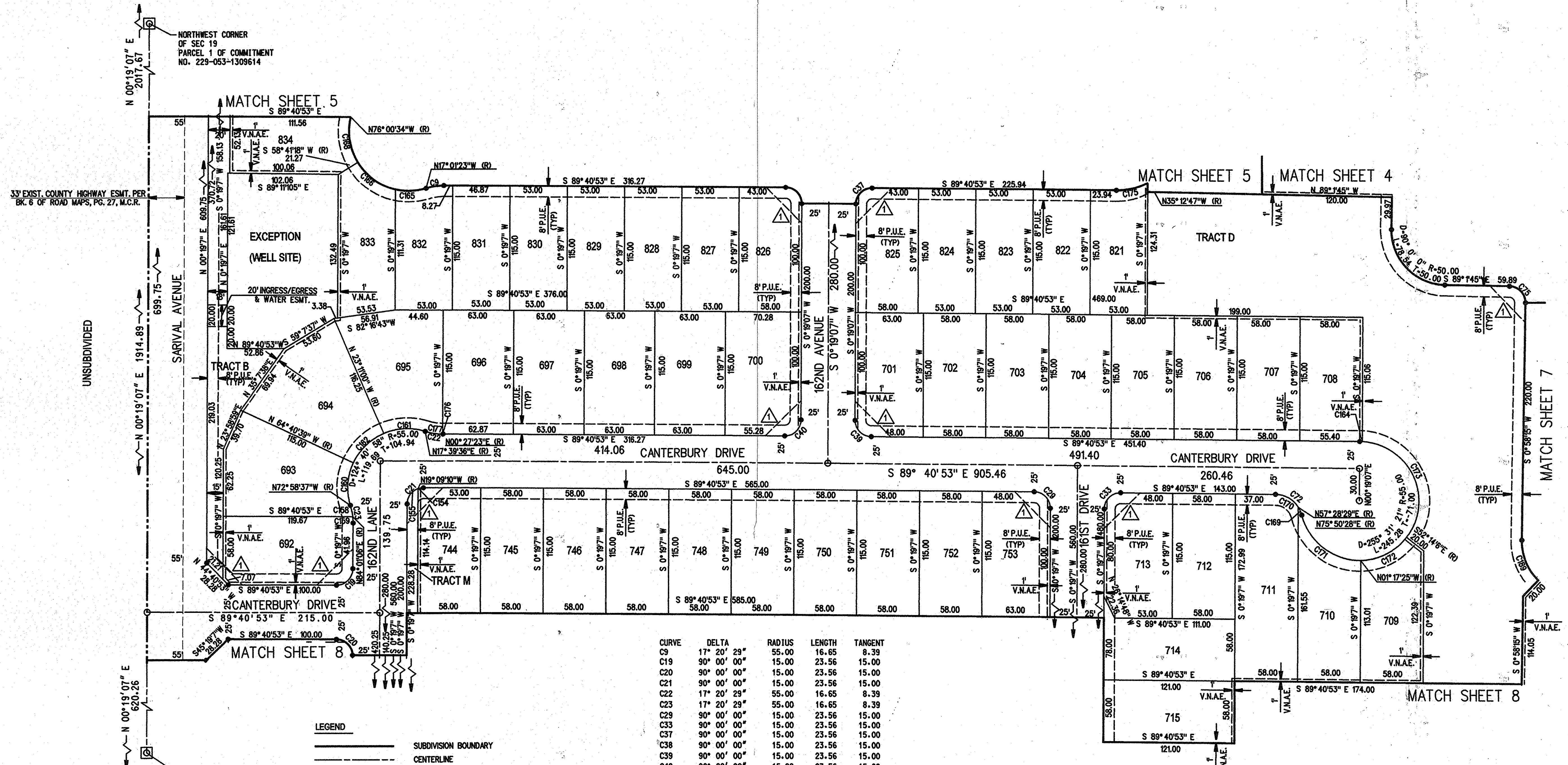
GREER RANCH NORTH
PHASE II
SEC # 1348000
JULY 2005
SHEET 5 OF 9

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GREER RANCH NORTH PHASE II



NORTHWEST CORNER OF SEC 19
PARCEL 1 OF COMMITMENT
NO. 229-053-1309614

33' EXIST. COUNTY HIGHWAY ESMT. PER
BK. 6 OF ROAD MAPS, PG. 27, M.C.R.

UNSUBDIVIDED

WEST QUARTER CORNER
SEC 19
FND 1/2" IRON PIN

LEGEND

- SUBDIVISION BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- EASEMENT
- △ CORNER OF THIS SUBDIVISION
(SET 1/2" IRON PIN MAG STD DET 120-1
TYPE "C", CAPPED, L.S. 22283 UNLESS
OTHERWISE NOTED.)
- FOUND MONUMENT AS NOTED
- STREET CL MONUMENTATION (SET BRASS
CAP MAG STD DET 120-1 TYPE "B".)
- 1/2" IRON PIN TO BE SET AFTER
PRELIMINARY GRADING
- V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
- M.C.R. MARICOPA COUNTY RECORDER
- P.U.E. PUBLIC UTILITY EASEMENT
- (TYP) TYPICAL
- (R) RADIAL BEARING
- △ SIGHT VISIBILITY EASEMENT
- 25' RIGHT OF WAY

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C19	17° 20' 29"	55.00	16.65	8.39
C20	90° 00' 00"	15.00	23.56	15.00
C21	90° 00' 00"	15.00	23.56	15.00
C22	17° 20' 29"	55.00	16.65	8.39
C23	17° 20' 29"	55.00	16.65	8.39
C29	90° 00' 00"	15.00	23.56	15.00
C33	90° 00' 00"	15.00	23.56	15.00
C37	90° 00' 00"	15.00	23.56	15.00
C38	90° 00' 00"	15.00	23.56	15.00
C39	90° 00' 00"	15.00	23.56	15.00
C40	90° 00' 00"	15.00	23.56	15.00
C72	75° 31' 21"	25.00	32.95	19.36
C75	90° 00' 00"	15.00	23.56	15.00
C154	19° 28' 16"	15.00	5.10	2.57
C155	70° 31' 44"	15.00	18.46	10.61
C158	11° 02' 29"	55.00	10.60	5.32
C159	06° 18' 00"	55.00	6.05	3.03
C160	42° 20' 45"	55.00	40.65	21.30
C161	40° 50' 35"	55.00	39.21	20.48
C162	41° 29' 39"	55.00	39.83	20.83
C164	02° 42' 41"	55.00	2.60	1.30
C165	29° 52' 56"	55.00	28.68	14.68
C166	45° 49' 44"	55.00	43.99	23.25
C168	45° 18' 08"	55.00	43.50	22.95
C169	18° 21' 58"	25.00	8.01	4.04
C170	57° 09' 23"	25.00	24.94	13.62
C171	77° 07' 53"	55.00	74.04	43.85
C172	50° 56' 41"	55.00	48.90	26.20
C173	124° 44' 06"	55.00	119.74	105.06
C174	72° 57' 23"	50.00	63.67	36.97
C175	17° 02' 37"	50.00	14.87	7.49
C176	00° 08' 16"	55.00	0.132	0.067
C177	17° 12' 13"	55.00	16.51	8.32
C189	46° 42' 29"	50.00	40.76	21.59

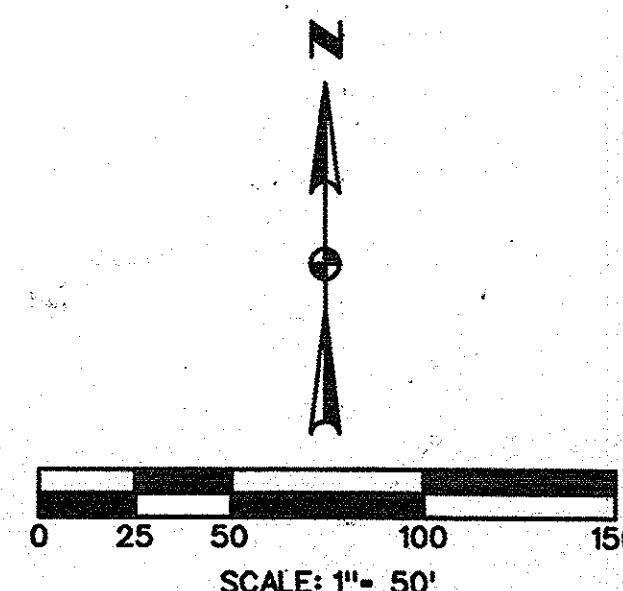
BOOK 790 PAGE 48
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
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GREER RANCH NORTH
PHASE II
SEC # 1346900
JULY 2005
SHEET 6 OF 9

age engineering corporation
3414 S. 48th ST. - SUITE 8
PHOENIX, ARIZONA 85040
(480)966-2971

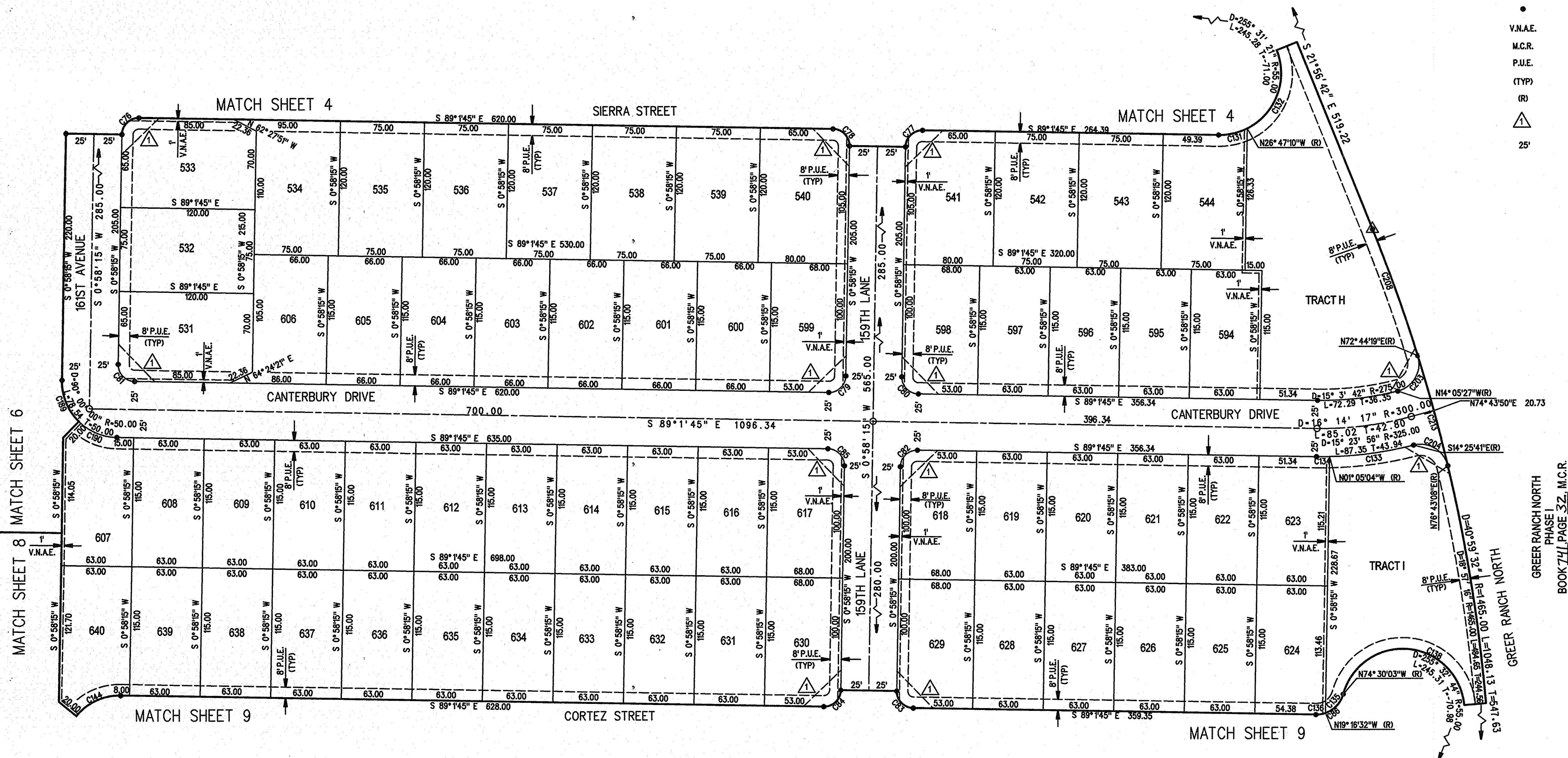


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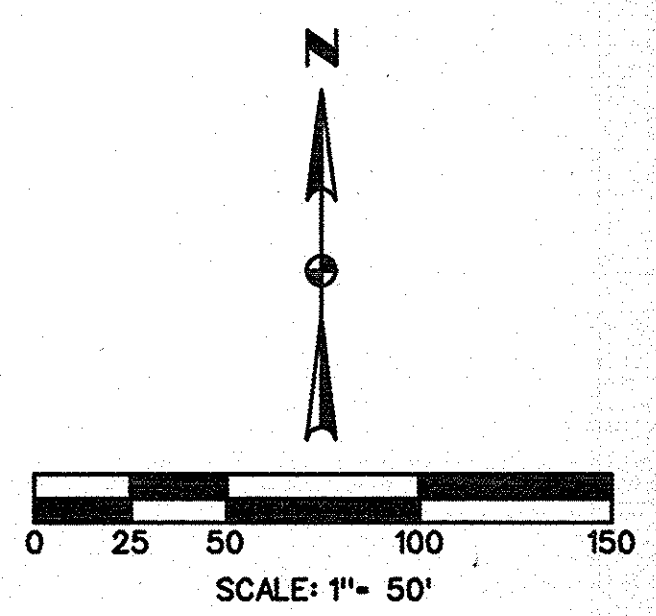
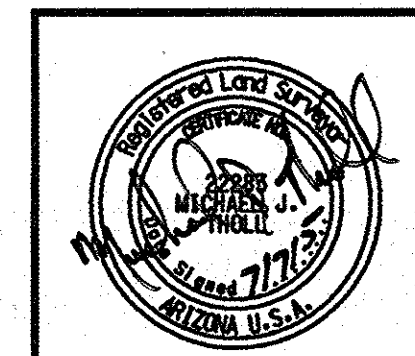
GREER RANCH NORTH PHASE II

- LEGEND
- SUBDIVISION BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY
 - EASEMENT
 - CORNER OF THIS SUBDIVISION (SET 1/2" IRON PIN MAG STD DET 120-1 TYPE "C" CAPPED, L.S. 22283 UNLESS OTHERWISE NOTED.)
 - FOUND MONUMENT AS NOTED
 - STREET CL MONUMENTATION (SET BRASS CAP MAG STD DET 120-1 TYPE "B".)
 - 1/2" IRON PIN TO BE SET AFTER PRELIMINARY GRADING
 - VEHICULAR NON-ACCESS EASEMENT
 - MARICOPA COUNTY RECORDER
 - P.U.E. PUBLIC UTILITY EASEMENT
 - (TYP) TYPICAL
 - (R) RADIAL BEARING
 - SIGHT VISIBILITY EASEMENT
 - 25' RIGHT OF WAY



CURVE	DELTA	RADIUS	LENGTH	TANGENT
C76	90° 00' 00"	15.00	23.56	15.00
C77	90° 00' 00"	15.00	23.56	15.00
C78	90° 00' 00"	15.00	23.56	15.00
C79	90° 00' 00"	15.00	23.56	15.00
C80	90° 00' 00"	15.00	23.56	15.00
C81	90° 00' 00"	15.00	23.56	15.00
C82	90° 00' 00"	15.00	23.56	15.00
C83	90° 00' 00"	15.00	23.56	15.00
C84	90° 00' 00"	15.00	23.56	15.00
C85	90° 00' 00"	15.00	23.56	15.00
C86	75° 34' 24"	25.00	32.98	19.38
C131	27° 45' 25"	55.00	26.64	13.59
C132	227° 45' 56"	55.00	218.64	-124.22
C133	13° 20' 37"	325.00	75.69	38.02
C134	02° 03' 19"	325.00	11.66	5.83
C135	55° 13' 31"	25.00	24.10	13.08
C136	20° 14' 47"	25.00	8.83	4.46
C138	207° 01' 21"	55.00	198.73	-228.89
C144	51° 47' 12"	50.00	45.19	24.27
C189	46° 42' 29"	50.00	40.76	21.59
C190	43° 17' 31"	50.00	37.78	19.84
C203	93° 10' 14"	25.00	40.65	26.42
C204	91° 08' 49"	25.00	39.77	25.51
C208	04° 41' 01"	1465.00	119.76	59.91
C213	03° 58' 49"	1465.00	101.77	50.91

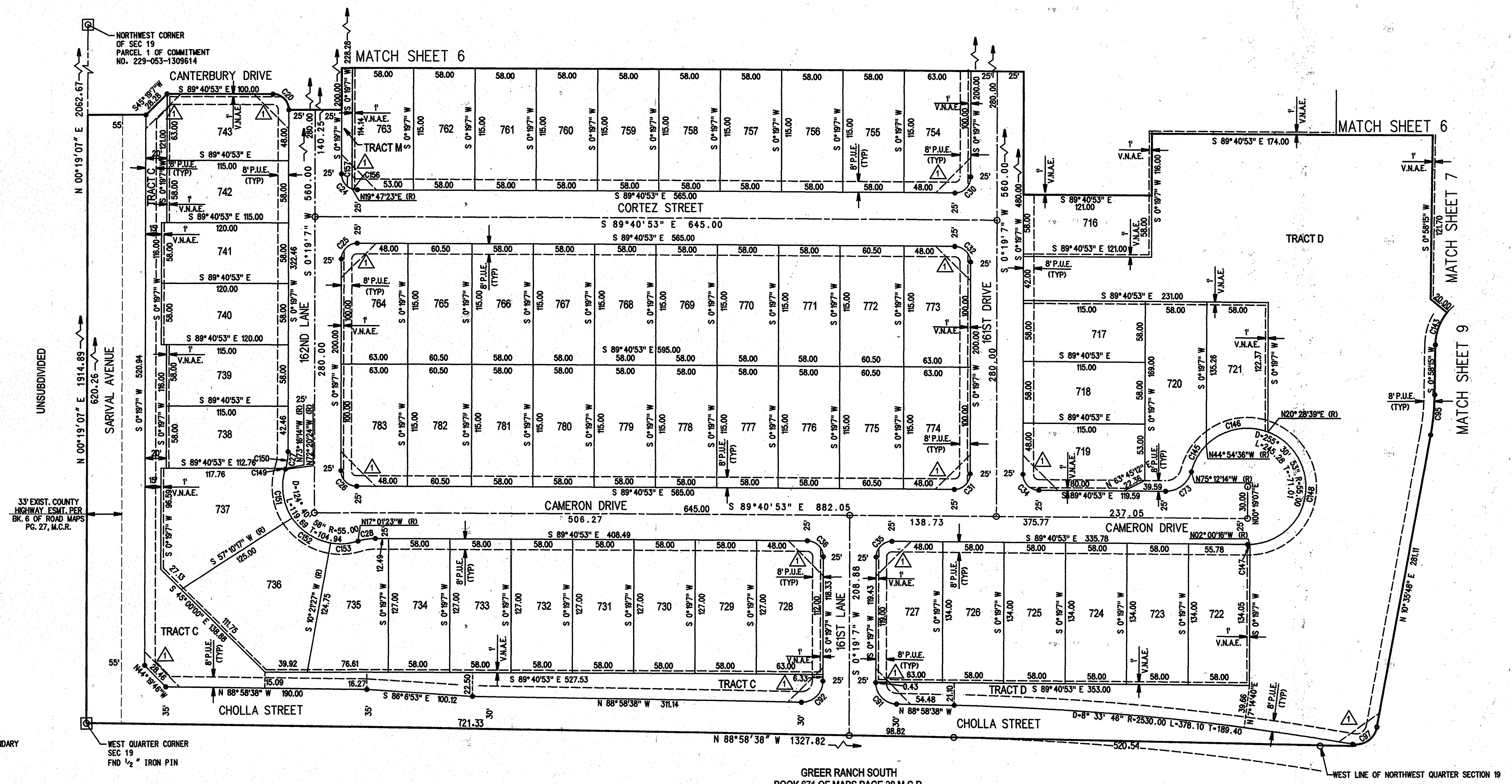
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OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
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GREER RANCH NORTH
PHASE II
SEC # 1348900
JULY 2005
SHEET 7 OF 9

age engineering corporation
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(480)966-9971

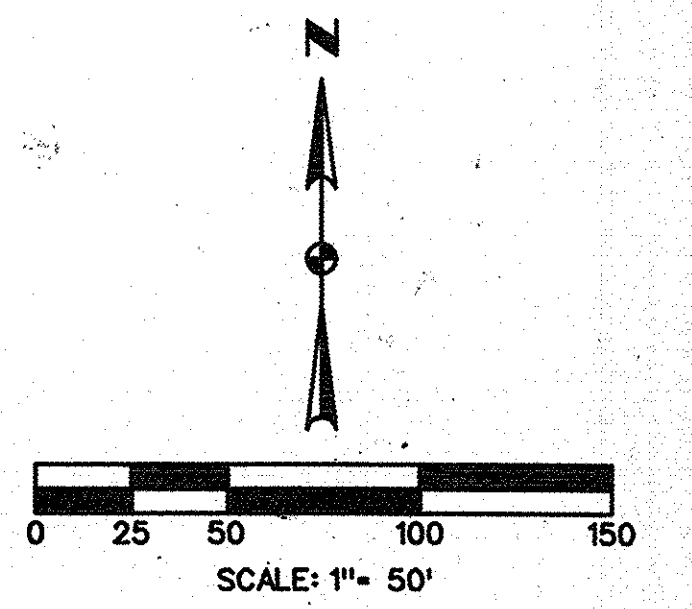
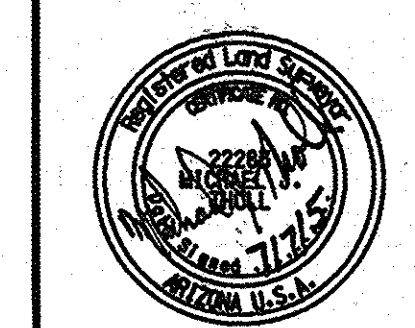
GREER RANCH NORTH PHASE II



- LEGEND**
- SUBDIVISION BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY
 - EASEMENT
 - CORNER OF THIS SUBDIVISION (SET 1/2" IRON PIN MAG STD DET 120-1 TYPE "C", CAPPED, L.S. 22283 UNLESS OTHERWISE NOTED.)
 - FOUND MONUMENT AS NOTED
 - STREET CL MONUMENTATION (SET BRASS CAP MAG STD DET 120-1 TYPE "B")
 - 1/2" IRON PIN TO BE SET AFTER PRELIMINARY GRADING
 - V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
 - M.C.R. MARICOPA COUNTY RECORDER
 - P.U.E. PUBLIC UTILITY EASEMENT
 - (TYP) TYPICAL
 - (R) RADIAL BEARING
 - △ SIGHT VISIBILITY EASEMENT
 - 25' RIGHT OF WAY

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CURVE	DELTA	RADIUS	LENGTH	TANGENT
C20	90° 00' 00"	15.00	23.56	15.00	C31	89° 17' 44"	20.00	31.17	19.76
C24	90° 00' 00"	15.00	23.56	15.00	C32	90° 42' 16"	20.00	31.66	20.26
C25	90° 00' 00"	15.00	23.56	15.00	C35	09° 37' 33"	225.00	37.80	18.94
C26	90° 00' 00"	15.00	23.56	15.00	C37	88° 59' 20"	20.00	31.06	19.65
C27	17° 20' 29"	55.00	16.65	8.39	C143	38° 12' 48"	50.00	33.35	17.32
C28	17° 20' 29"	55.00	16.65	8.39	C145	30° 17' 38"	55.00	29.08	14.89
C30	90° 00' 01"	15.00	23.56	15.00	C146	65° 23' 14"	55.00	62.77	35.30
C31	90° 00' 00"	15.00	23.56	15.00	C147	02° 18' 55"	55.00	2.22	1.11
C32	90° 00' 00"	15.00	23.56	15.00	C148	157° 31' 08"	55.00	151.21	276.74
C34	90° 00' 00"	15.00	23.56	15.00	C149	00° 55' 50"	55.00	0.89	0.46
C35	90° 00' 00"	15.00	23.56	15.00	C150	16° 24' 40"	55.00	15.75	7.93
C36	90° 00' 00"	15.00	23.56	15.00	C151	50° 29' 19"	55.00	48.47	25.93
C73	75° 31' 21"	25.00	32.95	19.36	C152	46° 48' 51"	55.00	44.94	23.81
					C153	27° 22' 49"	55.00	26.28	13.40
					C156	19° 28' 16"	15.00	5.10	2.57
					C157	70° 31' 44"	15.00	18.46	10.61

BOOK 790 PAGE 48
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
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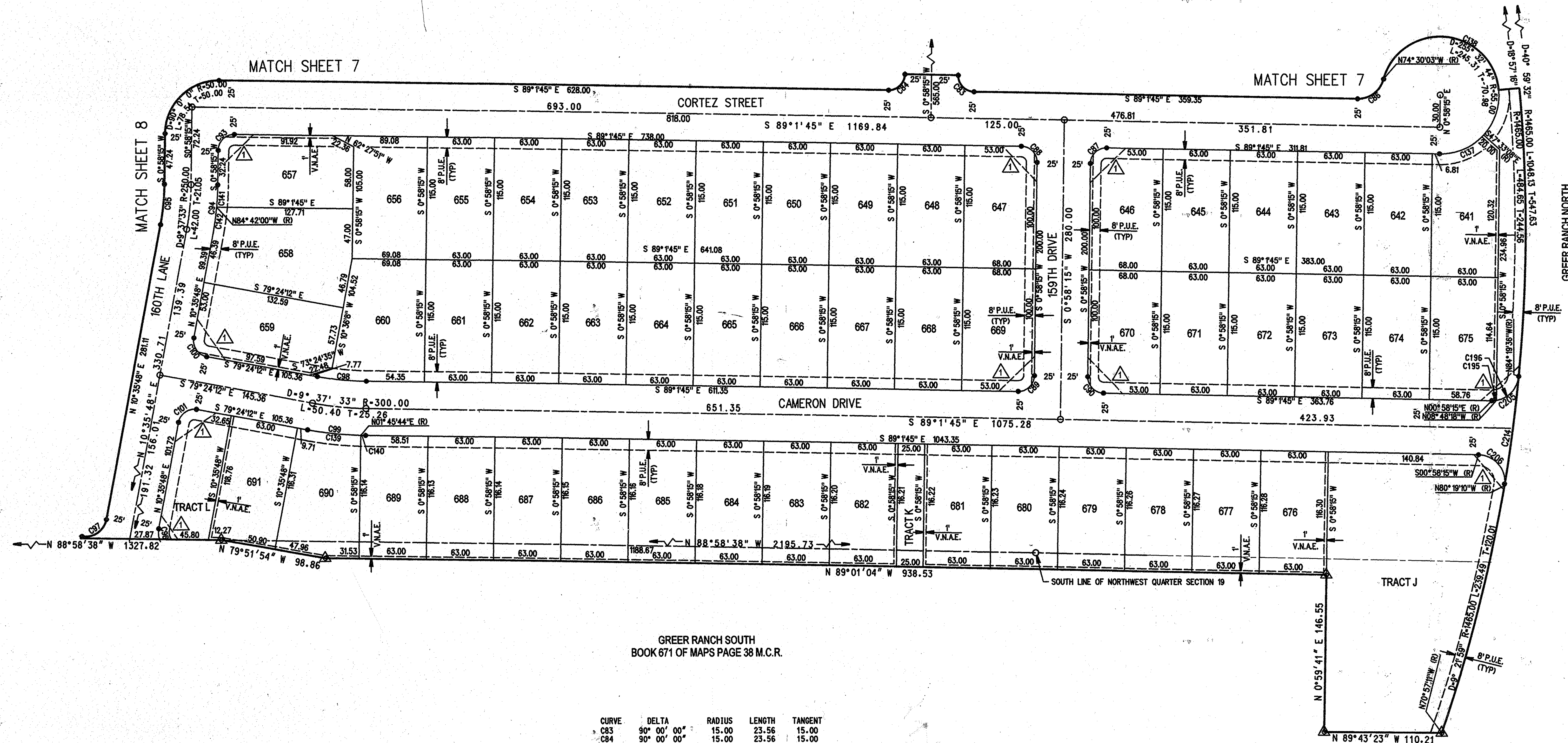
GREER RANCH NORTH
PHASE II
SEC # 1348900
JULY 2005
SHEET 8 OF 9

Page engineering corporation
3414 S. 48th ST. - SUITE 8
PHOENIX, ARIZONA 85040
(480) 965-9971

COPY

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GREER RANCH NORTH PHASE II



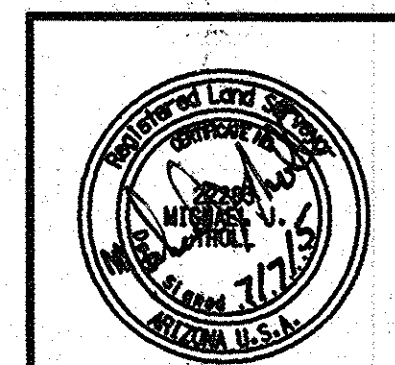
GREER RANCH SOUTH
BOOK 671 OF MAPS PAGE 38 M.C.R.

- LEGEND**
- SUBDIVISION BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY
 - EASEMENT
 - △ CORNER OF THIS SUBDIVISION (SET 1/2" IRON PIN MAG. STD. DET. 120-1 TYPE "C" CAPPED, L.S. 22283 UNLESS OTHERWISE NOTED.)
 - FOUND MONUMENT AS NOTED
 - STREET CL. MONUMENTATION (SET BRASS CAP MAG. STD. DET. 120-1 TYPE "B".)
 - 1/2" IRON PIN TO BE SET AFTER PRELIMINARY GRADING
 - V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
 - M.C.R. MARICOPA COUNTY RECORDER
 - P.U.E. PUBLIC UTILITY EASEMENT
 - (TYP) TYPICAL
 - (R) RADIAL BEARING
 - △ SIGHT VISIBILITY EASEMENT
 - 25' RIGHT OF WAY

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C83	90° 00' 00"	15.00	23.56	15.00
C84	90° 00' 00"	15.00	23.56	15.00
C86	75° 34' 24"	25.00	32.98	19.38
C87	90° 00' 00"	15.00	23.56	15.00
C88	90° 00' 00"	15.00	23.56	15.00
C89	90° 00' 00"	15.00	23.56	15.00
C90	90° 00' 00"	15.00	23.56	15.00
C93	90° 00' 00"	15.00	23.56	15.00
C94	09° 37' 33"	275.00	46.20	23.15
C95	09° 37' 33"	225.00	37.00	18.94
C96	28° 51' 59"	20.00	10.08	5.15
C97	88° 59' 20"	20.00	31.06	19.65
C98	09° 37' 33"	275.00	46.20	23.15
C99	09° 37' 33"	325.00	54.60	27.36
C100	90° 00' 00"	15.00	23.56	15.00
C101	87° 35' 52"	15.00	22.93	14.38
C137	48° 31' 23"	55.00	46.58	24.79
C138	207° 01' 21"	55.00	198.73	-228.89
C139	08° 50' 04"	325.00	50.11	25.11
C140	00° 47' 29"	325.00	4.49	2.24
C141	04° 19' 45"	275.00	20.78	10.39
C142	05° 17' 48"	275.00	25.42	12.72
C195	09° 46' 33"	25.00	4.27	2.14
C196	75° 31' 17"	25.00	32.95	19.36
C205	85° 17' 51"	25.00	37.22	23.03
C206	98° 42' 35"	25.00	43.07	29.12
C214	04° 00' 26"	1465.00	102.46	51.25

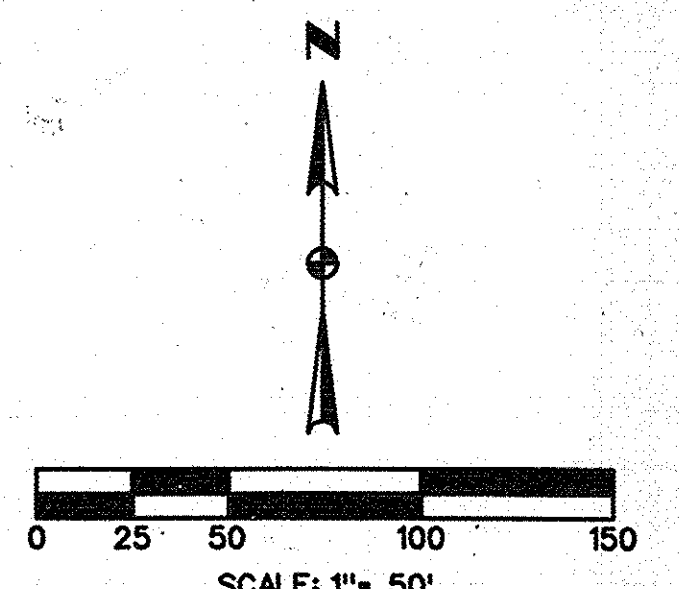
BOOK 790 PAGE 48
OFFICIAL RECORDS OF
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GREER RANCH NORTH
PHASE II
SEC # 1348900
JULY 2005
SHEET 9 OF 9

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COPY

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RESOLUTION NO. 05-108

A RESOLUTION APPROVING THE FINAL PLAT MAP OF A RESIDENTIAL SUBDIVISION, FP04-362, ENTITLED "GREER RANCH NORTH PHASE 2", LOCATED SOUTH OF CACTUS ROAD AND EAST OF SARIVAL AVENUE, CONSISTING OF 467 LOTS ON 128.48 GROSS ACRES.

WHEREAS, the owner of a parcel of land located south of Cactus Road and east of Sarival Avenue, desires to subdivide the parcel; and

WHEREAS, the proposed subdivision complies with the requirements of the subdivision and zoning ordinances; and

WHEREAS, the proposed subdivision complies with the requirements of the Preliminary Plat approved by the Mayor and City Council on March 11, 2004; and

WHEREAS, the proposed subdivision will enhance the public health, safety, and welfare;

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of Surprise, Arizona, that:

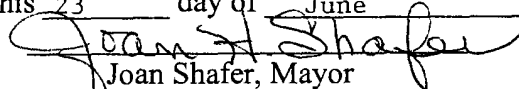
Section 1. That certain final plat entitled "Greer Ranch Phase II" Date Stamped May 03, 2005, as application no. FP04-362, a copy of which is on file in the Community Development Department, is approved.

Section 2. The City of Surprise does hereby accept the dedication to the City of Surprise of all public streets and other land designated on said final plat for public ownership. The City of Surprise will not accept maintenance responsibility for such streets and other land until all streets, utility, drainage, and other improvements as required by the City subdivision ordinance are completed to City standards. Such acceptance of maintenance responsibility must be manifested by a separate action of the City Council.

Section 3. The applicant shall submit three (3) sets of the final plat on Mylar, one (1) electronic copy of the final plat on disk and two (2) copies of the narrative.

Section 4. Approval of this plat is contingent on the owner of the property complying with all stipulations contained in Exhibit A.

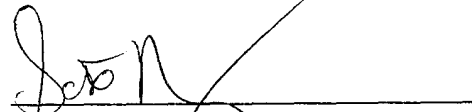
PASSED AND ADOPTED this 23 day of June, 2005


Joan Shafer, Mayor

ATTEST:


Sherry Aguilar, City Clerk

APPROVED AS TO FORM:


Scott McCoy, City Attorney

YEAS: Mayor Shafer, Council Members; Bails, Elkins, Foro, Sullivan
Johnson (Absent: Vice-Mayor Arismendez)

NAYS: _____

STANDARD STIPULATIONS:

- a) The applicant shall submit a Written Response to Stipulations, two (2) copies of a Preliminary Plat, and two (2) copies of the Narrative Report revised as necessary to comply with these approved stipulations. Said submission must be under one (1) transmittal package;
- b) Prior to the delivery of any combustible material to the site, the fire protection system shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- c) Major changes to this preliminary plat with regard to use and intensity must be processed as a revised application to be reviewed by the Planning and Zoning Commission and approved by the City Council. Minor changes to this preliminary plat may be administratively approved by the City Manager and the Community and Economic Development Director;
- d) The applicant or property owner must provide the City with approved dust control permit by Maricopa County Environmental Services Department prior to release of any permits;
- e) The applicant shall include the City Attorney's Sound Attenuation and Overflight language on every final plat in the form approved by the City Attorney;
- f) The applicant shall dedicate an avigation easement to the United States Air Force on every final plat in the form approved by the City Attorney;

SPECIAL STIPULATIONS:

- g) Landscaping and perimeter wall(s) details are to be submitted with Final Plat and reviewed and approved by the Community Development Director prior to release of any building permit;
- h) Homebuilders must fully comply with the Single-Family Residential Home Product Design Guidelines. Home Product designs; floor plans and elevations are subject to the review and approval of the Community and Economic Development Director prior to the release of standard construction drawings;
- i) The applicant shall use the APS approved and City recommended decorative street light for all residential streets;
- j) The applicant shall include the City Attorney's release of liability language regarding sidewalks on every final plat;
- k) Prior to release of building permits, there must be two points of emergency vehicle access per fire department standards;
- l) The City will ensure that no school will be built under the Luke flight paths. Prior to approving or selecting a school site the developer and City planners will meet with officials from Luke to agree upon an appropriate school site.

REPORT TO THE CITY COUNCIL

PREPARED BY THE COMMUNITY DEVELOPMENT DEPARTMENT

CASE NO.: FP04-362 (Greer Ranch North Phase II, Final Plat)

PREPARED BY: Adam Copeland, Planner I @ 623.875.4320

CITY COUNCIL HEARING DATE: June 23, 2005

APPLICANT:

Ken Speer
3414 S. 48th Street Suite 8.
Phoenix, AZ 85040
(480) 966-9971 Phone
(480) 921-4956 Fax

OWNER:

Courtland Homes / John Wittrock
5333 N. 7th suite # 305
Phoenix, AZ 85014
(602) 265-9467 Phone
(602) 279-9488 Fax

REQUEST:

Approval of a Final Plat of 467 single-family residential lots within the Greer Ranch P.A.D.

SITE LOCATION:

Subject site is bounded by Catus Road to the north, Greer Ranch Parkway to the east, Sarival Avenue to the West, and Cholla Street to the north in Section 19, Township 3 North, Range 1 West, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

SITE SIZE:

128.68 gross acres.

CONFORMANCE TO ADOPTED LAND USE PLANS:

GENERAL PLAN:

If approved, this request would comply with the General Plan 2020 and the corresponding General Plan Land Use Map.

DEVELOPMENT PLAN:

The request is consistent with the Greer Ranch Planned Area Development zoning.

COMMENTING JURISDICTIONS:

Town of Buckeye:	No comments were received.
City of El Mirage:	No comments were received.
City of Peoria:	No comments were received.
Maricopa County:	No comments were received.
Dysart Unified School District:	No comments were received.
Maricopa Water District:	No comments were received.
Luke Air Force Base:	see attached.

DEPARTMENTAL REVIEW:

The **Engineering Department** has reviewed this application and has requested stipulations.

The **Fire Department** has reviewed this application and has requested stipulations, Stipulation k.

The **Public Works Department** has reviewed this application and has no additional comments.

The **Water Services Department** has reviewed this application and has no additional comments.

STAFF RECOMMENDATION:

Staff **recommends approval** of the Final Plat for Greer Ranch North Phase II (FP04-362)

EXISTING AND SURROUNDING ZONING:

1. ON-SITE:	PAD (Greer Ranch)
NORTH:	R-43 (Maricopa County)
EAST:	PAD (Ranch Gabriela)
SOUTH:	R-43 (Maricopa County)
WEST:	R-43 (Maricopa County)

EXISTING AND SURROUNDING LAND USE:

2. ON-SITE:	Agriculture/Vacant Land
NORTH:	Agriculture/Vacant Land
EAST:	Agriculture/Vacant Land
SOUTH:	Agriculture/Vacant Land
WEST:	Agriculture/Vacant Land

ADJACENT ROAD STATUS:

3.

Street Name	Right-of-Way	Pavement Width	Landscaping	# of Lanes in each direction	Sidewalks
Cactus	110 feet	30 feet	Future	1lane	6' required
Greer Ranch Parkway	70 feet	30 feet	Future	1 lane	6' required
Sarival Avenue	110 feet	30 feet	Future	2 lanes	6' required

EXISTING UTILITIES AND SERVICES STATUS:

4. **WATER** City of Surprise
5. **SEWER** City of Surprise
6. **FIRE PROTECTION** The Surprise Fire Department currently has a fire station located at 15616 North Hollyhock Street. The second fire station is in operation at 18600 Reems Road near the intersection of Reems and Mountain View Boulevard.
7. **POLICE PROTECTION** The Surprise Police Department currently has a station located at 12425 W. Bell Road and a substation located at 18600 Reems Road.

PLAN ANALYSIS:

PROPOSAL

9. The applicant has submitted a Final Plat for Greer Ranch North. The proposed plat consists of approximately 467 dwelling units on a total of 128.68 gross acres. As planned, the applicant proposes a gross density of 3.2 dwelling units per acre (d.u./acre).

EXISTING CONTIDIONS

10. The subject site has been farmed and is currently used for agricultural purposes.

11. This property is almost entirely flat with exception of a very gentle slope to the southeast of the property. The applicant has provided the required storm water retention areas within the project. The Engineering Department has reviewed the preliminary drainage information for the proposed project

SFR DESIGN GUIDELINES COMPLIANCE:

PROPOSED LOT SIZES

12. For your convenience, the following table outlines the Lot Categories (Greer Ranch South only) and their combined total:

LOT CATEGORY (Single-Family Residential Design Guidelines)	LOTS SIZE	NUMBER OF LOTS
B	53' X 110'	181
C	58' X 110'	242
D	63' X 110'	289
E	70' X 115'	86
F	75' X 120'	80
	TOTAL	878

GREER RANCH DESIGN ELEMENTS

13. There are many design features included within the Greer Ranch North preliminary plat that will go towards creating a community character and an open feeling in the neighborhood that the City of Surprise finds desirable. The following features have been included:
- A. Lot sizes – the applicant has included four (4) lot sizes ranging in sizes from: 53' X 110' to 75' X 120'. This design fulfills the city's desire for larger lots and a greater diversity in communities offered in Surprise. Additionally, it allows current City of Surprise residents the ability to upgrade to a larger home and lot, while staying in the community.

- B. Open space – The Final Plat for Greer Ranch North Phase II includes 14.82 acres of open space throughout the development. With 13% of the property dedicated as open space including trail systems, active and passive recreation, retention and landscaping, as well as 1.53 Acres dedicated for a fire station. This plat exceeds the minimum required open space for such a community. The large open space tracts will include active recreation zones for the Greer Ranch residents. By locating these open space tracts throughout the community and connecting them via the open space trail system and curb-separated sidewalks, all residents will be able to access the full benefits they will provide.
- C. Lots Fronting Open Space – Central to the “community building” and aesthetic design of the Greer Ranch North Preliminary Plat is the placement of residential lots, which front open space.

NOISE

- 14. This property is not located within the noise contours of the 1988 JLUS (Joint Land Use Study) as recognized by the City of Surprise. This property is however subject to overflights from Luke Air Force Base; therefore appropriate noise attenuation will be required in the homes as they are constructed.

CONCLUSION:

- 15. This proposal will not adversely affect the public health, safety or welfare and complies with the City of Surprise General Plan 2020 and the approved Greer Ranch PAD. In addition, this development meets the requirements of the Single-Family Residential Design Guidelines.

RECOMMENDATIONS:

(FP04-362)

Subject request is consistent with the Surprise General Plan 2020 and Greer Ranch PAD. Approval of this request would allow for efficient and orderly development. Staff recommends that the City Council approve the Final Plat (FP04-362), for Greer Ranch North Phase II, subject to the following stipulations:

STANDARD STIPULATIONS:

- a) The applicant shall submit a Written Response to Stipulations, two (2) copies of a Preliminary Plat, and two (2) copies of the Narrative Report revised as necessary to comply with these approved stipulations. Said submission must be under one (1) transmittal package;
- b) Prior to the delivery of any combustible material to the site, the fire protection system shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- c) Major changes to this preliminary plat with regard to use and intensity must be processed as a revised application to be reviewed by the Planning and Zoning Commission and approved by the City Council. Minor changes to this preliminary plat may be administratively approved by the City Manager and the Community and Economic Development Director;
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SPECIAL STIPULATIONS:

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- i) The applicant shall use the APS approved and City recommended decorative street light for all residential streets;
- j) The applicant shall include the City Attorney's release of liability language regarding sidewalks on every final plat;

- k) Prior to release of building permits, there must be two points of emergency vehicle access per fire department standards;
- l) The City will ensure that no school will be built under the Luke flight paths. Prior to approving or selecting a school site the developer and City planners will meet with officials from Luke to agree upon an appropriate school site.

GREER RANCH NORTH PHASE II

FINAL PLAT NARRATIVE

Greer Ranch North is the northern portion of a 586.2 acre master planned community. Greer Ranch North Phase II is approximately 128.68 acres of single family residential densities of 1-3 units per acre. As part of the master planned community residents will have access to neighborhood shopping centers, public neighborhood park, private homeowners association parks and an elementary school site that are included or adjacent to the subdivision.

The Greer Ranch North Phase II property encompasses a portion of the north half of Section 19, Township 3 North, Range 1 West, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. The boundary of the property is within Cactus Road to the north, Greer Ranch Parkway and Greer Ranch North Phase I to the east, Cholla Street to the south and Sarival Avenue to the west. The site is currently in general agriculture use. The property is relatively flat with a slight slope from the northwest to the southeast, and includes open irrigation ditches. Adjacent current land uses include citrus orchard to the north, agriculture fields to the east and west, and Greer Ranch South subdivision to the south.

The square mile east of Greer Ranch North is planned as a master community at a density of 3.2 units per acre with neighborhood shopping center and industrial employment uses. The square mile south is planned for industrial employment. The square mile west is planned as a Mixed Use Gateway with the Loop 303 growth area. The square mile north is planned for residential uses at a density of 3-5 units per acre. Maricopa County Flood Control District (MCFCD) has plans for a regional storm water drainage channel along the west side of Reems Road.

Changes made between the preliminary plat and the final plat include a change in width of Lot 524. Lot 524 was approved with a 90 foot width on the preliminary plat. However, in comparing both the final plat and the preliminary plat lot widths for lots 502 – 506 and lots 521 – 524, the overall distance of the common rear lot line is 320 feet. Lot 524 was incorrectly labeled at 90 feet wide on the preliminary plat. No other adjustment is required.

Additionally, to improve drainage flow and maintain retention basin flow patterns, the developer has removed Lot 467 from Parcel 6, and relocated it next to Lot 716 in Parcel 3. As a result, all lot numbers between 467 and 717 have been adjusted for sequential numbering on the final plat.

Also, the plat has been revised to allow for a well site for Arizona American Water Company. The well site is along Sarival Avenue between Canterbury Drive and Jenan Drive. In order to make room for the site, lots 693-695 and lots 832-834 were

Sage Engineering Corporation

modified. This change caused lots 696 – 708 and lots 821 – 831 and 162nd Avenue to be moved easterly approximately 15 feet.

The following lots have also been modified by increasing the tract width to 20 feet along Sarival Avenue: Lots 738-739, 742-743, 834-836, 786-787 and 790-791.

It is expected that Courtland Homes, Inc. will complete construction of trails, recreation areas and walls as described in the original P.A.D. It is also expected that Courtland Homes, Inc. will continue working with the City of Surprise to provide improvements relating to the proposed fire station in Tract N.



DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

9 February 2004

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 W. Falcon St.
Luke AFB AZ 85309-1629

Ms. Shelley Hohman
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #PP03-051 Greer Ranch North

Dear Ms. Hohman

Thank you for the opportunity to comment on the Preliminary Plat for Greer Ranch North. The 274.55 acre site is located between Sarival Avenue and Reems Road and south of Cactus Road. Greer Ranch North is located from 1/2 to 1 1/2 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

Greer Ranch North will include 878 residential dwelling units (du) within the gross area of 274.55 acres, resulting in a gross residential density of 3.2 du/acre. Luke AFB follows the guidelines in the Graduated Density Concept (GDC). The GDC proposes, in the absence of a more restrictive state, county or municipal general or comprehensive plan, graduating densities away from the 65 Ldn as follows: a maximum of 2 du/acre from the 65 Ldn to 1/2 mile, a maximum of 4 du/acre from 1/2 to 1 mile, and a maximum of 6 du/acre from 1 to 3 miles. The proposed density of 3.2 du/acre meets these guidelines.

Since Greer Ranch North is located within the "territory in the vicinity of a military airport," it will be subjected to approximately 170 over flights a day, with some as low as 1500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential residents and other parcel users about Luke AFB operations. A sample notification letter can be found on the Luke AFB web site at www.luke.af.mil/urbandevelopment. We strongly encourage use of this sample notification letter.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at
(623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "J. R. Mitchell", with a long horizontal flourish extending to the right.

JAMES R. MITCHELL

cc:

Colonel Peter A. Costello III, Vice Commander, 56th Fighter Wing

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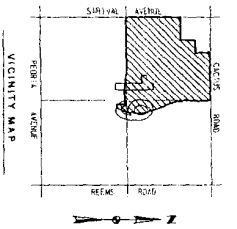
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FINAL PLAT OF
PRIMARK DEVELOPMENT
GREEN RANCH NORTH PHASE II

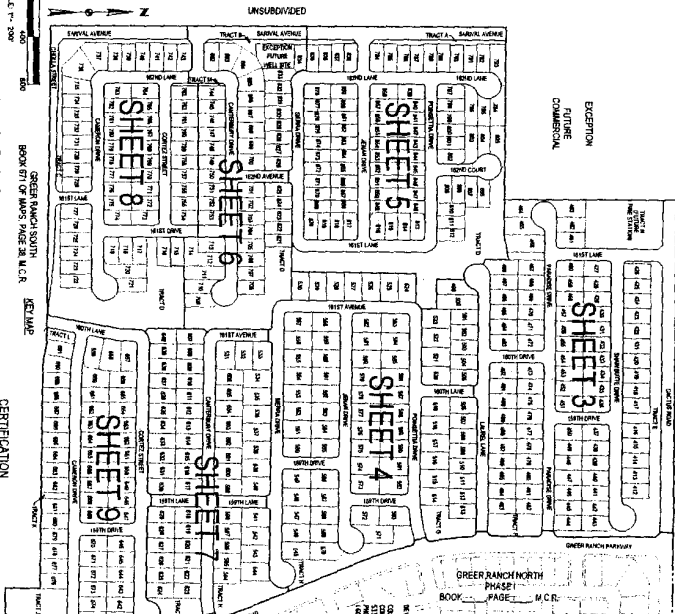
A SUBDIVISION OF PART OF SECTION 13, TOWNSHIP 3 NORTH, RANGE 1 WEST,
OF THE SALADO SALT RIVER MERIDIAN,
CITY OF SHERIFF, MARICOPA COUNTY, ARIZONA

UNSUBDIVIDED

SHEET		SHEET	
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49	50	51	52
53	54	55	56
57	58	59	60
61	62	63	64
65	66	67	68
69	70	71	72
73	74	75	76
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81	82	83	84
85	86	87	88
89	90	91	92
93	94	95	96
97	98	99	100



EXCEPTION
FUTURE
COMMISSION



ACKNOWLEDGEMENT

CITY OF SHERIFF, MARICOPA COUNTY, ARIZONA

THE CITY OF SHERIFF, MARICOPA COUNTY, ARIZONA, HAS REVIEWED THE PLAT AND FINDS THAT IT COMES INTO CONFORMANCE WITH THE CITY CHARTER AND ORDINANCES, AND THAT THE PLAT IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARIZONA SUBDIVISION ACT.

CITY CLERK

DATE

BY

OFFICIAL TITLE

STATE

CITY

COUNTY

STATE

CITY

COUNTY

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GREER RANCH NORTH PHASE II

OVER ALL, CONSIDER THE

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1

- [illegible]

AMERICAN FAVOR COMPANY

[illegible]

100. ITEM ASSUMED: WATER SUPPLY

21-01134-0000
CERTIFICATE NUMBER
11-05-2004
DATE

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PERFORMANCE STANDARDS TABLE

[illegible]

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| SITE SUMMARY TABLE | | PUMP & SOAK RATE | |
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| 10/11/81 | 10:00 | 10.00 | 10.00 |
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| PARCEL DATA &
P.A.D. LOT MIX DATA TABLE | | | |
|--|---------------------|-------------------|------------|
| PARCEL
NUMBER | MIXTURE
LOT SIZE | NUMBER
OF LOTS | PERCENTAGE |
| 1 | 53 x 110' | 25 | 20.75 |
| 2 | 48 x 110' | 42 | 18.75 |
| 3 | 53 x 110' | 36 | 21.00 |
| 4 | 75 x 110' | 80 | 17.15 |
| 5 | 53 x 110' | 100 | 21.35 |
| TOTAL | LOT 15 | 483 | 100% |

| PARCEL DATA &
P.A.D. LOT MIX DATA TABLE | | | |
|--|---------------------|-------------------|------------|
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NUMBER | MIXTURE
LOT SIZE | NUMBER
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| 4 | 75 x 110' | 80 | 17.15 |
| 5 | 53 x 110' | 100 | 21.35 |
| TOTAL | LOT 15 | 483 | 100% |



 age engineering corporation
344 E. 4th St., - Suite 8
Mexico, Mexico 52004
(52) 55-56177

UNSUBORNED

NORTHWEST CORNER
 OF SEC 19
 PARCEL 1 OF COMMUNITY
 NO. 273-073-130616

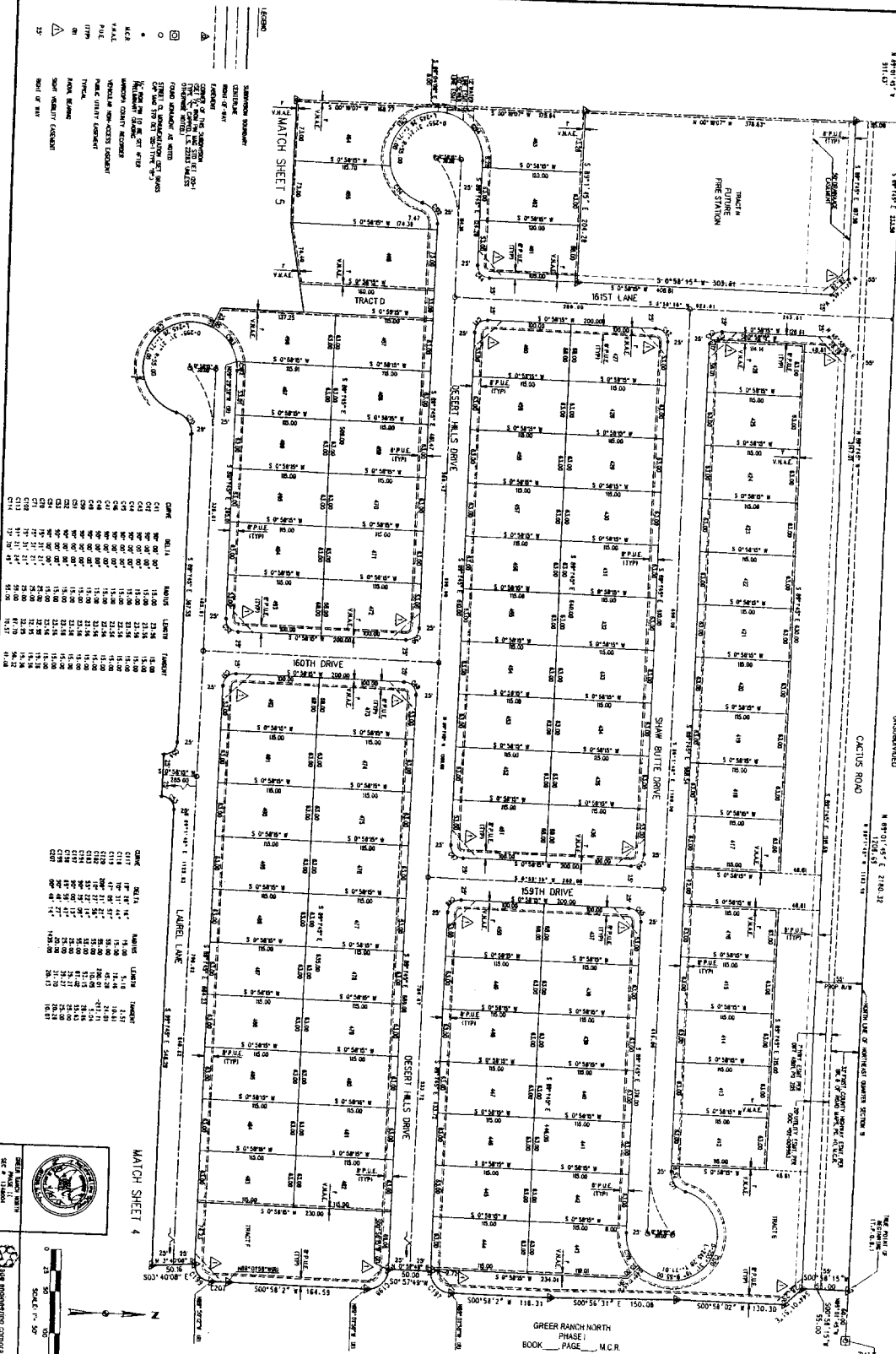
N 09° 01' 45" E 2100 m

CACTUS ROAD

ACAPULCO
(T.P.O.B.)

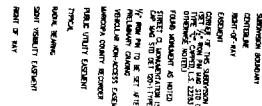
NORTH QUARTER CORNER
SEC 13
T10N R10W P1N

GREER RANCH NORTH
PHASE I
BOOK____, PAGE____, M.C.R.



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LEGEND



GREER RANCH NORTH
PHASE I
BOOK _____ PAGE _____ M.C.R.

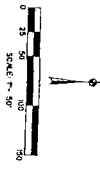
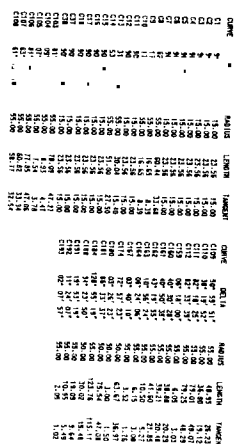


0 25 50 100
SCALE: 1" = 50'

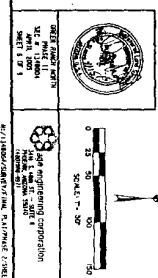


age engineering corporation
3141 S. 46th St. - Suite 8
Phoenix, Arizona 85040
(602)968-0771

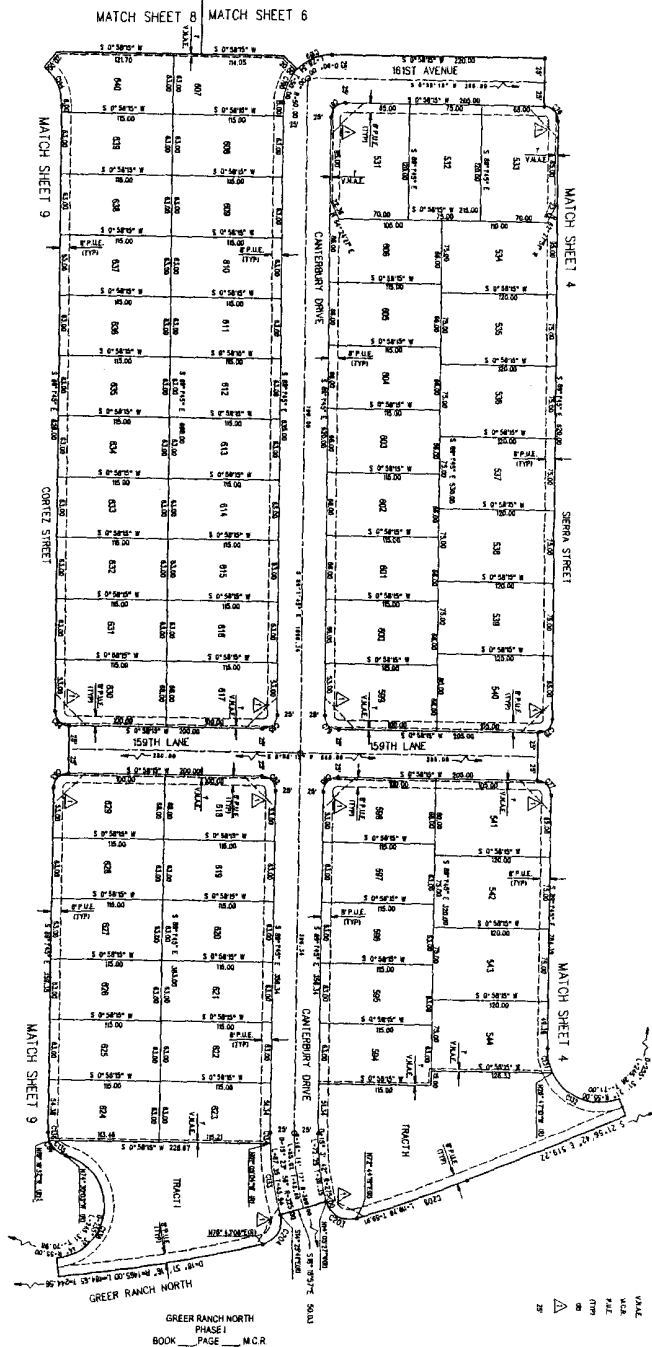
UNSUBIDVIDED



M:1340004/CLIMATE/FINAL PLAT/PHASE 2/SHEET



GREER RANCH NORTH PHASE II



COPIES

| NO. | DATE | BY | FOR |
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STATE OF CALIFORNIA
 PROFESSIONAL ENGINEER
 No. 111111
 EXPIRATION DATE 12/31/2008
 SHEET 1 OF 1

SCALE: 1" = 50'

PROJECT: GREER RANCH NORTH PHASE II
 PREPARED BY: [Name]
 CHECKED BY: [Name]
 DATE: 11/11/00

- LEGEND**
- 1. SHOWN IN THIS PLAN
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| △ | <p>TEST 1: 2000-01-01 TO 2000-01-01</p> <p>TEST 2: 2000-01-01 TO 2000-01-01</p> <p>TEST 3: 2000-01-01 TO 2000-01-01</p> |
| □ | <p>TEST 1: 2000-01-01 TO 2000-01-01</p> <p>TEST 2: 2000-01-01 TO 2000-01-01</p> <p>TEST 3: 2000-01-01 TO 2000-01-01</p> |
| ○ | <p>TEST 1: 2000-01-01 TO 2000-01-01</p> <p>TEST 2: 2000-01-01 TO 2000-01-01</p> <p>TEST 3: 2000-01-01 TO 2000-01-01</p> |
| ● | <p>TEST 1: 2000-01-01 TO 2000-01-01</p> <p>TEST 2: 2000-01-01 TO 2000-01-01</p> <p>TEST 3: 2000-01-01 TO 2000-01-01</p> |
| △ | <p>TEST 1: 2000-01-01 TO 2000-01-01</p> <p>TEST 2: 2000-01-01 TO 2000-01-01</p> <p>TEST 3: 2000-01-01 TO 2000-01-01</p> |

**SUBMISSION REQUEST
CONFIDENCE
NOT-OF-RECORD
EXCLUDED**

GREER RANCH SOUTH
BOOK 671 OF MAPS PAGE 38 M.C.R.



DEPT. OF DEFENSE
SEC. 11
SIC # 1340-4
APRIL 2004
DIRECT 9 OF 4

H:\1348004\SUBNET\FINAN PLAT\MRUSE 2/200

180TH LANE

MATCH SHEET 8

MATCH SHEET 7

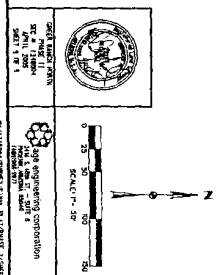
CORTEZ STREET

CAMERON DRIVE

150TH DRIVE

MATCH SHEET 7

GREER RANCH NORTH
PHASE 1
BOOK PAGE M.C.R.

[illegible]

#7



CITY OF SURPRISE COUNCIL AGENDA ACTION FORM

Meeting Type: Regular Meeting

Council Meeting Date: 6/23/05

Submitting Department: Community Development **Contact Person:** Adam Copeland

District: 3

Internal:

☒ Consent ☐ Regular ☐ Public Hearing ☐ Report Only

Agenda Wording:

Consideration and action on Resolution #05-108 a resolution approving the Final Plat Map of a residential subdivision, FP04-362, entitled "Greer Ranch North Phase 2", located south of Cactus Road and east of Sarival Avenue, consisting of 467 lots on 128.48 gross acres.

Motion:

I move to approve Resolution #05-108.

Background:

On March 11, 2004, the Mayor and City Council unanimously approved Resolution #04-64, a Preliminary Plat for the subject site.

Financial Impact Statement:

All activity related to the ongoing development of the City of Surprise has economic and fiscal impact on the City and on the region.

Attachments:

Resolution, Staff Report, Narrative, Plat Map, Exhibit, Luke Letter.

Signatures of Submitting Officers:

Mayor / Council

Department Head/Designee

Legal Review

Budget Authorization

City Manager/Designee

Human Resources (If Applicable)

City Clerk's Office Only:

Council Action:

Motion/Second

| | |
|------------|----------|
| Shafer | _____ |
| Elkins | _____ |
| Bails | <u>M</u> |
| Sullivan | <u>S</u> |
| Arismendez | _____ |
| Johnson | _____ |
| Foro | _____ |

Results:

| | |
|----------|-----------------|
| For | <u>6</u> |
| Against | <u>0</u> |
| Passed | <u>✓</u> |
| Failed | _____ |
| Continue | _____ |
| Tabled | _____ |
| Absent | <u>1 (D.A.)</u> |

Distribution After Council Meeting:

| |
|---------------------|
| City Clerk's Office |
| <u>Shelley H.</u> |
| |
| |
| |

Meeting Requirements:

☐ Powerpoint ☐ Overhead (Elmo) ☐ Flip Chart ☐ White Board ☐ Easel

Presentation Speaker Names (spelling and titles for TV captions):

Adam Copeland, Planner 1



CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

[Back](#) [Print](#)

Council Meeting Date: January 20, 2015 Contact Person: Sherry Ann Aguilar, City Clerk
Submitting Department: District: MMC
Staff Recommendations: Approve

| | | | | |
|---------|-------------------------------------|---------|----------------|-------------------|
| Consent | ☒ | Regular | Public Hearing | Report/Discussion |
|---------|-------------------------------------|---------|----------------|-------------------|

Agenda Wording:

Consideration and action on a request for a Series 14 (New License/CLUB)for Surprise AZ Aerie #4534 FOE located at 12425 W. Bell Road, Suite #100, Surprise, Arizona 85378.

Motion:

I move to approve a request for a Series 14 (New License/CLUB)for Surprise AZ Aerie #4534 FOE located at 12425 W. Bell Road, Suite #100, Surrprise, Arizona 85378.

Background:

This request is of a routine nature and the request meets the guidelines prescribed by the Arizona State Board of Liquor License and Control. All Departmental reports are attached.

Financial Impact Statement:

None.

ATTACHMENTS:

[Click to download](#)

No Attachments Available

External Attachment Links:

Meeting Requirements:

| | | | | | |
|------------|-------------------------------------|-------|-------------|-------|-------------------------------------|
| Powerpoint | ☒ | Video | White Board | Other | ☒ |
|------------|-------------------------------------|-------|-------------|-------|-------------------------------------|

Presentation Speaker Names (spelling and titles for TV captions):

Sherry Ann Aguilar, City Clerk MMC



CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

+ [Back](#) [Print](#)

| | | | |
|------------------------|------------------|-----------------|----------------|
| Council Meeting Date: | January 20, 2015 | Contact Person: | Michael Celaya |
| Submitting Department: | Intergov | District: | Citywide |
| Staff Recommendations: | Approve | | |

| | | | |
|---------|---------|----------------|-------------------|
| Consent | Regular | Public Hearing | Report/Discussion |
|---------|---------|----------------|-------------------|

Agenda Wording:

Presentation and consideration of the City's proposed state legislative agenda for the First Regular Session of the 52nd Legislature.

Motion:

I move to approve the City of Surprise's 2015 State Legislative Agenda.

Background:

Each year the Intergovernmental Relations Office, in concurrence with the City Council, staff, and the City Manager, develops a State Legislative Agenda (Agenda) based on priorities and needs of the City and community. Once approved by the City Council, the Agenda provides guidance for activities occurring at the Arizona State Legislature during the Legislature's annual session. This year, the First Regular Session of the 52nd Legislature will convene on Monday, January 12, 2015.

The Intergovernmental Relations Office staff will provide updates to the Surprise City Council on a regular basis throughout the session and seek additional direction as needed.

Financial Impact Statement:

Adoption of the 2015 State Legislative Agenda does not require funding. However, actions by the Legislature can have an impact on the City's budget. For example, State-shared revenues represent one-third of the City's General Fund Operating Budget of approximately \$28M. The threat of the legislature reducing these funds are always an option for consideration

ATTACHMENTS:

Click to download

☐ [2015 State Legislative Agenda](#)

☐ [CAWCD](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):

Michael Celaya, Intergovernmental Relations Director



To: Mayor Wolcott
Vice Mayor Williams
Council Member Winters
Council Member Biundo
Council Member Hall
Council Member Villanueva
Council Member Tande
City Manager, Bob Wingenroth

From: Michael Celaya, Intergovernmental Relations Director
Date: January 7, 2015
Re: 2015 State Legislative Agenda

This report describes the City's proposed state legislative agenda for the 1st Regular Session of the 52nd Arizona State Legislature. Once modified and approved by the Mayor and Council, the agenda will define the City's state legislative priorities and guide the City's lobbying activities at the State Legislature. As bills are introduced and debated, the agenda will evolve with input from the Mayor and Council. The session will commence on Monday, January 12, 2015.

GUIDING PRINCIPALS AND KEY PRIORITIES

Each year the State Legislature considers thousands of bills and amendments, many of which impact municipal operations. Staff will brief Mayor and Council throughout the session and seek direction regarding important bills and amendments; however, in order to prioritize and guide staff's lobbying efforts, we recommend that the Mayor and Council endorse familiar, but critical guiding principles as our highest priorities. These priorities include maintaining and protecting **shared revenues**, opposing **unfunded mandates** and preserving **local authority**.

SHARED REVENUES

The City's budget includes revenues from a number of State sources, most importantly, shared revenues from state income, sales and vehicle license taxes. Shared revenues make up 26% of the City's general fund, helping to pay for police, fire, streets, parks, and other critical City services. Staff recommends the City oppose any reduction of shared revenues.

OPPOSE UNFUNDED MANDATES

Given our fiscal predicament, new unfunded mandates could force the City's budget further into the red. An example is the continued raid on the Highway User Revenue Fund (HURF). Staff recommends the City oppose state legislative efforts that shift new programmatic duties to the City without accompanying funds.

LOCAL AUTHORITY

Cities and towns are established voluntarily by people living in communities in order to foster economic activity and deliver services that protect public health, safety and quality of life. Staff recommends that the City work to protect the ability to set policy at the local level and oppose legislation that preempts local authority.

OTHER ISSUES

ECONOMIC DEVELOPMENT

The City opposes any attempt to limit economic development initiatives or projects and supports any efforts for an economic development financing tool that aims to develop a means to capture incremental property tax revenues to be used to fund key infrastructure and other capital projects. .

LAND USE PLANNING

The City supports maintaining local authority in land use planning issues and supports legislative efforts that promotes more orderly growth and opposes efforts that impede growth management, including the preservation of local authority to set land use policies and support for citizen involvement in the planning and zoning process. Furthermore, the city opposes legislation that would restrict a municipality's ability to redevelop under-performing areas.

WATER

The city supports efforts to ensure future reliability of the Central Arizona Project's (CAP) canal and the Colorado River system. The Central Arizona Water Conservation District (CAWCD) collects a four cent property tax to provide financial flexibility to address current and future costs, thereby helping to ensure vital and reliable water supplies today and into the future.

MILITARY PRESERVATION

The City recognizes the importance of preserving the mission viability of Luke Air Force Base and the importance of the base to our national security interests, state and local economies, and to the retirees who rely on Luke for services. The city supports the retention of existing state statutes relating to military airports, and the development of legislation that limits encroachment of all types, supports compatible land uses around such facilities, and ensures the capability for future mission expansions.

FIRE

The city supports legislative efforts that prohibits Fire Districts from annexing areas inside a municipal planning area without the consent of the municipality.

CONCLUSION

This report was developed to serve as a guide and discussion for Mayor and City Council regarding the City's proposed state legislative agenda for the 1st Regular Session of the 52nd Arizona State Legislature. As bills are introduced and debated, the agenda will evolve and may require additional input from the Mayor and Council.

CAWCD's 4-Cent Property Tax Extension of Levy Authority

Authorized by the Arizona State Legislature in the 1990s, the 4-Cent Tax is an ad valorem property tax levied by the three-county special taxing district, Central Arizona Water Conservation District (CAWCD). The CAWCD is governed by a 15-member elected Board of Directors that manages and operates the 336-mile Central Arizona Project (CAP) canal. CAP is Arizona's single, largest water supplier, providing more than 1.5 million acre-feet (nearly 500 billion gallons) of Colorado River water to Maricopa, Pima and Pinal counties each year.

Quick Facts on the 4-Cent Tax

- Cannot exceed 4 cents per \$100 of a property's total value and must be levied at a single rate across the three-county CAP service area.
- Equates to \$8 per year for a homeowner with a \$200,000 house.
- Generates approximately \$18-19 million per year.
- Represents approximately 6-7% of CAWCD's overall annual revenues.
- Expires on January 2, 2017. The CAWCD Board has voted to seek legislation to extend the 4-Cent taxing authority.

Four-Cent Tax Authority (A.R.S. § 48-3715.03)

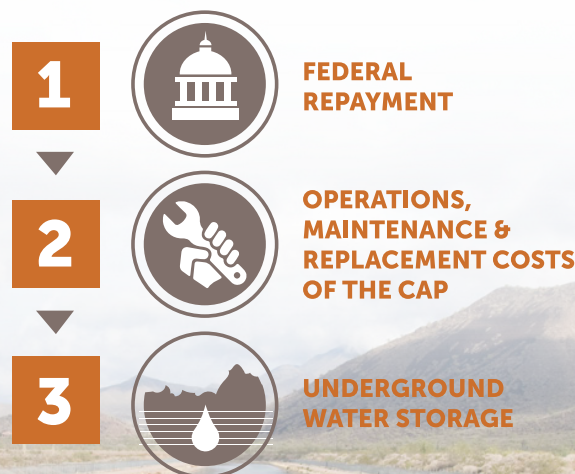
"[The CAWCD] ...shall annually determine by resolution whether all or any part of the tax levied... be applied to the repayment of the construction costs of the central Arizona project... or to the annual operation, maintenance and replacement costs of the central Arizona project. Any taxes ...that are not deposited into the district [CAWCD] fund...shall be deposited...in the Arizona water banking fund..."

Arizona law specifies a tiered system for the use of 4-Cent Tax revenues. Primarily, the tax may be used by the CAWCD to repay the federal government for its share of construction costs of the canal, and those payments average \$55 million annually. CAWCD may also use the proceeds for CAP purposes with regard to Operation, Maintenance, and Replacement (OM&R) expenses of the canal. Finally, the funds can be used to store water underground in conjunction with the Arizona Water Banking Authority (AWBA) and as authorized by the CAWCD by annual resolution.

Each year, the 15-member CAWCD Board must first determine whether there is a need to levy the tax, and for what purpose. If the tax is to be levied, the Board establishes the allocation and distribution of funds through an open process, public meeting. A Board resolution adopted in this manner specifies how the 4-Cent Tax will be used.

HOW THE 4¢ TAX IS USED

Arizona law specifies a **1-2-3 tiered system** for expenditures.



\$152M
HAS STORED
2 MILLION
ACRE-FEET OF WATER
FOR DROUGHT PROTECTION

Continued Relevance and Need

The tax has provided CAWCD with a source of revenue to address the unanticipated costs of operating the CAP canal and created nearly 2 million acre-feet of stored water for times of shortage. These purposes are still relevant today and will be even more important in the future. In addition, the current statutory authority of the 4-Cent Tax provides the CAWCD the flexibility it needs to address future challenges.

The CAWCD faces several challenges to ensure future reliability of the canal and the Colorado River system. Some of these include:

- Colorado River drought and anticipated shortage of water supply;
- Aging infrastructure of the canal system, which is now more than 30 years old; and
- Renegotiation of key contracts and ongoing regulatory actions affecting the CAP's primary power supply, the Navajo Generating Station.

If the 4-Cent Tax expires, the only place CAWCD can absorb significant and unexpected new costs is in water rates and capital charges to its municipal, agricultural, and Tribal customers. In addition, all proactive water storage efforts funded by this tax for future Arizona needs will end.

The 4-Cent Tax today, as in 1990, benefits Arizona, and it provides the CAWCD the financial flexibility to address current and future costs, thereby helping to ensure vital and reliable water supplies today and into the future.

For more information, please contact Bridget Schwartz-Manock, CAP's Legislative Affairs Manager, at 623-869-2150 or bschwartzmanock@cap-az.com.



Timeline of the Four-Cent Tax Authority

1990 – To address the State's underutilization of its 2.8 million acre-foot allocation of Colorado River, the Arizona Legislature authorizes CAWCD to collect a property tax in Maricopa and Pima counties to fund the construction of water recharge facilities for five years (Laws 1990, Chapter 385). Water storage is a way to bring otherwise unused CAP water into central Arizona for future use. The CAWCD successfully constructed six water recharge facilities.

1994 – The Legislature modifies the purpose of the tax for OM&R expenses of the CAP and for federal repayment, expands the taxing authority to include Pinal County, and extends the tax until 2001. The CAWCD Board is required to annually determine whether the tax will be levied and how proceeds are utilized (Laws 1994, Chapter 278).

1996 – The Legislature creates the Arizona Water Banking Authority (AWBA), authorizes AWBA's use of 4-Cent Tax proceeds pursuant to CAWCD resolution, and extends the tax until January 1, 2017 (Laws 1996, Chapter 308). More than \$150 million of tax proceeds have been shared with the AWBA to store water underground for municipal and industrial purposes in times of shortage.

"Bathtub rings" in Lake Mead demonstrate the drastic impact drought and Colorado River structural deficit have had on the reservoir's water elevation.



CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

+ [Back](#) [Print](#)

| | | | |
|------------------------|------------------|-----------------|----------------------------------|
| Council Meeting Date: | January 20, 2015 | Contact Person: | Lindsey Duncan, Finance Director |
| Submitting Department: | Finance Dept | District: | Citywide |
| Staff Recommendations: | No Action | | |

| | | | |
|---------|---------|----------------|-------------------|
| Consent | Regular | Public Hearing | Report/Discussion |
|---------|---------|----------------|-------------------|

Agenda Wording:

Presentation and discussion regarding the FY2014 Budget Status Report through November 2014.

Motion:

None

Background:

None

Financial Impact Statement:

The attached presentation provides an update of the year to date revenue and expenditures for the general fund through November 2014.

ATTACHMENTS:

Click to download

☐ [Presentation](#)

External Attachment Links:

Meeting Requirements:

| | | | | | |
|------------|---|-------|-------------|-------|---|
| Powerpoint | x | Video | White Board | Other | x |
|------------|---|-------|-------------|-------|---|

Presentation Speaker Names (spelling and titles for TV captions):

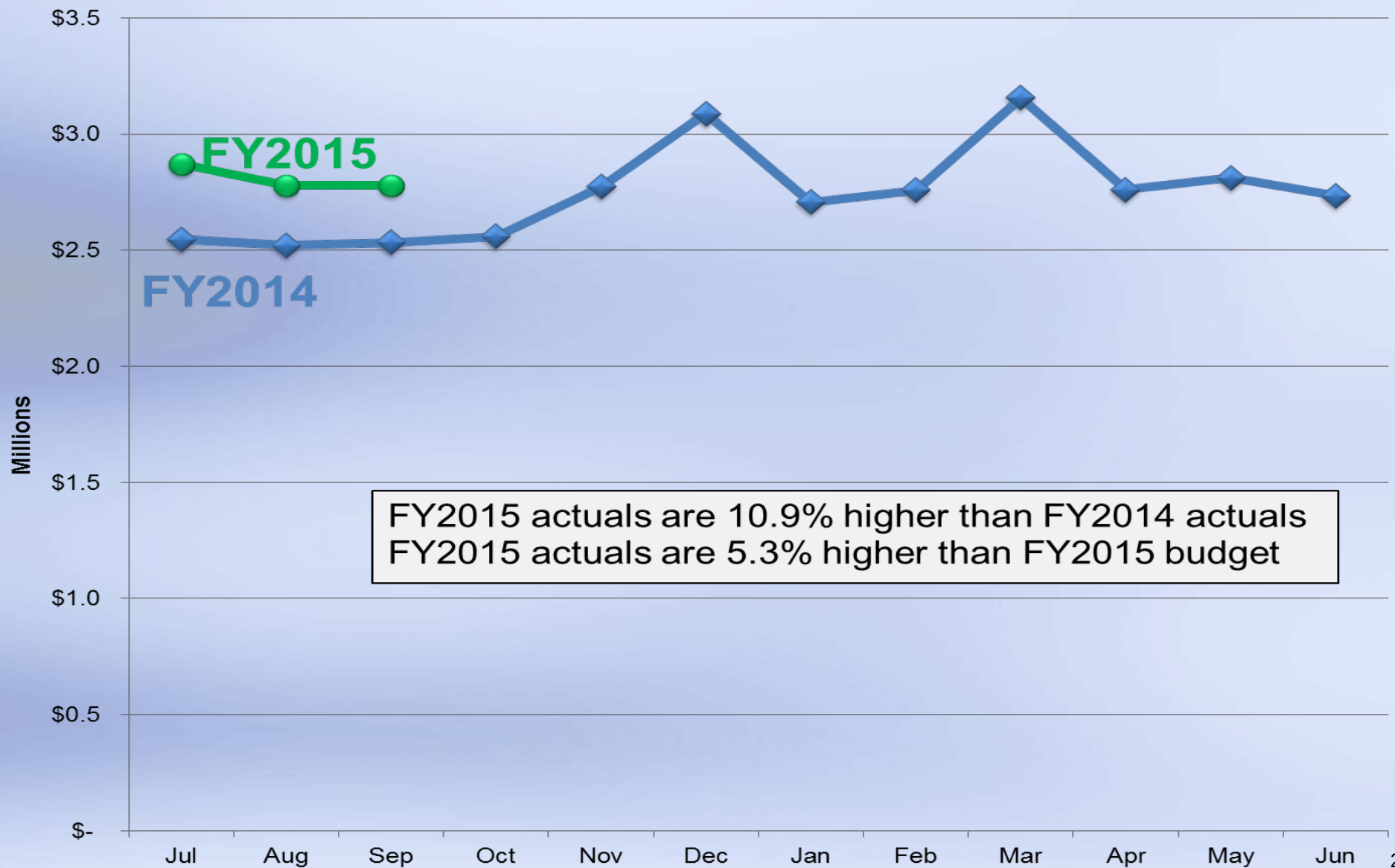
Lindsey Duncan, Finance Director

FY2015 Monthly Budget Status Report

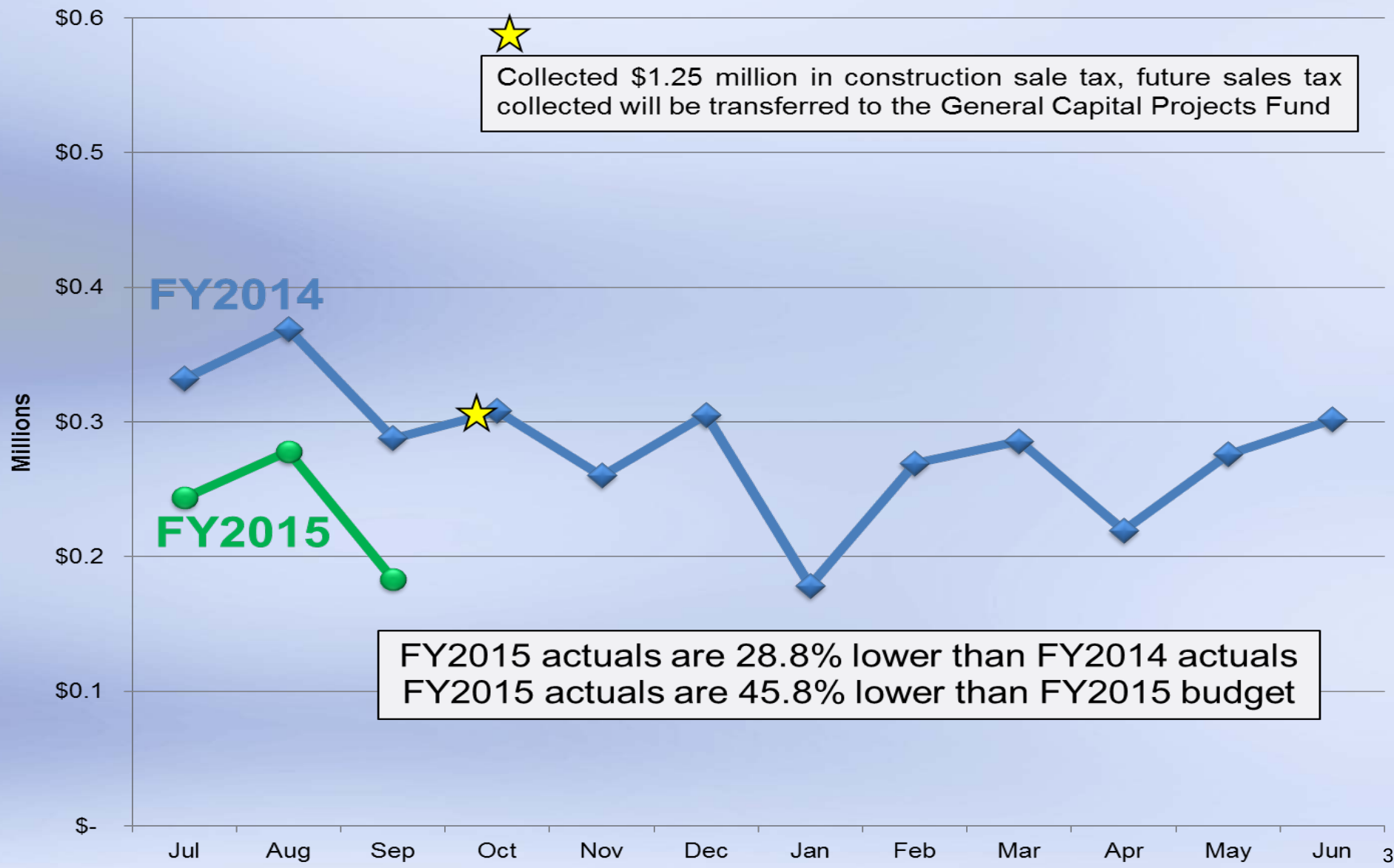
as of November 2015



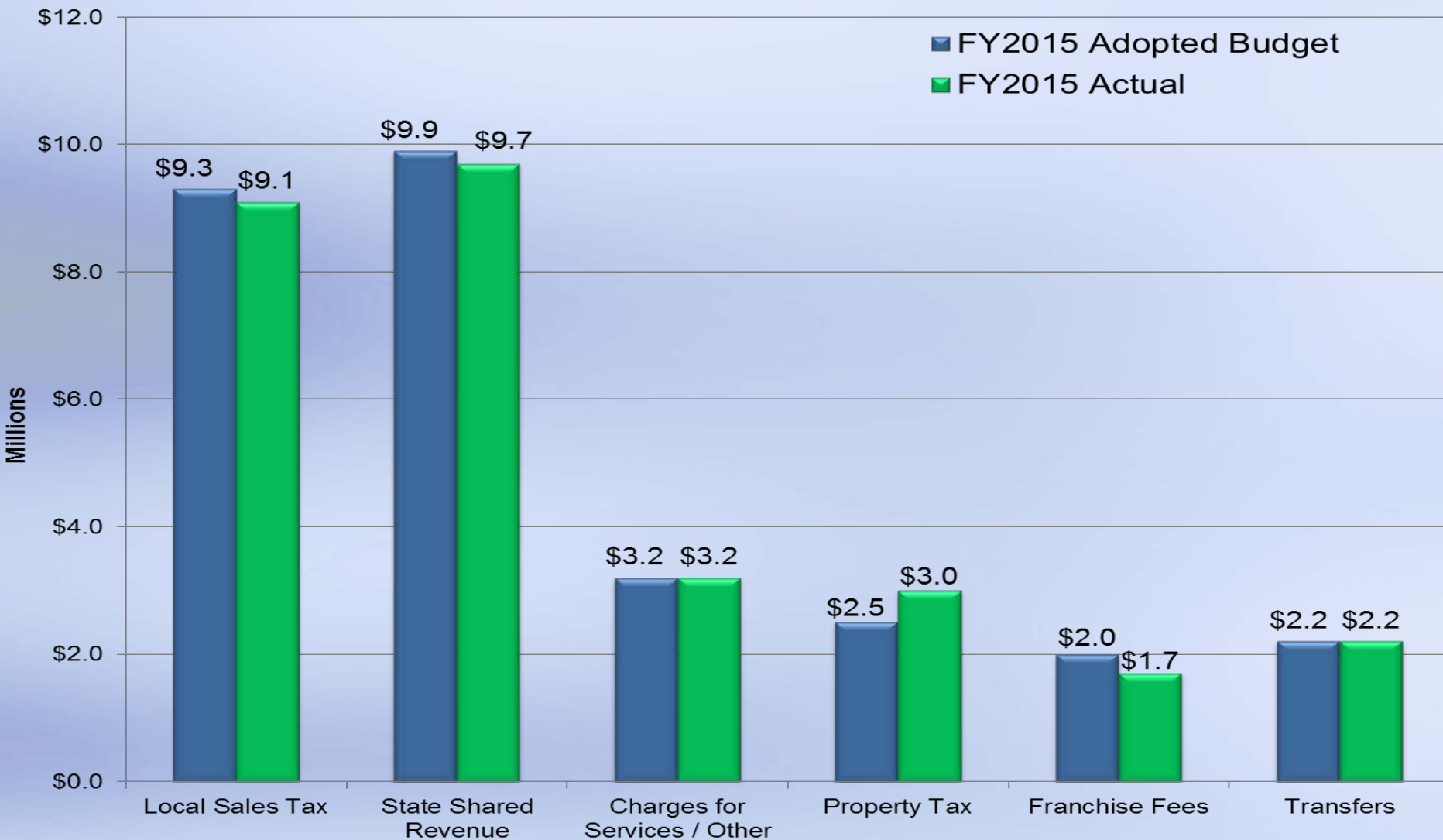
Sales Tax (Excluding Construction)



Construction Sales Tax

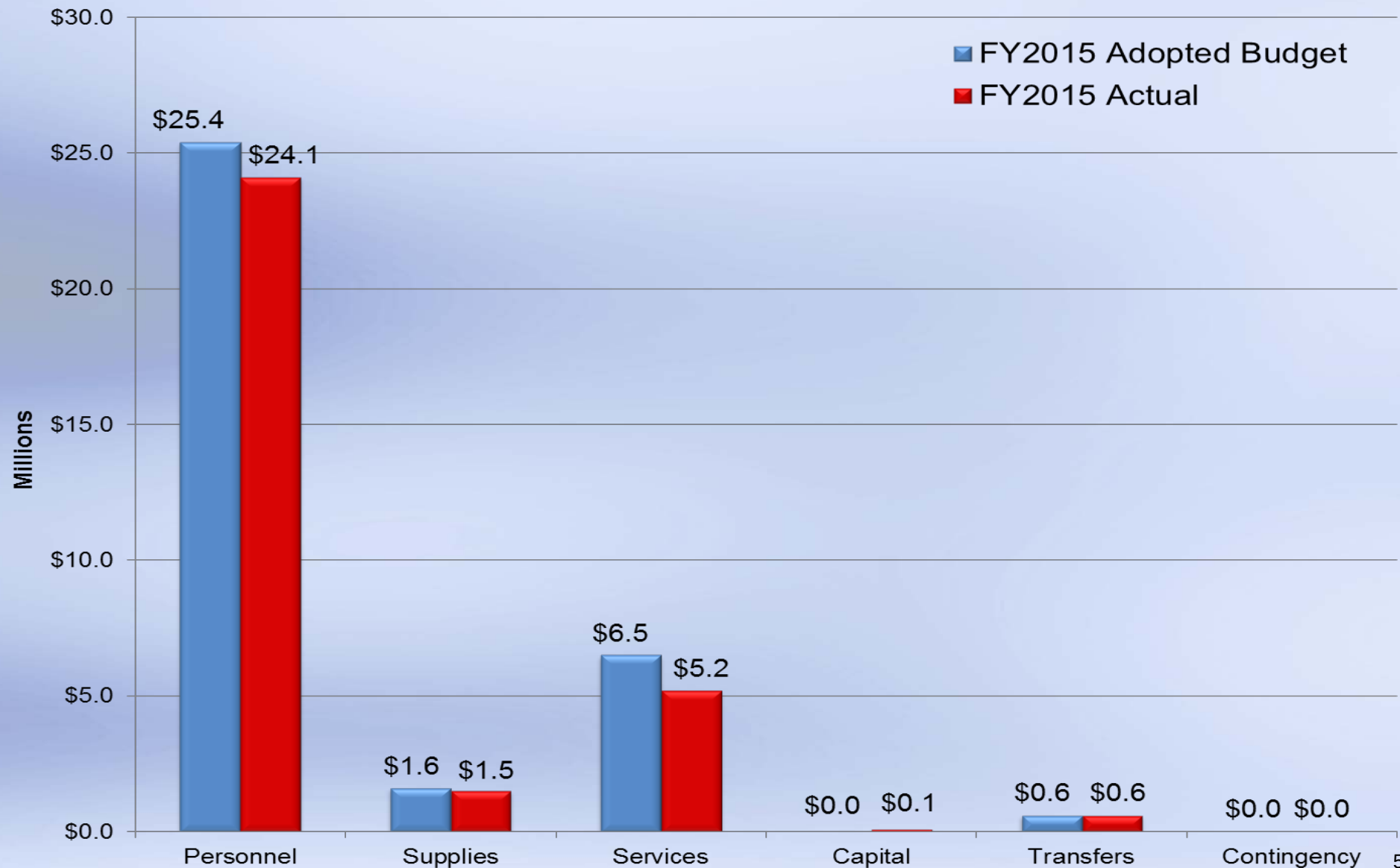


FYTD Resources by Category



The chart above includes three months of local sales tax revenue and five months of all other revenue sources

FYTD Expenditures by Category



Questions or Comments?





CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

+ [Back](#) [Print](#)

| | | | |
|------------------------|------------------|-----------------|-----------------------|
| Council Meeting Date: | January 20, 2015 | Contact Person: | Fire Chief Tom Abbott |
| Submitting Department: | Fire | District: | Citywide |
| Staff Recommendations: | Approve | | |

| | | | |
|---------|---------|----------------|-------------------|
| Consent | Regular | Public Hearing | Report/Discussion |
|---------|---------|----------------|-------------------|

Agenda Wording:

Consideration and action regarding changes to the Surprise Municipal Code, Chapter 18, Article I establishing City Manager Authority regarding the provision of emergency services within the City and in the surrounding communities; and authorizing council to adopt by resolution appropriate fees for the provision of emergency services.

Motion:

I move to approve Ordinance 2015-01.

Background:

This item is being brought forward for council consideration and action as part of the ongoing effort to update our City Code. In addition to clearly establishing the City Manager's authority to assure that emergency services are provided to our residents, this code change sets the stage for our city to not only provide Ambulance services should our pending application for a Certificate of Necessity be approved, but to authorize the City to recoup the costs of services provided to non-residents. A resolution would need to be adopted by Council prior to any fees being assessed.

Financial Impact Statement:

None at this time; however, topics covered in this council meeting could lead to future actions which may have a fiscal impact on city operations.

ATTACHMENTS:

Click to download

☐ [Ordinance 2015-01](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):

Fire Chief Tom Abbott

ORDINANCE 2015-01

AN ORDINANCE OF THE MAYOR AND COUNCIL OF THE CITY OF SURPRISE, ARIZONA AMENDING CHAPTER 18, ARTICLE I ESTABLISHING CITY MANAGER AUTHORITY RELATIVE TO EMERGENCY SERVICES; AUTHORIZING THE ADOPTION OF FEES FOR FIRE AND MEDICAL SERVICES.

WHEREAS, the City desires to provide the highest quality emergency services possible;

WHEREAS, state law authorizes the City to assist neighboring communities in which fire and medical services are unavailable, and to be reimbursed for the costs of providing such services; and

WHEREAS, the Mayor and Council desire to make clear the powers and duties of the City Manager with regard to providing emergency response services to its residents, and surrounding communities.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Surprise, Arizona, as follows:

Section 1. Surprise City Code, Chapter 18, Article I is hereby amended to read:

ARTICLE I. IN GENERAL

18-1. Emergency Services.

- (a) The city will provide emergency response, fire, and police services within the corporate limits of the City of Surprise including but not limited to communication and coordination with the public fire prevention and suppression, hazardous material exposure and mitigation, emergency medical response, search and rescue response, public safety education, crime prevention and response, patrol, criminal investigation and investigation management, tactical response, and other measures to preserve peace, order, and safety throughout the community.
- (b) The city manager is authorized to enter into agreements or contracts to provide emergency response services, inside or outside the city, and, with council approval, to enter into mutual aid and automatic aid agreements as the City Manager deems appropriate, consistent with state law.
- (c) The city manager is responsible to assure:
 - 1. Proper planning, development, and implementation of programs designed to protect the life and property;
 - 2. Preparation of an emergency response plan for the City;

3. Appropriate record keeping for emergency services operations such as incident response, inspections, and equipment maintenance.

18-2. Extra jurisdictional provision of services; Fees.

- (a) The city may, by resolution, adopt one or more fees related to the provision of emergency services outside the corporate limits of the city, if those services are otherwise unavailable, or are provided at the request of any law enforcement agency, fire district, fire department, other entity, or private person. The person or entity receiving emergency services, or on whose behalf the services are provided, is liable to the city for the costs, and these costs constitute a debt of that person and may be collected by the city.
- (b) Any fee or fees related to ambulance services provided by the City must comply with rates approved by the Arizona Department of Health Services. "Ambulance services", for purpose of this section includes, but not be limited to, Advanced Life Support (ALS), Basic Life Support (BLS), treatment supplies (which includes pharmacological supplies), and ground mileage.

PASSED AND ADOPTED this ____ day of _____, 2015.

Sharon R. Wolcott, Mayor

Attest:

Approved as to form:

Sherry Aguilar, City Clerk

Misty Leslie, City Attorney



CITY OF SURPRISE
Regular City Council Meeting

January 20, 2015 @ 6:00:00 PM

[Back](#) [Print](#)

| | | | |
|------------------------|------------------|-----------------|---|
| Council Meeting Date: | January 20, 2015 | Contact Person: | Terry Lowe, Director Water Resource Management Department |
| Submitting Department: | Water Resource | District: | Citywide |
| Staff Recommendations: | No Action | | |

| | | | |
|---------|---------|----------------|-------------------|
| Consent | Regular | Public Hearing | Report/Discussion |
|---------|---------|----------------|-------------------|

Agenda Wording:

Presentation and discussion on the Central Arizona Water Conservation District (CAWCD) 4-Cent Property Tax, its possible extension, and the implications if the tax is not extended.

Motion:

N/A

Background:

The Central Arizona Water Conservation District (CAWCD) is the taxing authority for the Central Arizona Project (CAP). In the 1990's an ad valorem tax of 4-cents was enacted to support the payment to the federal government for CAP's construction, operation, maintenance, and replacement expenses due to the fact that Arizona was not utilizing all of the water it was allocated. This tax is due to expire on January 2, 2017. The CAWCD is seeking legislation to extend this 4-cent tax. Expiration of this tax in 2017 will have a significant financial impact on those who purchase CAP water.

Financial Impact Statement:

There is no financial impact to the city.

ATTACHMENTS:

Click to download

☐ [CAWCD's 4-Cent Property Tax](#)

External Attachment Links:

Meeting Requirements:

| | | | | | |
|------------|---|-------|-------------|-------|---|
| Powerpoint | x | Video | White Board | Other | x |
|------------|---|-------|-------------|-------|---|

Presentation Speaker Names (spelling and titles for TV captions):

Terry Lowe, Director Water Resource Management Department

CAWCD's 4-Cent Property Tax Extension of Levy Authority

Authorized by the Arizona State Legislature in the 1990s, the 4-Cent Tax is an ad valorem property tax levied by the three-county special taxing district, Central Arizona Water Conservation District (CAWCD). The CAWCD is governed by a 15-member elected Board of Directors that manages and operates the 336-mile Central Arizona Project (CAP) canal. CAP is Arizona's single, largest water supplier, providing more than 1.5 million acre-feet (nearly 500 billion gallons) of Colorado River water to Maricopa, Pima and Pinal counties each year.

Quick Facts on the 4-Cent Tax

- Cannot exceed 4 cents per \$100 of a property's total value and must be levied at a single rate across the three-county CAP service area.
- Equates to \$8 per year for a homeowner with a \$200,000 house.
- Generates approximately \$18-19 million per year.
- Represents approximately 6-7% of CAWCD's overall annual revenues.
- Expires on January 2, 2017. The CAWCD Board has voted to seek legislation to extend the 4-Cent taxing authority.

Four-Cent Tax Authority (A.R.S. § 48-3715.03)

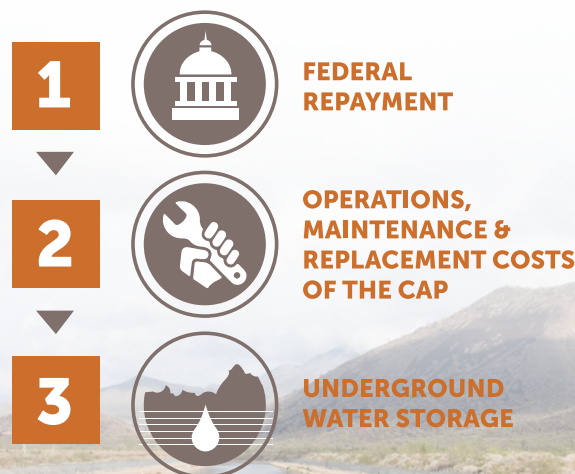
"[The CAWCD] ...shall annually determine by resolution whether all or any part of the tax levied... be applied to the repayment of the construction costs of the central Arizona project... or to the annual operation, maintenance and replacement costs of the central Arizona project. Any taxes ...that are not deposited into the district [CAWCD] fund...shall be deposited...in the Arizona water banking fund..."

Arizona law specifies a tiered system for the use of 4-Cent Tax revenues. Primarily, the tax may be used by the CAWCD to repay the federal government for its share of construction costs of the canal, and those payments average \$55 million annually. CAWCD may also use the proceeds for CAP purposes with regard to Operation, Maintenance, and Replacement (OM&R) expenses of the canal. Finally, the funds can be used to store water underground in conjunction with the Arizona Water Banking Authority (AWBA) and as authorized by the CAWCD by annual resolution.

Each year, the 15-member CAWCD Board must first determine whether there is a need to levy the tax, and for what purpose. If the tax is to be levied, the Board establishes the allocation and distribution of funds through an open process, public meeting. A Board resolution adopted in this manner specifies how the 4-Cent Tax will be used.

HOW THE 4¢ TAX IS USED

Arizona law specifies a **1-2-3 tiered system** for expenditures.



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FOR DROUGHT PROTECTION

Continued Relevance and Need

The tax has provided CAWCD with a source of revenue to address the unanticipated costs of operating the CAP canal and created nearly 2 million acre-feet of stored water for times of shortage. These purposes are still relevant today and will be even more important in the future. In addition, the current statutory authority of the 4-Cent Tax provides the CAWCD the flexibility it needs to address future challenges.

The CAWCD faces several challenges to ensure future reliability of the canal and the Colorado River system. Some of these include:

- Colorado River drought and anticipated shortage of water supply;
- Aging infrastructure of the canal system, which is now more than 30 years old; and
- Renegotiation of key contracts and ongoing regulatory actions affecting the CAP's primary power supply, the Navajo Generating Station.

If the 4-Cent Tax expires, the only place CAWCD can absorb significant and unexpected new costs is in water rates and capital charges to its municipal, agricultural, and Tribal customers. In addition, all proactive water storage efforts funded by this tax for future Arizona needs will end.

The 4-Cent Tax today, as in 1990, benefits Arizona, and it provides the CAWCD the financial flexibility to address current and future costs, thereby helping to ensure vital and reliable water supplies today and into the future.

For more information, please contact Bridget Schwartz-Manock, CAP's Legislative Affairs Manager, at 623-869-2150 or bschwartzmanock@cap-az.com.



Timeline of the Four-Cent Tax Authority

1990 – To address the State's underutilization of its 2.8 million acre-foot allocation of Colorado River, the Arizona Legislature authorizes CAWCD to collect a property tax in Maricopa and Pima counties to fund the construction of water recharge facilities for five years (Laws 1990, Chapter 385). Water storage is a way to bring otherwise unused CAP water into central Arizona for future use. The CAWCD successfully constructed six water recharge facilities.

1994 – The Legislature modifies the purpose of the tax for OM&R expenses of the CAP and for federal repayment, expands the taxing authority to include Pinal County, and extends the tax until 2001. The CAWCD Board is required to annually determine whether the tax will be levied and how proceeds are utilized (Laws 1994, Chapter 278).

1996 – The Legislature creates the Arizona Water Banking Authority (AWBA), authorizes AWBA's use of 4-Cent Tax proceeds pursuant to CAWCD resolution, and extends the tax until January 1, 2017 (Laws 1996, Chapter 308). More than \$150 million of tax proceeds have been shared with the AWBA to store water underground for municipal and industrial purposes in times of shortage.

"Bathtub rings" in Lake Mead demonstrate the drastic impact drought and Colorado River structural deficit have had on the reservoir's water elevation.