



CITY OF SURPRISE
Planning and Zoning Commission Agenda
16000 N. Civic Center Plaza
Surprise, AZ 85374

Thursday, January 8, 2015 @ 6:00 PM
 Amended agenda on 1/5/15 at 8:55 AM

+ [Back](#) [Print](#)

CALL TO ORDER.

- A. Roll Call
- B. Pledge of Allegiance
- C. Current Events and Reports – Pursuant to A.R.S. §38-431.02(k) the chief administrator, presiding officer or a member of a public body may present a brief summary of current events without listing in the agenda the specific matters to be summarized, provided that 1) The summary is listed on the agenda; and 2) The public body does not propose, discuss, deliberate or take legal action at that meeting on any matter in the summary unless the specific matter is properly noticed for legal action.
- D. Staff Reports

Planning and Zoning Commission Agenda:

CALL TO THE PUBLIC:

INSTRUCTIONS: In order to address the Board\Commission, you will need to fill out a Call to the Public Form available at the front counter, and then turn it in to the Secretary before the meeting begins.

Note: A.R.S. 38-431.01(H) - During this time members of the public may address the Board\Commission on any item not on the agenda. At the conclusion of the open call, the Board\Commission may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

- E. Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Board\Commission. There will be no separate discussion on these items unless a board member or commissioner requests, in which event the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

CONSENT AGENDA:

REGULAR AGENDA ITEM - NON-PUBLIC HEARING:

ITEM #	DISTRICT #	ITEM DESCRIPTION	STAFF RECOMMENDATION/ PRESENTED BY
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- | | | | |
|----|-------------------|---|--|
| #1 | District Internal | <u>Consideration and action on the December 4, 2014 Planning and Zoning Commission minutes.</u> | Approve
Heather Donaldson,
Community Development |
| #2 | District Internal | <u>Consideration and action on the 2015 Planning and Zoning Commission Work Program Calendar.</u> | Approve
Eric Fitzer,
Community Development |
| #3 | District 1 | <u>Consideration and action on a site plan for The Pottery Place Warehouse generally located on the northwest corner of Norwich Drive and the Grand Avenue Frontage Road.</u> | Approve
Hobart Wingard,
Community Development |
| #4 | District Citywide | <u>Presentation and discussion regarding a proposed Zoning Text Amendment pertaining to Assisted Living Facilities.</u> | No Action
Rob Kuhfuss,
Community Development |

REGULAR AGENDA ITEM - PUBLIC HEARING:

			STAFF RECOMMENDATION/
ITEM #	DISTRICT #	ITEM DESCRIPTION	PRESENTED BY
#5	District 2	<u>Consideration and action on a renewal of a Conditional Use Permit for an ATT Wireless Communications Facility located at 19783 North Remington Drive at the Sun City Grand Desert Springs Golf Club.</u>	Approve Hobart Wingard, Community Development

OTHER BUSINESS:

- | | | | |
|----|-------------------|--|--|
| #6 | District Internal | <u>Discussion for future agenda items.</u> | No Action
Eric Fitzer,
Community Development |
|----|-------------------|--|--|

ADJOURNMENT:

SHERRY ANN AGUILAR, CITY CLERK, CMC

POSTED: December 30, 2014 at 3:00 PM

SPECIAL NOTE: PERSONS WITH SPECIAL ACCESSIBILITY NEEDS, INCLUDING LARGE PRINT MATERIALS OR INTERPRETER, SHOULD CONTACT THE CITY CLERK'S OFFICE @ 623.222.1200 OR TTY 623.222.1002, BY NO LATER THAN 24 HOURS IN ADVANCE OF THE REGULAR SCHEDULED MEETING TIME.



CITY OF SURPRISE
Planning and Zoning Commission

January 8, 2015 @ 6:00:00 PM

+ Back Print

Board Meeting Date: January 8, 2015

Contact Person: Heather Donaldson, Community Development

Submitting Department:

District: Internal

Staff Recommendations: Approve

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on the December 4, 2014 Planning and Zoning Commission minutes.

Motion:

I move to approve the December 4, 2014 Planning and Zoning Commission minutes.

Background:

Financial Impact Statement:

No Financial Impact

ATTACHMENTS:

Click to download

☐ [12-4-14 PZ Commission Meeting Minutes](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	White Board	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

CITY OF SURPRISE

PLANNING AND ZONING COMMISSION 16000 North Civic Center Plaza Surprise, AZ 85374

December 4, 2014

MEETING MINUTES

CALL TO ORDER

Chair Steve Somers called the Planning and Zoning Commission Meeting to order at 6 p.m. at Surprise City Hall, 16000 North Civic Center Plaza, Surprise, Arizona 85374, on Thursday, December 4, 2014.

ROLL CALL

In attendance with Chair Somers were Vice Chair Ken Chapman and Commissioners Dennis Smith, Peter Pervi, Matthew Bieniek and Jerry Hoyler.

PLEDGE OF ALLEGIANCE

CURRENT EVENTS REPORT

STAFF REPORT

Community Development Director Eric Fitzer advised the Commission that January's meeting will take place on January 8, 2015 due to the New Year's holiday.

CALL TO THE PUBLIC

Chair Somers called to the public to discuss any issues not noted on the agenda. Hearing no comments, Chair Somers closed the call to the public.

CONSENT AGENDA

All items listed with an asterisk (*) are considered to be routine by the Planning and Zoning Commission and were approved by one motion. There was no separate discussion of these items during this meeting.

REGULAR AGENDA ITEMS NOT REQUIRING A PUBLIC HEARING

- **Item 1: Consideration and Action – Planning and Zoning Commission Minutes for November 20, 2014.**

Commissioner Smith made a motion to approve the **Planning and Zoning Commission Minutes for November 20, 2014**. Vice Chair Chapman seconded the motion. The motion passed with 4 yes votes, 2 abstain (Bieniek, Hoyler) and 1 vacancy.

- **Item 2: Presentation and discussion on the development of a Heritage Overlay District for the Original Town Site.**

Planner Jackie Keller gave the presentation to the Commission.

The Commission had some discussion regarding

- Revitalization of area similar to Glendale, Phoenix, Scottsdale and Gilbert
 - Federal funding received from HUD, etc. (funding mechanisms)
 - Overlay zoning – Opt in zoning
-
- **Item 3: Consideration and Action – Site Plan for Legacy Traditional Charter School at Marley Park.**

Planner Robert Kuhfuss presented the project to the Commission. Staff recommended approval of **a major site plan for Legacy Charter School at Marley Park.**

The Commission had some discussion regarding

- Projected vehicle loads for surrounding roadways leading to school
- Marley Park community outreach for school
- School reader board
- Road alignments
- Emergency exits

Commissioner Pervi made a motion to approve a site plan for **Legacy Traditional Charter School at Marley Park** and to adopt staff's findings as listed in the staff report. Commissioner Bieniek seconded the motion. The motion passed with 6 yes votes, and 1 vacancy.

OTHER BUSINESS

- **Item 4: Presentation and Discussion – Current transportation projects within the city.**

Transportation Planning Manager, Martin Lucero, gave the presentation.

- **Item 5: Future Agenda Items**

None

ADJOURNMENT

Hearing no further business, Chair Somers adjourned the Planning and Zoning Commission meeting at 6:59 p.m.

STAFF PRESENT:

Community Development Director Eric Fitzer, Deputy City Attorney Donna Bronski, Long Range Planning Manager Lloyd Abrams, Transportation Planning Manager Martin Lucero, Planner Robert Kuhfuss, Planner Jackie Keller, Project Coordinator Deb Perry and Planning and Zoning Commission Secretary Heather Donaldson.

COUNCIL MEMBERS PRESENT:

None

Eric Fitzer
Community Development Director

Steve Somers, Chair
Planning and Zoning Commission

The foregoing instrument is a full, true and correct copy of the original document on file in the office of the City Clerk, City of Surprise, Arizona.

ATTEST BY: _____
Heather Donaldson, Commission Secretary

DATE: _____



CITY OF SURPRISE
Planning and Zoning Commission

January 8, 2015 @ 6:00:00 PM

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Board Meeting Date:	January 8, 2015	Contact Person:	Eric Fitzer, Community Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on the 2015 Planning and Zoning Commission Work Program Calendar.

Motion:

I move to approve the 2015 Planning and Zoning Commission Work Program Calendar.

Background:

Financial Impact Statement:

No financial impact

ATTACHMENTS:

Click to download

☐ [2015 Work Plan / Calendar - P&Z Commission](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	White Board	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

Eric Fitzer, Director



COMMUNITY DEVELOPMENT

Date: January 8, 2014
To: Planning and Zoning Commission
From: Eric Fitzer, Director
Re: Work Plan/Calendar

Summary

The Mayor and City Council have asked all its Boards and Commissions to adopt work Plans to help guide their workload for 2015. Staff has prepared for consideration a recommended work plan that includes various long range planning updates, Zoning Ordinance Adoption (AKA Surprise Unified Development Code), and anticipated workshops.

Commission Progress

The Planning and Zoning Commission met 10 times in 2014 and acted upon nineteen (26) applications, which include:

- Conditional Use Permits – 6
- Site Plans – 11
- Preliminary Plats – 2
- Rezone – 1
- PAD Zoning Amendments – 2
- General Plan Amendment - 1
- Access Management Plan - 1
- CDBG – 2
- Workshops on White Tank Park, CDBG, Form Based Code, Transportation, and Access Management.

Recommended Work Plan for 2015

Outlined below is the recommended work plan/calendar for the year 2015:

Month	Task
January 2015	• Residential Setting Care Facilities Text Amendment • I2 Height Limit Text Amendment
February 2015	• Donation Bins Text Amendment • Heritage District Zoning Overlay • Annual Action Plan Public Hearing

	• Consolidated Plan Public Hearing
March 2015	• Annual Action Plan Public Hearing/Recommendations • Consolidated Plan Public Hearing/Recommendations
April 2015	• Transportation Planning Update • General Plan Land Use Update
May 2015	• Specific Plan OTS • Village 1 Update
June 2015	• SUDC Work Session
July 2015	• Major General Plan Work Session
August 2015	• Transportation Planning Update • CAPER Public Hearing
September 2015	• SNAP Awards • SUDC Work Session
October 2015	• Major General Plan Discussion • SUDC Recommendation
November 2015	• General Plan Summit • Chair and Vice Chair Nominations • Major General Plan Amendment Public Hearing (Off-Site) • Major General Plan Recommendation
December 2015	• Work Plan 2016 • Transportation Planning Update

This work plan doesn't include development applications, therefore a portion of the Planning & Zoning Commission's workload will always be predicated upon the volume of development applications submitted to the city.

Fiscal Impact Statement

There are no costs associated with the proposed agenda.

Recommendation

Staff recommends that the Planning and Zoning Commission review and approve the proposed work plan.



CITY OF SURPRISE
Planning and Zoning Commission

January 8, 2015 @ 6:00:00 PM

+ Back Print

Board Meeting Date: January 8, 2015

Contact Person: Hobart Wingard, Community Development

Submitting Department:

District: 1

Staff Recommendations: Approve

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on a site plan for The Pottery Place Warehouse generally located on the northwest corner of Norwich Drive and the Grand Avenue Frontage Road.

Motion:

I move to approve a site plan for The Pottery Place Warehouse retail facility and to adopt staffs findings and condition a.

Background:

The applicant is requesting Site Plan approval for a proposed retail sales project known as The Pottery Place Warehouse.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

ATTACHMENTS:

Click to download

- ☐ [STAFF REPORT](#)
 - ☐ [LOCATION MAP](#)
 - ☐ [LANDSCAPE](#)
 - ☐ [POWERPOINT](#)
 - ☐ [ELEVATIONS](#)
 - ☐ [PZ ACTION AGENDA](#)
 - ☐ [SITE PLAN](#)
-

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):

Hobart Wingard, Planner II

Eric Fitzer, Director



COMMUNITY DEVELOPMENT

Date: January 8, 2015

To: Planning and Zoning Commission

From: Eric Fitzer, Director
Lloyd Abrams, Long Range Planning Manager
Hobart Wingard, Planner
hobart.wingard@surpriseaz.gov 623-222-3156

Re: FS14-347 – The Pottery Place Warehouse Site Plan

Application Summary

The applicant is requesting Site Plan approval for a proposed retail sales project known as The Pottery Place Warehouse.

Location

The approximate two (2) acre subject project is generally located on the northwestern corner of Norwich Drive and the Grand Avenue Frontage Road.

History

- The subject parcel was annexed into the City of Surprise on May 23, 1987.
- On January 9, 2003, the Mayor and City Council approved a rezone from Single Family Residential (R1-43) to Community Commercial (C-2).

Project Summary

The proposed Pottery Place Warehouse applicant is seeking a Site Plan approval to accommodate an indoor/outdoor retail sales facility. An associated final plat, which will be considered by the Mayor and City Council, will combine three (3) parcels into a single two (2) acre commercial property.

The Pottery Place Warehouse has provided indoor and outdoor retail sales in the city since 1988. Currently, the existing facility is located about ¼ mile northwest on the Grand Avenue Frontage Road. The proposed project will allow the retail activities to expand their use and create a facility that meets current code requirements. Additionally, the existing site is located in a floodplain and has a history of stormwater inundation, while the proposed site is completely removed from any flood plain issues.

The architecture of the proposed sales facility is a Santa Fe style that is consistent with the rural character of the surrounding residential community. A wrap around porch with stone and

stucco columns will yield a comfortable and regionally significant shopping experience. Landscaping will be a variety of desert tolerant plant materials that will further enhance the rural nature of the area.

Vehicular access is provided by accessing the Grand Avenue Frontage road from Norwich Drive to the east. Adequate parking will be provided interior to the site preventing on street parking that is present at the existing facility. Loading and trash removal will occur from an alley that serves the Martin Acres subdivision.

The proprietors of the Pottery Place Warehouse plan to have operating hours from 8:30 am to 5:00 pm seven (7) days a week. The shop will provide a wide selection of pottery and decorative accessories that are reflective of the southwest region.

Findings of Fact

1. Staff finds that the proposed Final Plat complies with the Surprise General Plan.
2. Staff finds that the proposed Final Plat complies with the Surprise Municipal Code.

Recommendation

Staff recommends approval of FS14-347, a Site Plan for The Pottery Place Warehouse retail facility, subject to the following conditions:

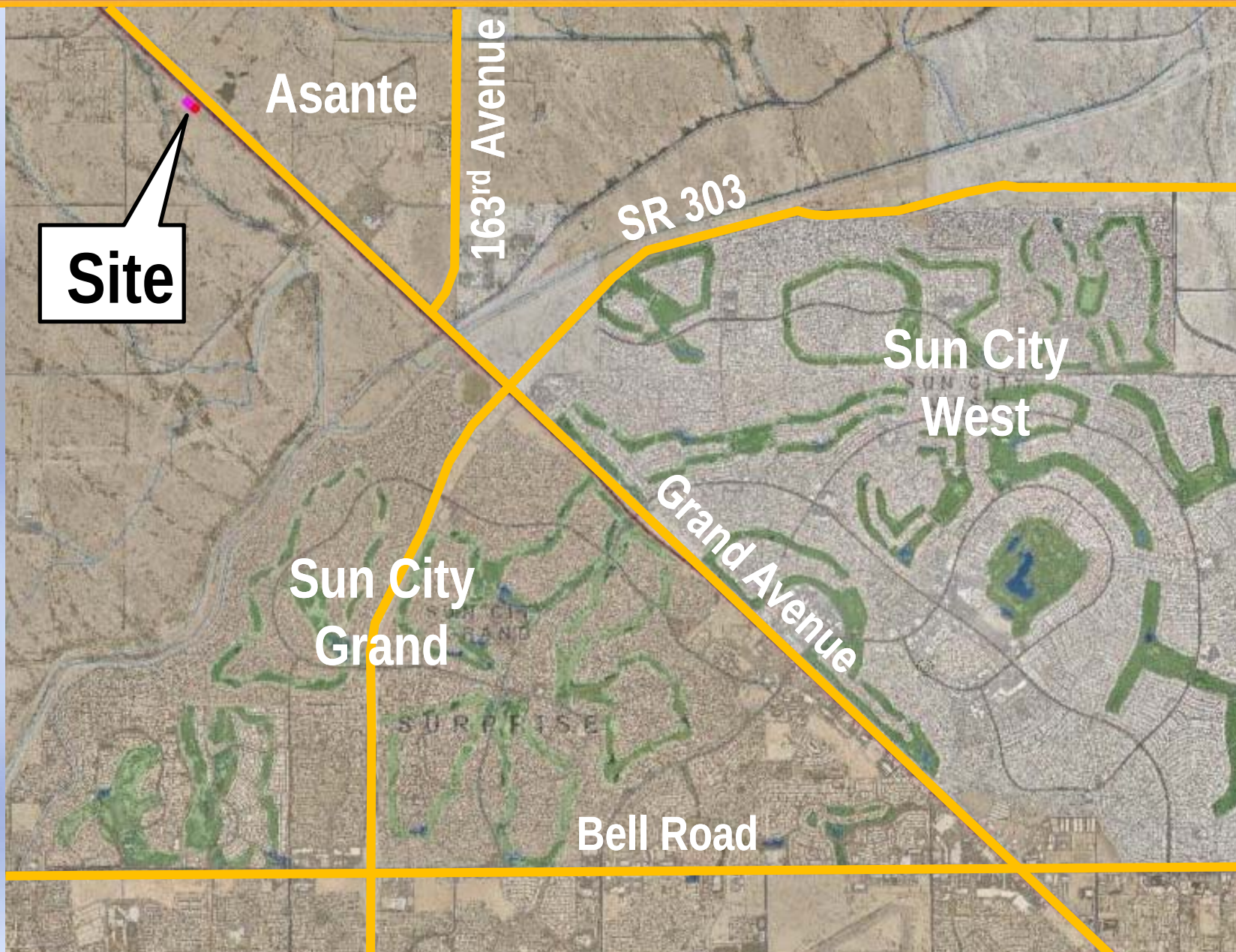
- a. The site plan prepared by Stroh Architecture, Inc. dated September 11, 2014 will be revised and submitted for review to include the following modifications:
 1. The frontage road will be labeled "GRAND AVENUE FRONTAGE ROAD."
 2. All doors will be shown on the site plan consistent with the elevations.
 3. Remove clouds and deltas as these are to be used on approved plans only.
 4. Enlarge font for the curve data, and the bearing and distance to the west of the curve, (at the northeast corner of the site) to match other font.
- b. The Landscape Plan prepared by Biltform Landscape Architecture, dated September 3, 2014 will be revised and submitted for review to include the following modifications:
 1. Additional trees will be provided along the southwest and southeast edges of the property.
 2. An additional tree will be provided in the northwest corner of the parking lot.
 3. Additional trees will be provided along the northwestern edge of the parcel at a rate of one (1) tree every 25 feet.
 4. Clusters of desert shrubs will be provided throughout the display area.
 5. Native shrubbery will be provided along portions of the northeast and northwest edges of the building.
- c. The elevations prepared by Stroh Architecture, Inc. dated September 11, 2014 will be revised and submitted for review to include the following modifications:
 1. The roofing tile will be provided on all sides of the structure.

2. The block wall on the rendered version of the elevations will be painted to complement the color of the architecture.
 3. The black and white version of Sheet A3.1 will be altered to match the open southeast and northwest of the rendered elevation, Sheet A3.1.
 4. Elevations of the parking screen walls will be provided.
 5. Elevations of the wrought Iron fence will be provided.
- d. The approval of this site plan is deemed denied unless the associated final plat is approved by the Mayor and City Council.

Attachments

Vicinity Maps, Site Plan, Elevations, and Landscape Plan

VICINITY MAP – FS14-347

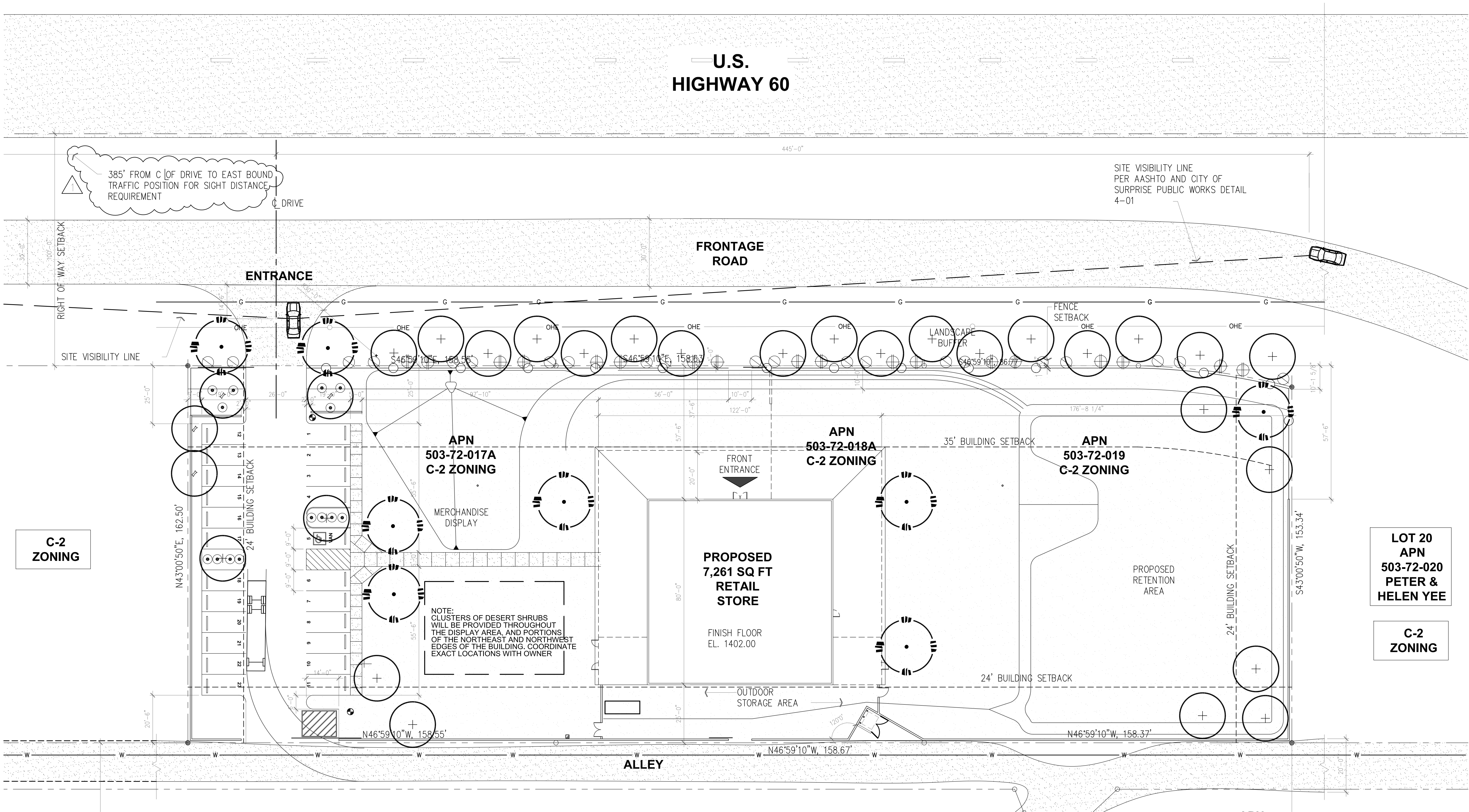


VICINITY MAP – FS14-347



VICINITY MAP – FS14-347





PLANT LEGEND

TREES	SIZE	QTY
<i>Dalbergia Sissoo</i> Sissoo Tree	24" Box Double Stake	4
<i>Prosopis hybrid</i> "Phoenix" Thornless Mesquite	24" Box Standard	26
<i>Parkinsonia hybrid</i> "Desert Museum"	24" Box Multi-Trunk	8

NOTE: ALL TREES WITHIN 10 FEET OF PAVEMENT, CURBING OR WALLS WILL BE INSTALLED WITH A ROOT BARRIER.

SHRUBS	SIZE	QTY
<i>Caesalpinia pulcherrima</i> Red Bird of Paradise	1 Gallon	18
<i>Nerium oleander</i> Pette Pink Oleander	5 Gallon	14
<i>Tecoma stans</i> Yellow Bells	5 Gallon	22

LANDSCAPE MATERIALS	SIZE	QTY
<i>Decomposed granite</i> "Madison Gold"	1/4" Minus 1" Depth	68,300 S.F.

LANDSCAPE GENERAL NOTES

PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
ALL TREE LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY HOLES BEING DUG.

ALL GRADES TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINISHED GRADES.

THE LANDSCAPE CONTRACTOR SHALL VERIFY BERM AND RETENTION BASIN LOCATIONS SHOWN ON THESE PLANS WITH THOSE ON THE CIVIL ENGINEERING PLANS. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THIS OFFICE SHALL BE NOTIFIED IMMEDIATELY.

ALL PALMS AND DECIDUOUS TREES TO BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR AFTER INSTALLATION.

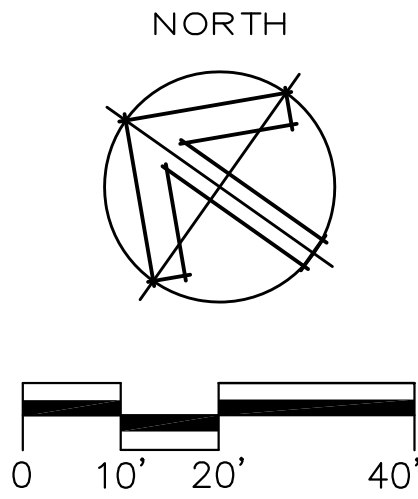
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS DURING THE FINISH GRADING PROCESS.

ALL SLOPES NOT TO EXCEED 4:1 IN LANDSCAPE AREAS.

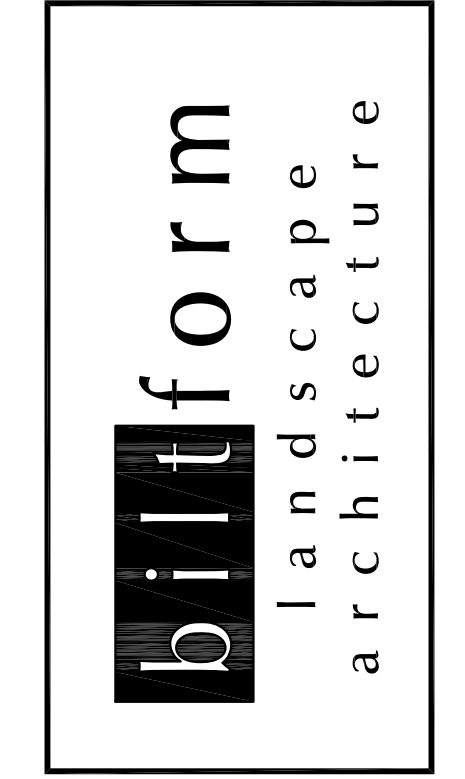
ALL VALVE BOXES (IRRIGATION, GATE VALVE, FLUSH CAP, WATER FEATURE, ETC.) ARE TO BE PLACED IN DECOMPOSED GRANITE/SHRUB AREAS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE PLACED IN A LAWN OR HARDSCAPE AREAS.

ALL TREES IN LAWN AREAS TO RECEIVE ARBOR GUARDS. UNDER NO CIRCUMSTANCES SHALL ANY TREE BE PLANTED WITHIN 6' OF ANY BUILDING WITHOUT THE EXPRESS APPROVAL OF THE LANDSCAPE ARCHITECT.

IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INFORM THE LANDSCAPE ARCHITECT/OWNER OF ANY PLANT MATERIAL CONCERNS BASED ON PLANTING SEASON (E.G. WINTER, SUMMER). SHOULD THE LANDSCAPE CONTRACTOR HAVE ANY CONCERNS ABOUT PLANT MATERIAL DUE TO HEAT/ FROST OR EXPOSURE, HE SHALL REQUEST A SUBSTITUTION OR DELAY IN PLANTING. ONCE PLANTED, ALL PLANT MATERIAL IS SUBJECT TO SPECIFIED WARRANTIES.



LANDSCAPE PLAN



biltform landscape architecture group, inc.
11460 North Cave Creek Rd. suite 6
phoenix, arizona 85020
Phone 602.285.9200 Fax 602.285.9229
email: dave@biltform.com

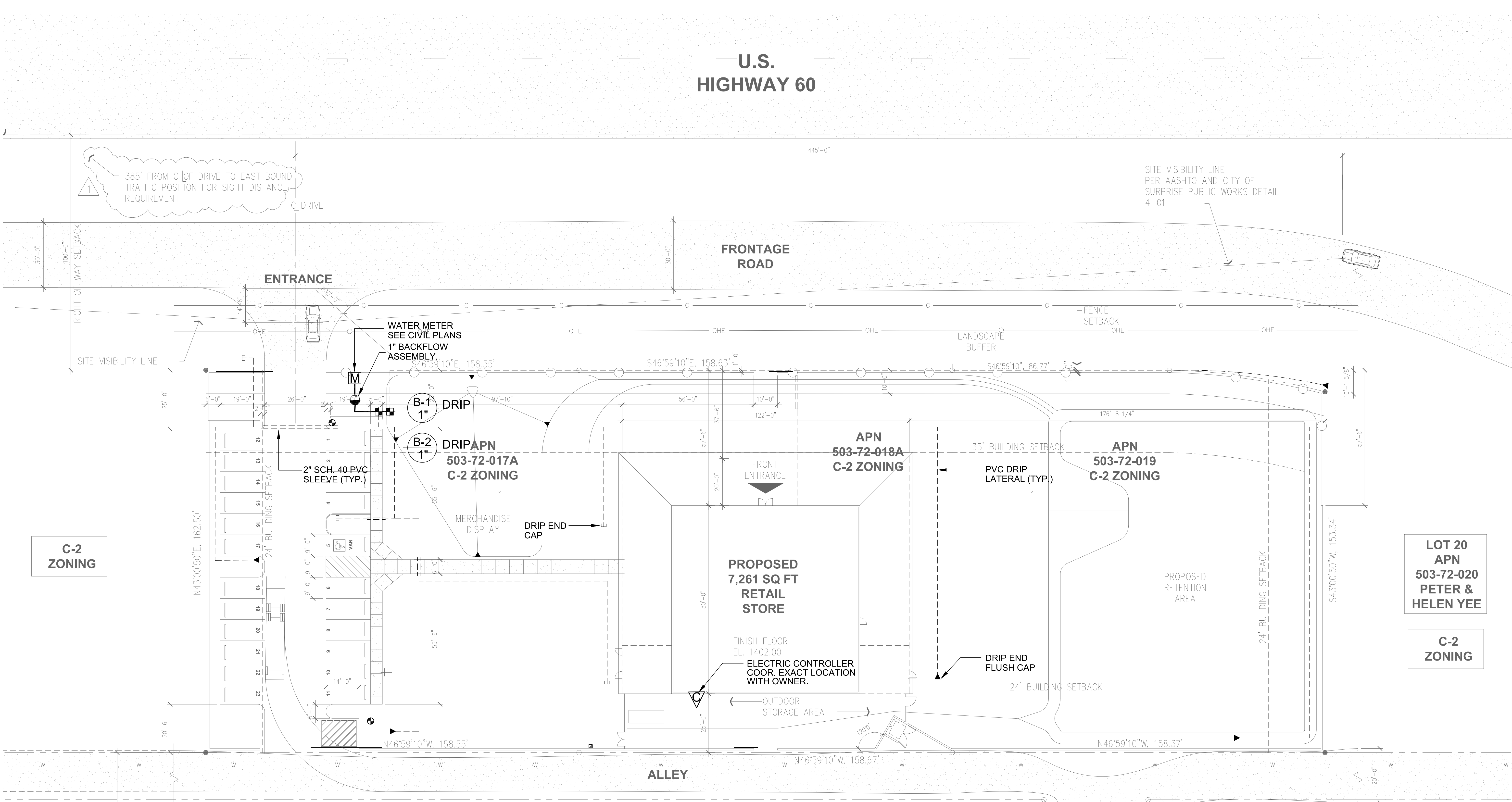


Pottery Place Warehouse
Grand Avenue West of Norwich Dr.
Surprise, Arizona

Capstone Constructors Corp.
1525 West Hatcher Road, Phoenix, AZ. 85021
PHONE: (602) 997-4492 FAX: (602) 997-4493

REVISIONS:	
△ -	City Comments 11-11-14
△ -	
△ -	
△ -	
△ -	
△ -	
△ -	
JOB NO:	14-041L
DATE:	Sept. 3, 2014
SCALE:	1" = 20'-0"
SHEET NO:	

L 1.1



IRRIGATION LEGEND

EQUIPMENT		
C.O.S.	AS PER CODE & SPECS	1" WATER METER
IRRITROL	RAINDIAL - R SERIES	6 STA. ELECTRIC CONTROLLER
FEBCO	825Y-BV	1" BACKFLOW PREVENTER
RAINBIRD	33DRC/33K	QUICK COUPLER
NIBCO	T-180	GATE VALVE

DRIP EQUIPMENT

HUNTER	ICV SERIES	ELECTRIC VALVE
SENNINGER	PR-25MF3/4F X 3/4F	PRESSURE REGULATOR
HYDRO RAIN	420-3/4 (150 MESH)	"Y" STRAINER
SPEARS	PVC 90 ST. EL. W/THREADED CAP	PVC DRIP FLUSH END CAP
SPEARS	PVC 90 ST. EL. W/ CAP	PVC DRIP END CAP
BOWSMITH	ML & SL SERIES	SINGLE & MULTI-PORT EMITTERS

PROVIDE (3) ML-220 EMITTERS PER TREE EQUALLY SPACED AND (1) SL-210 EMITTER PER SHRUB OR GROUNDCOVER OR (1) ML-210 PER 6 PLANTS WITH A MAXIMUM DISTRIBUTION LINE LENGTH OF 5'.

PIPE SCHEDULE

1/2"	0-5	G.P.M.
3/4"	6-10	G.P.M.
1"	11-15	G.P.M.
1-1/4"	16-25	G.P.M.
1-1/2"	26-35	G.P.M.
2"	36-60	G.P.M.
2-1/2"	61-80	G.P.M.
3"	81-120	G.P.M.

NOTE:
ALL IRRIGATION PIPE SHALL BE PURPLE.
(PER THE CITY OF SURPRISE ENGINEERING DEVELOPMENT STANDARDS SECTION 8.2(3))

PIPE LEGEND

----	CLASS 200 PVC (LATERALS)
----	SCH. 40 PVC (MAINLINE)
----	SCH. 40 PVC (SLEEVES)

IRRIGATION GENERAL NOTES

THE IRRIGATION PLAN IS DIAGRAMMATIC AND IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO ADJUST THE LOCATION OF ANY HEAD TO PROVIDE FULL AND ADEQUATE COVERAGE OR TO ADD ADDITIONAL HEADS AS NECESSARY TO GUARANTEE 100% COVERAGE TO ALL PLANT MATERIAL.

SPACING OF SPRINKLER HEADS IS NOT TO EXCEED THE RADIUS GIVEN IN THE IRRIGATION LEGEND.

THE IRRIGATION SYSTEM HAS BEEN DESIGNED FOR 60 PSI. THE IRRIGATION CONTRACTOR SHALL VERIFY THE WATER PRESSURE IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD A DISCREPANCY EXIST.

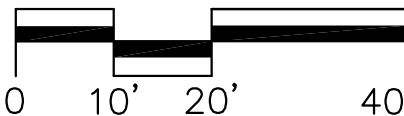
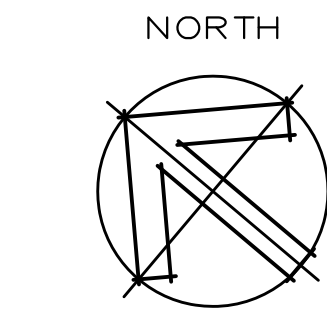
THE IRRIGATION CONTRACTOR SHALL SIZE THE PIPE ACCORDING TO THE PIPE SCHEDULE. GALLONS PER MINUTE ARE CALCULATED BY THE COMBINED SPRINKLER HEAD OUTPUT DOWNLINE FROM PIPE BEING SIZED.

IRRIGATION SLEEVES ARE TO BE SCHEDULE 40 PVC WITH A MINIMUM DIAMETER TWICE THE SIZE OF THE IRRIGATION LINE. IRRIGATION SLEEVES ARE TO EXTEND 12" BEYOND EDGE OF PAVEMENT OR CURB AND A MINIMUM OF 24" BEYOND EDGE OF SIDEWALKS.

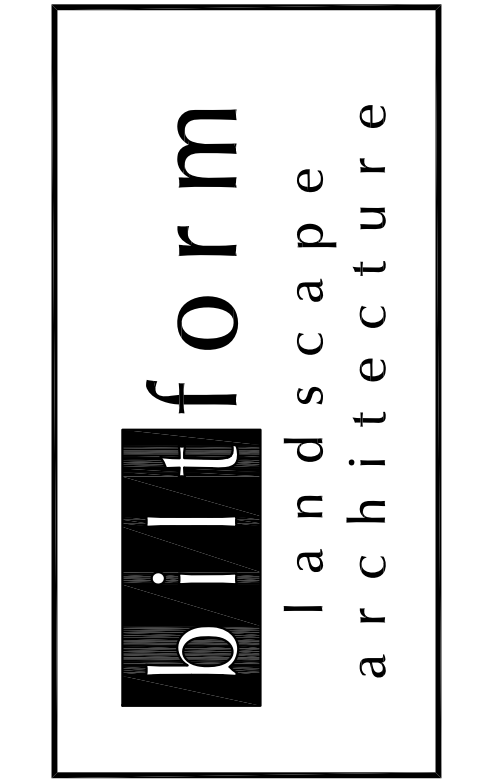
CONTROLLERS ARE TO BE PROGRAMMED SO THAT SUFFICIENT GALLONS PER MINUTE ARE MAINTAINED THROUGHOUT THE SYSTEM.

ALL VALVE BOXES (IRRIGATION, GATE VALVE, FLUSH CAP, WATER FEATURE, CONTROL WIRE, ETC.) ARE TO BE PLACED IN DECOMPOSED GRANITE/SHRUB AREAS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE PLACED IN A LAWN OR HARDSCAPE AREA.

IT IS THE IRRIGATION CONTRACTORS RESPONSIBILITY TO PROVIDE FULL AND ADEQUATE COVERAGE TO ALL LANDSCAPE MATERIAL INDICATED ON THE CORRESPONDING LANDSCAPE PLAN.



IRRIGATION PLAN



biltform landscape architecture group, inc.

11460 North Cave Creek Rd. suite 6
phoenix , arizona 85020
Phone 602.285.9200 Fax 602.285.9229
email: dave@biltform.com



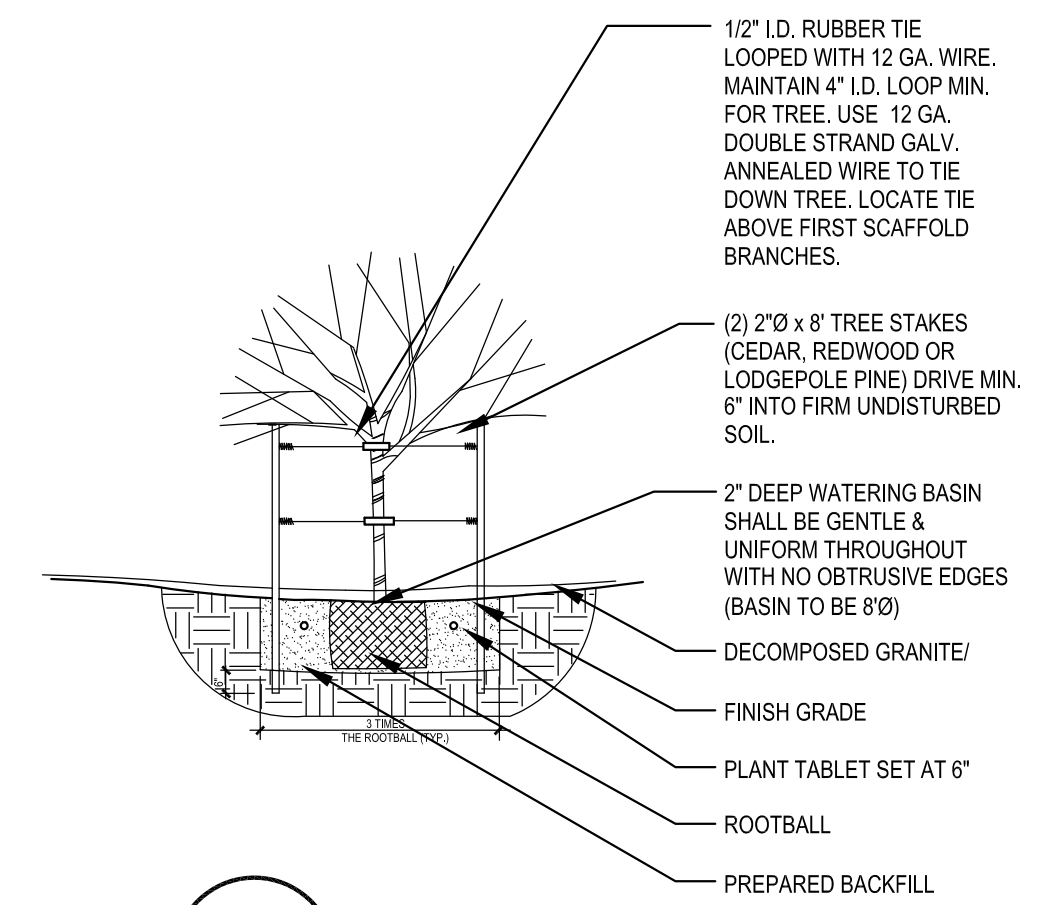
Expires: 3/31/16

Pottery Place Warehouse
Grand Avenue West of Norwich Dr.

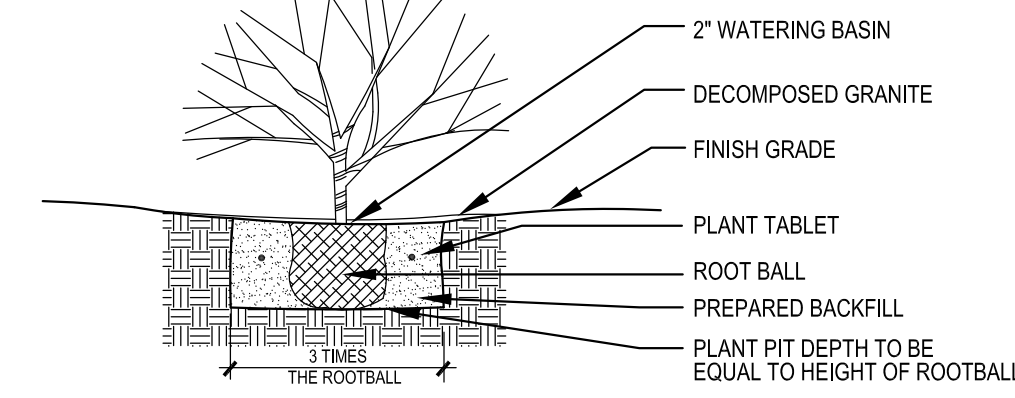
Capstone Constructors Corp.
1525 West Hatcher Road, Phoenix, AZ. 85021
PHONE: (602) 997-4492 FAX: (602) 997-4493

REVISIONS:	
-	City Comments 11-11-14
-	
-	
-	
-	
-	
JOB NO: 14-041L	
DATE: Sept. 3, 2014	
SCALE: 1" = 20'-0"	
SHEET NO:	

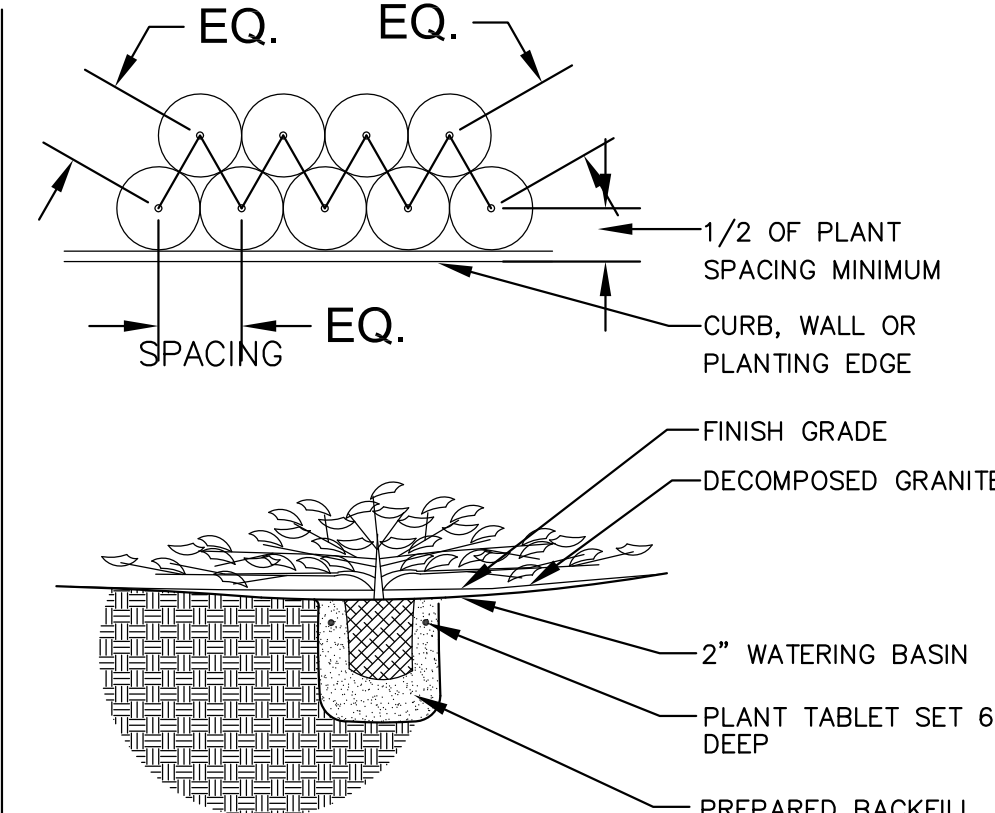
11.1



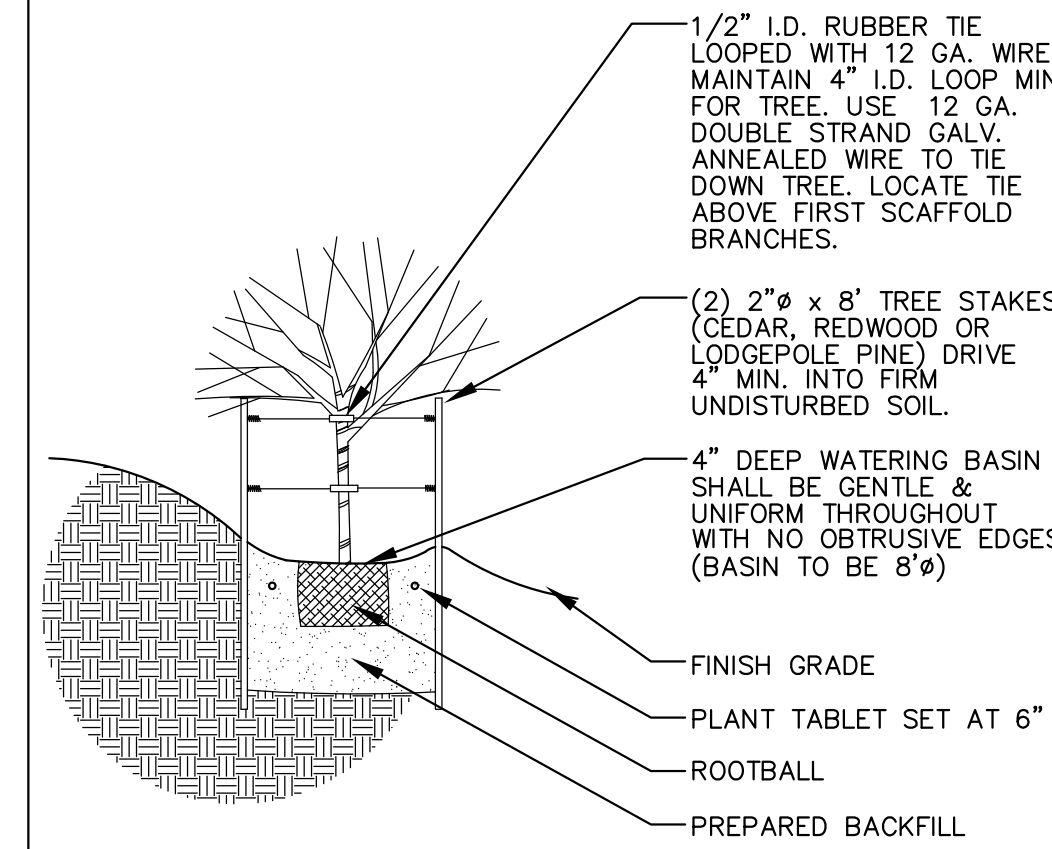
A TREE PLANTING



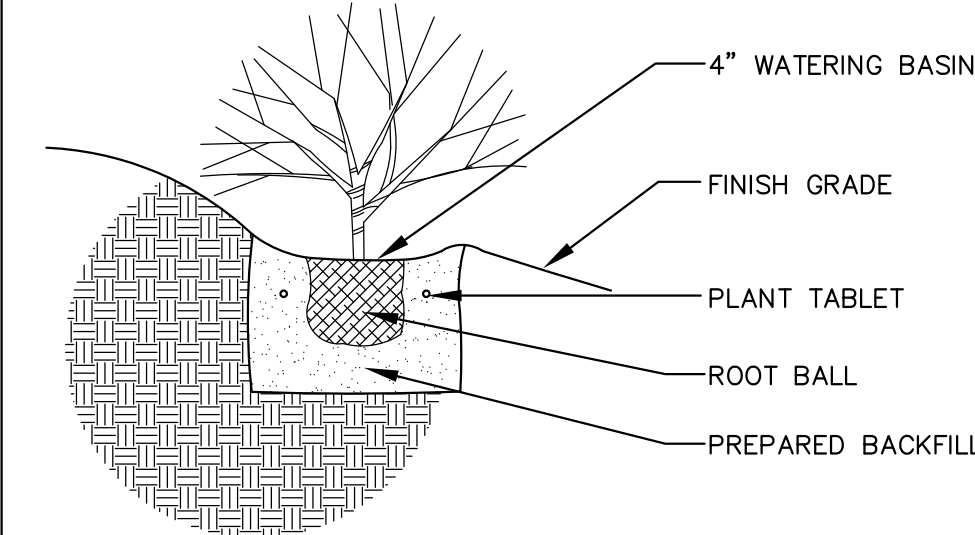
B SHRUB PLANTING



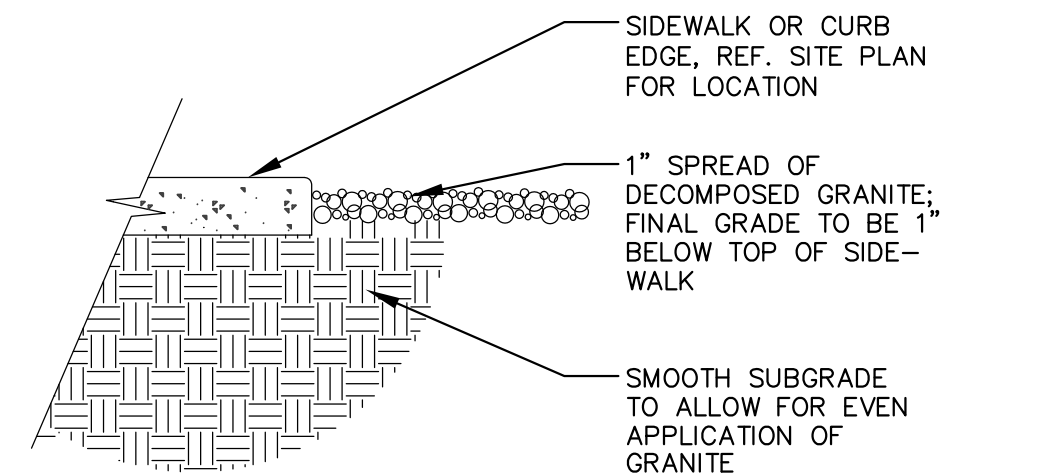
C GROUNDCOVER DETAIL



D TREE PLANTING ON SLOPE

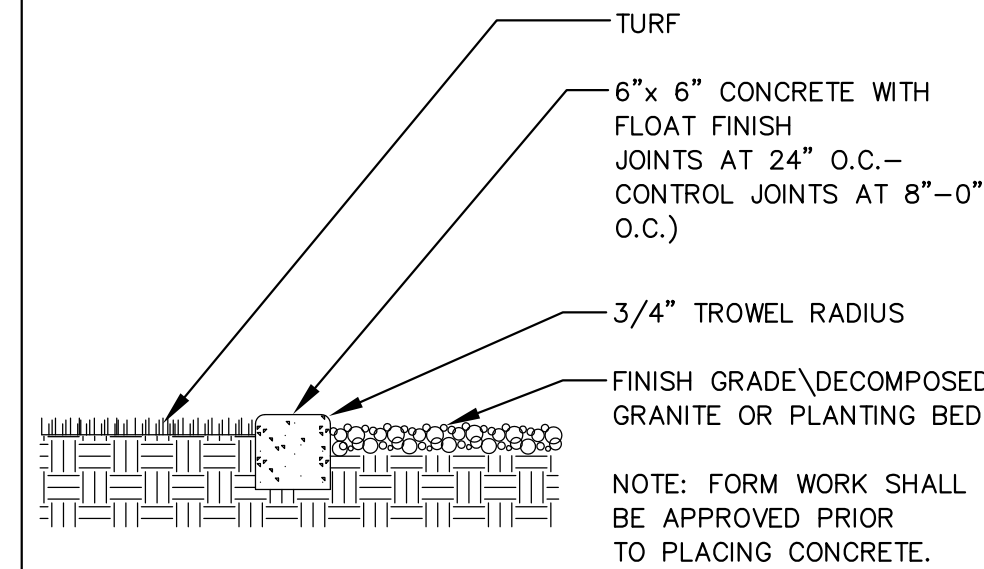


E SHRUB PLANTING ON SLOPE

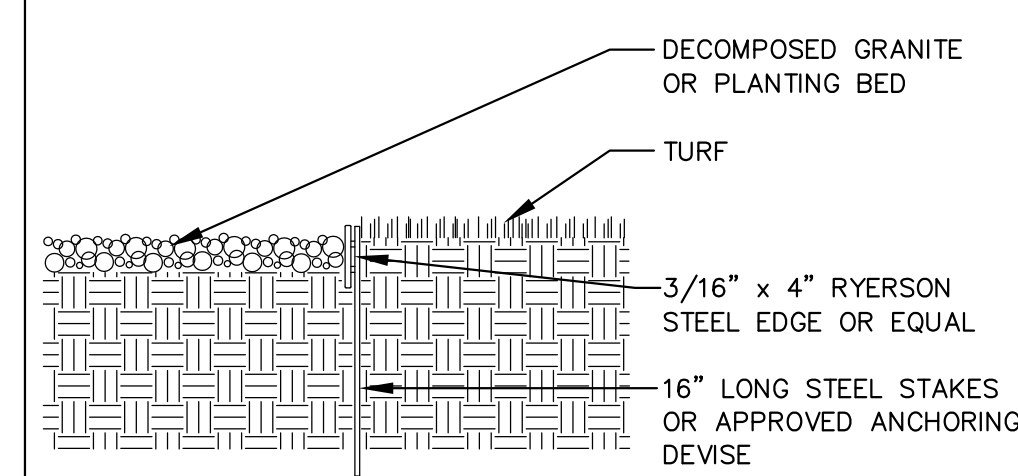


NOTE: ATTN. DECOMPOSED GRANITE PLACEMENT, A PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S PRINTED INSTRUCTIONS

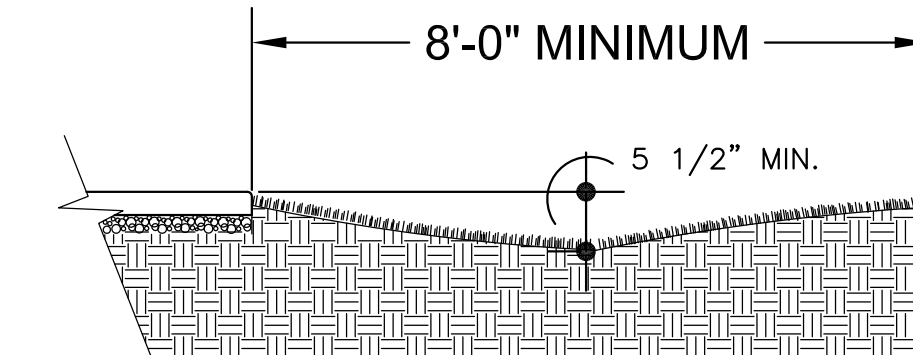
F DECOMPOSED GRANITE



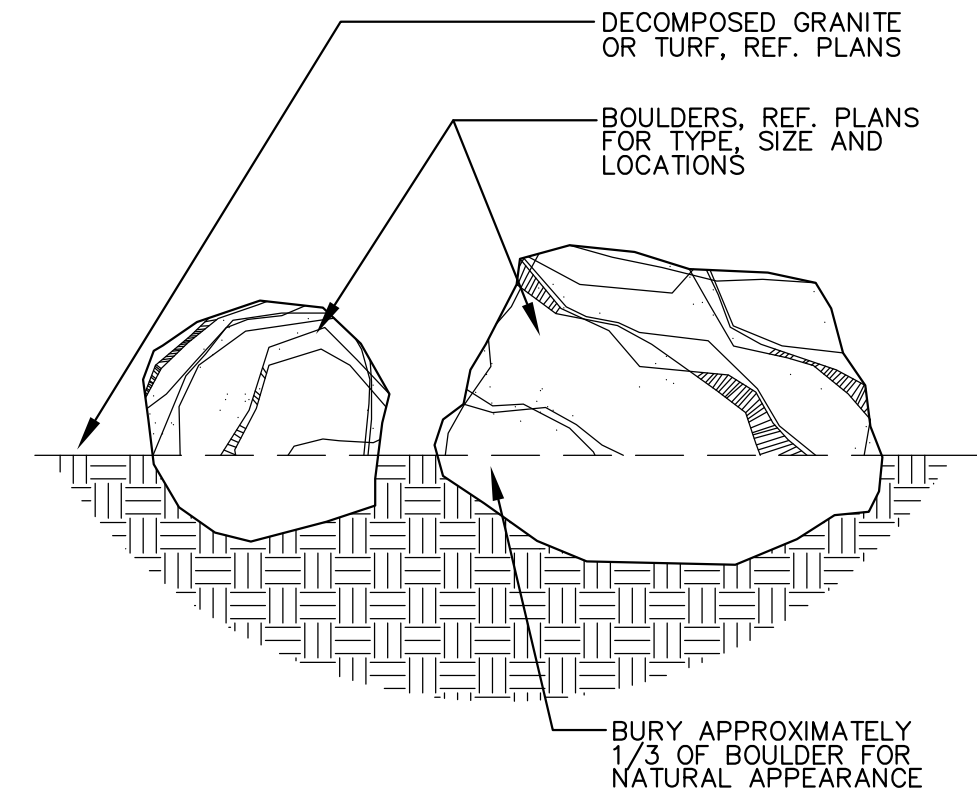
G CONCRETE HEADER



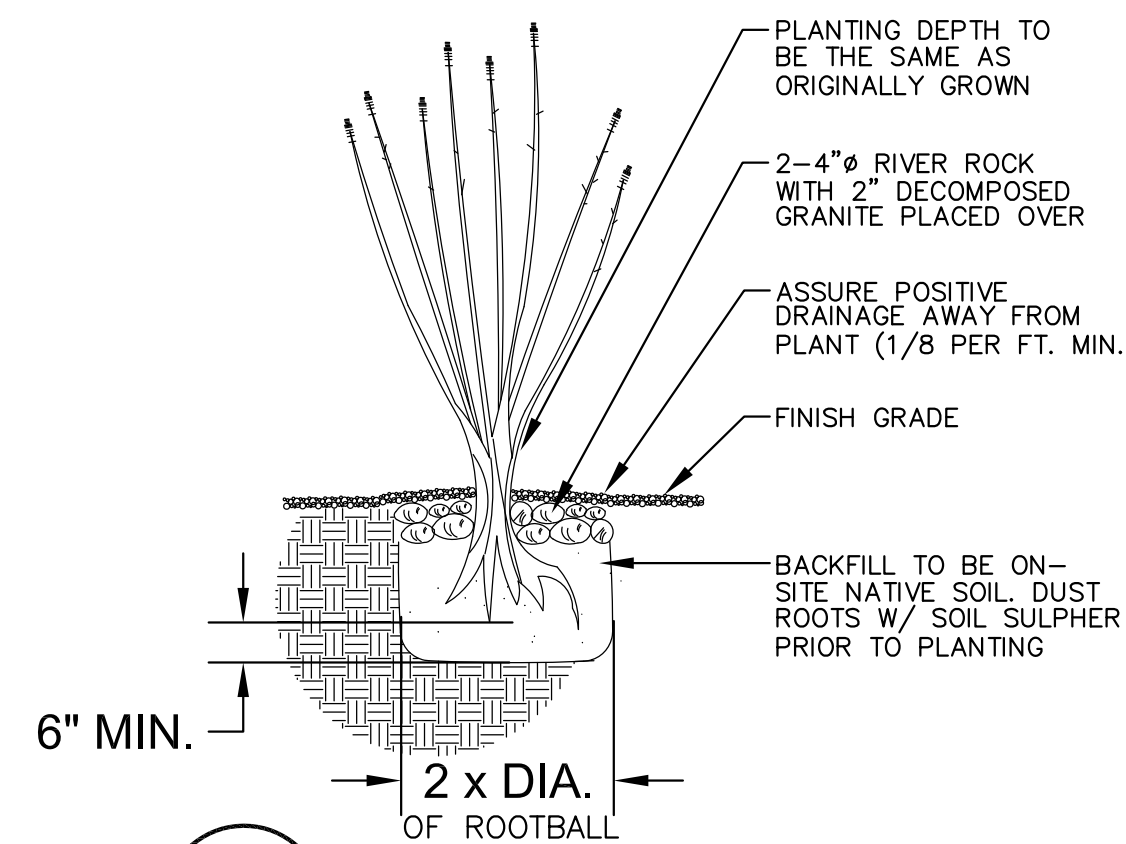
H STEEL EDGER



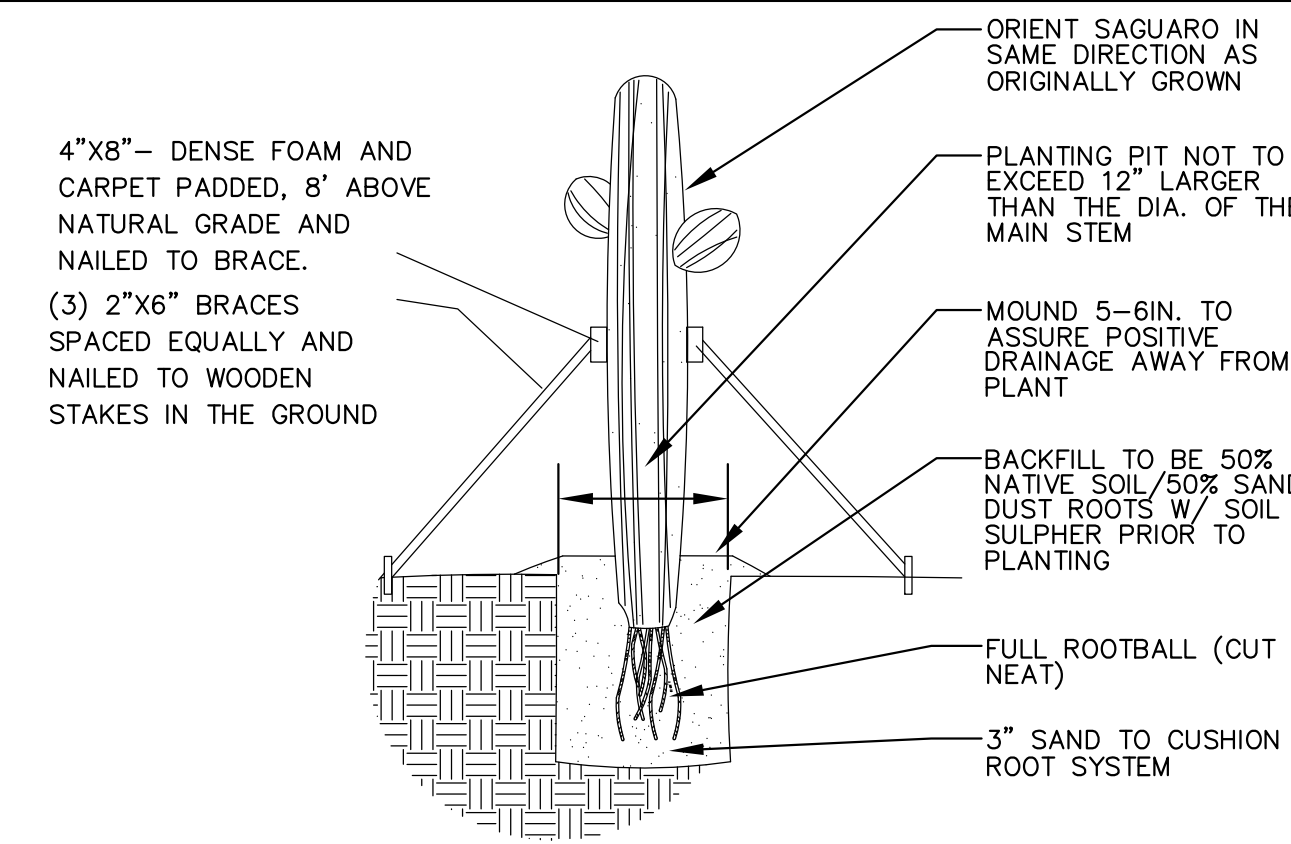
I IRRIGATION SWALE DETAIL



J BOULDER SETTING DETAIL

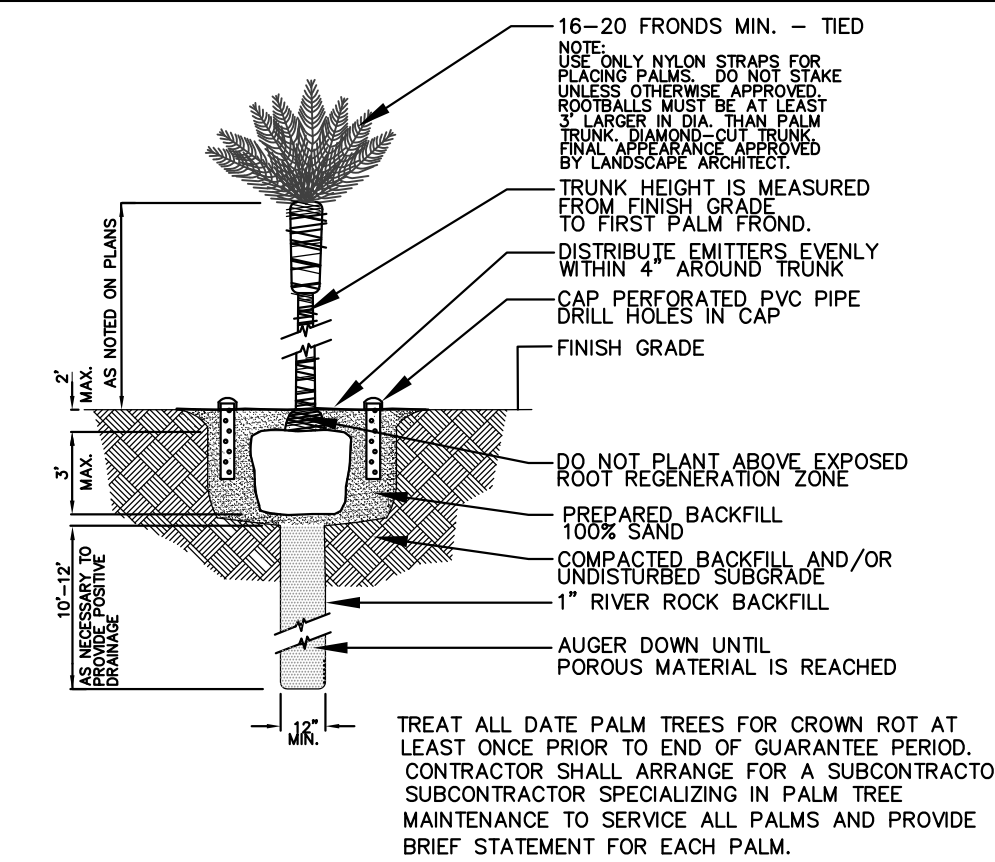


K OCOTILLO PLANTING

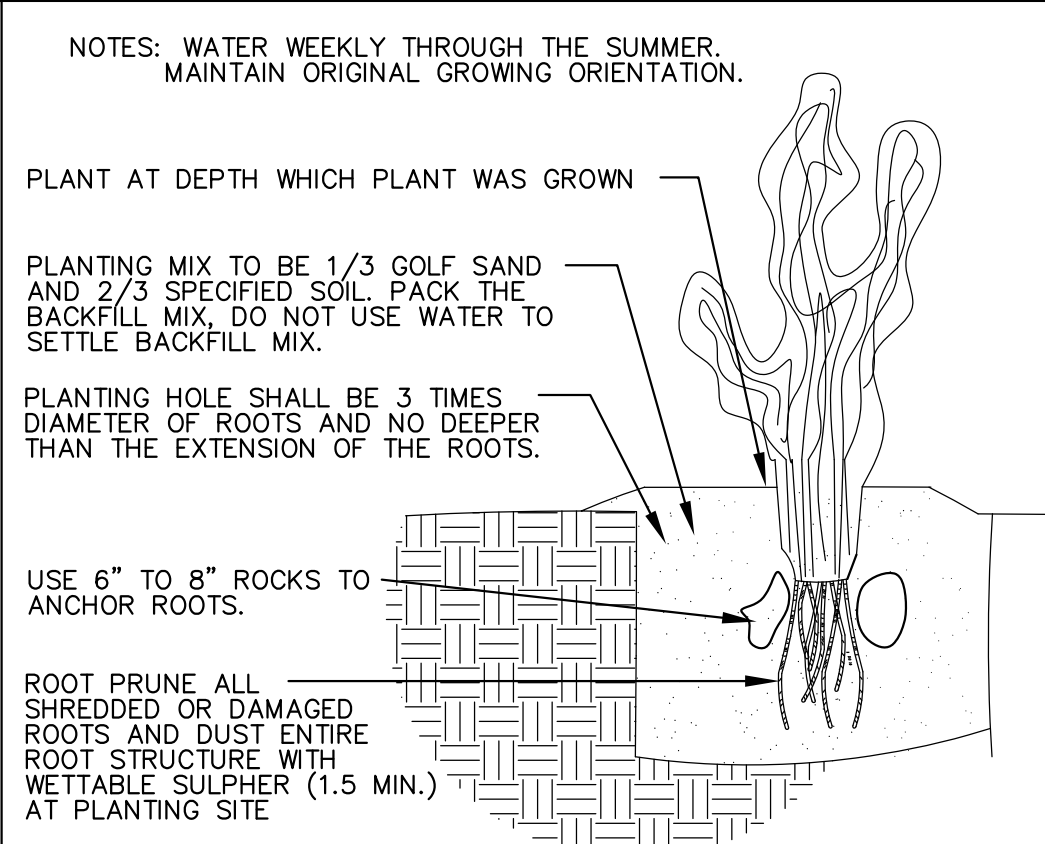


L SAGUARO PLANTING/ BRACING

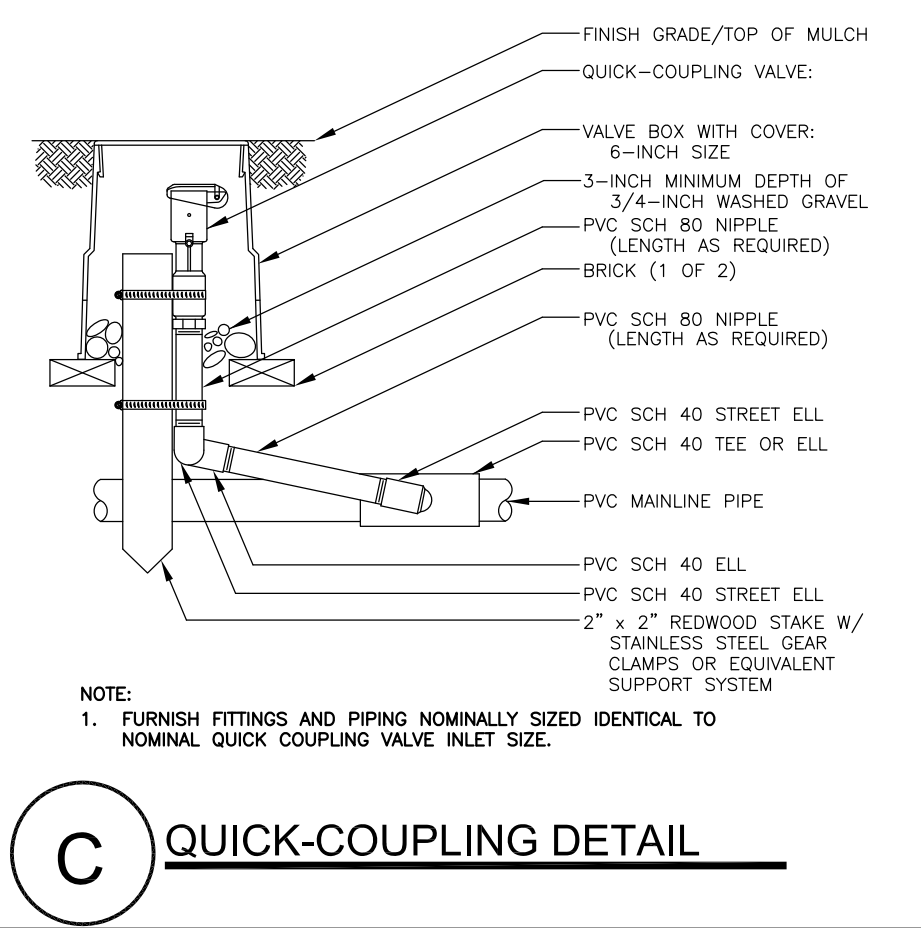
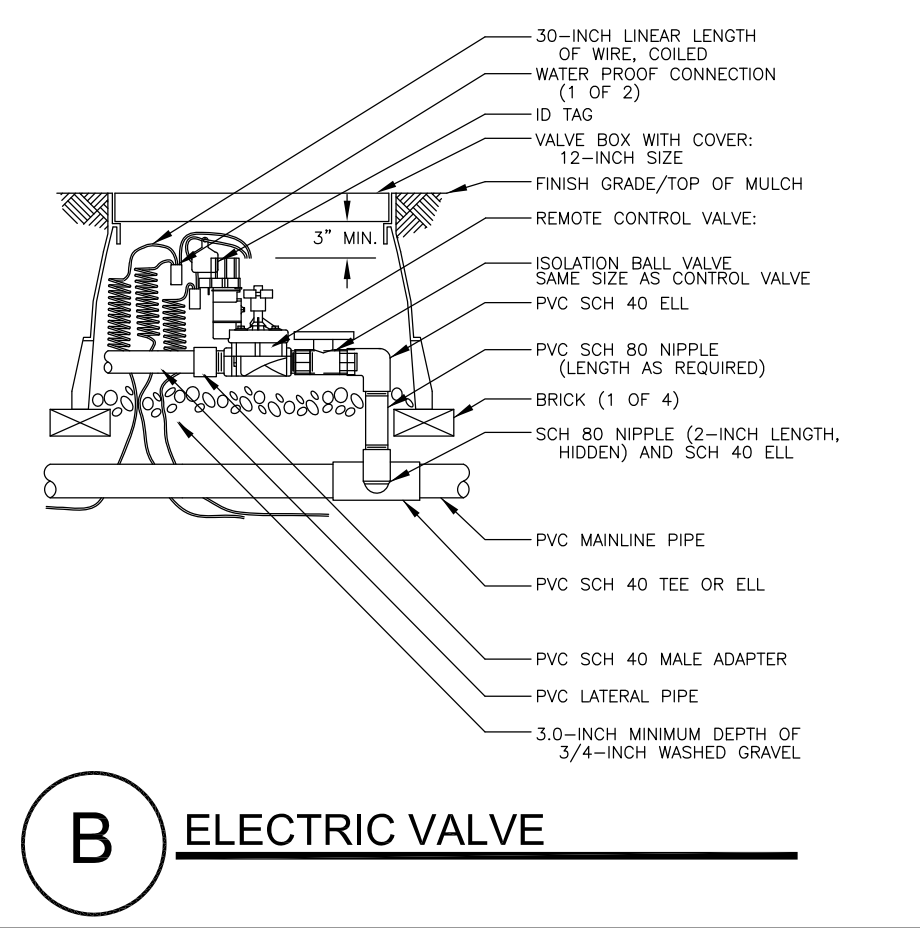
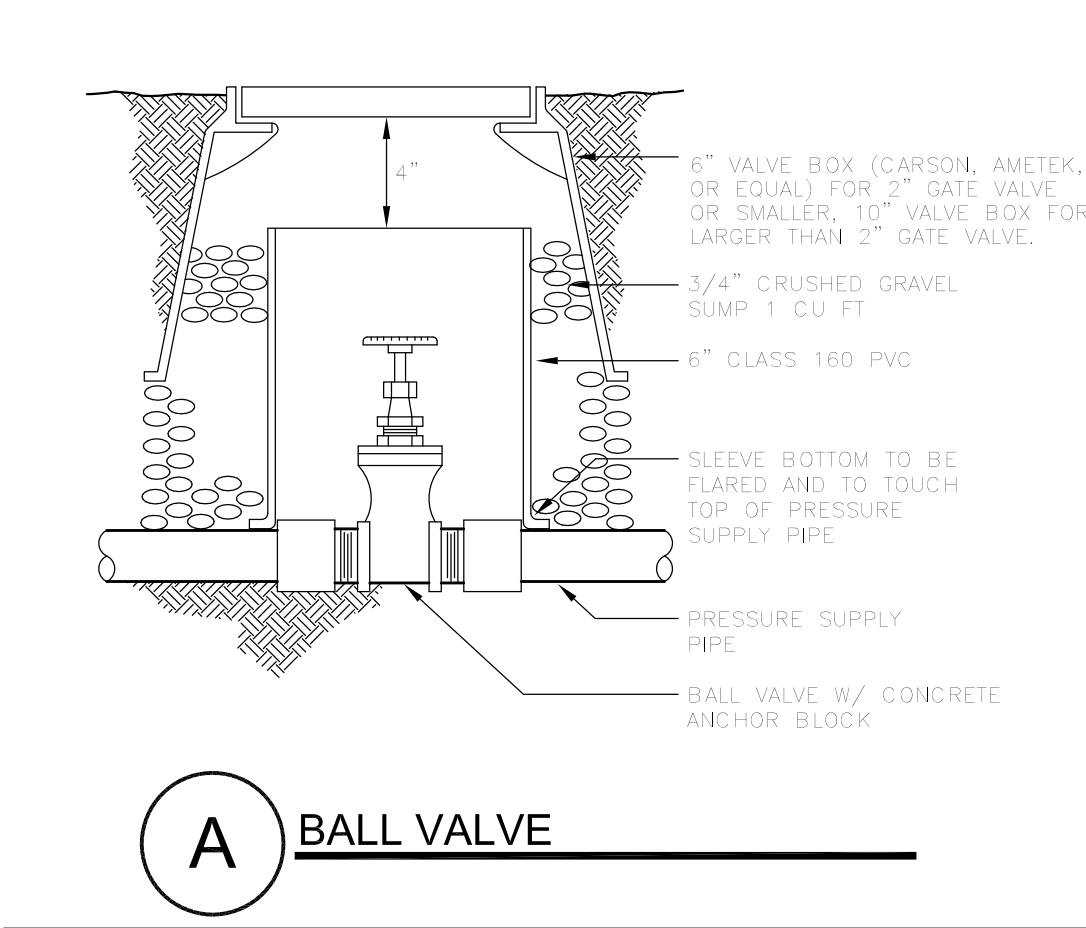
NOTES:
1. OPTIMUM TRANSPLANTING SEASON IS OCTOBER-NOVEMBER.
2. WATER THOUGHLY AT TIME OF TRANSPLANTING TO REMOVE AIR POCKETS AND ASSURE PROPER COMPACTION.
3. DO NOT WATER FOR 3 WEEKS AFTER PLANTING.
4. PLANT IN AREAS SAFE FROM PRESENT AND FUTURE CONSTRUCTION ACTIVITIES.
5. TRANSPLANT TO ORIGINAL DEPTH OF BURY.
6. A WATERING MAINTENANCE PROGRAM MUST BE SUBMITTED FOR APPROVAL PRIOR TO START OF PLANTING.
7. ANY DEVIATION FROM THESE PROCEDURES MUST HAVE WRITTEN APPROVAL FROM THE CITY PLANNING INSPECTION UNIT.



M PALM PLANTING/ BRACING



N CACTUS PLANTING

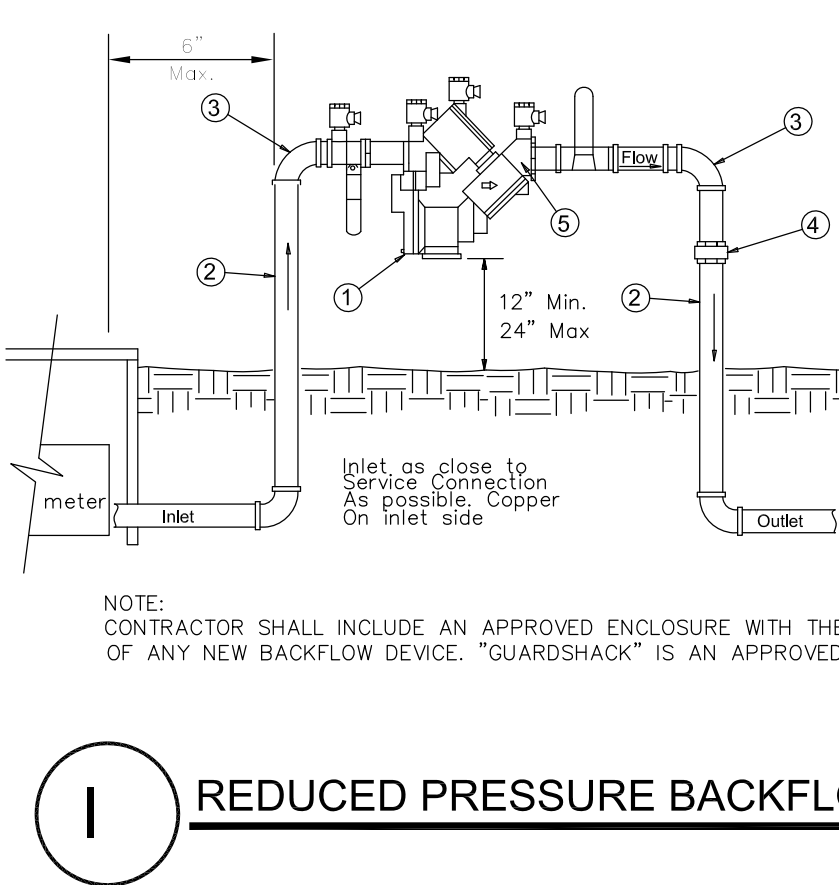
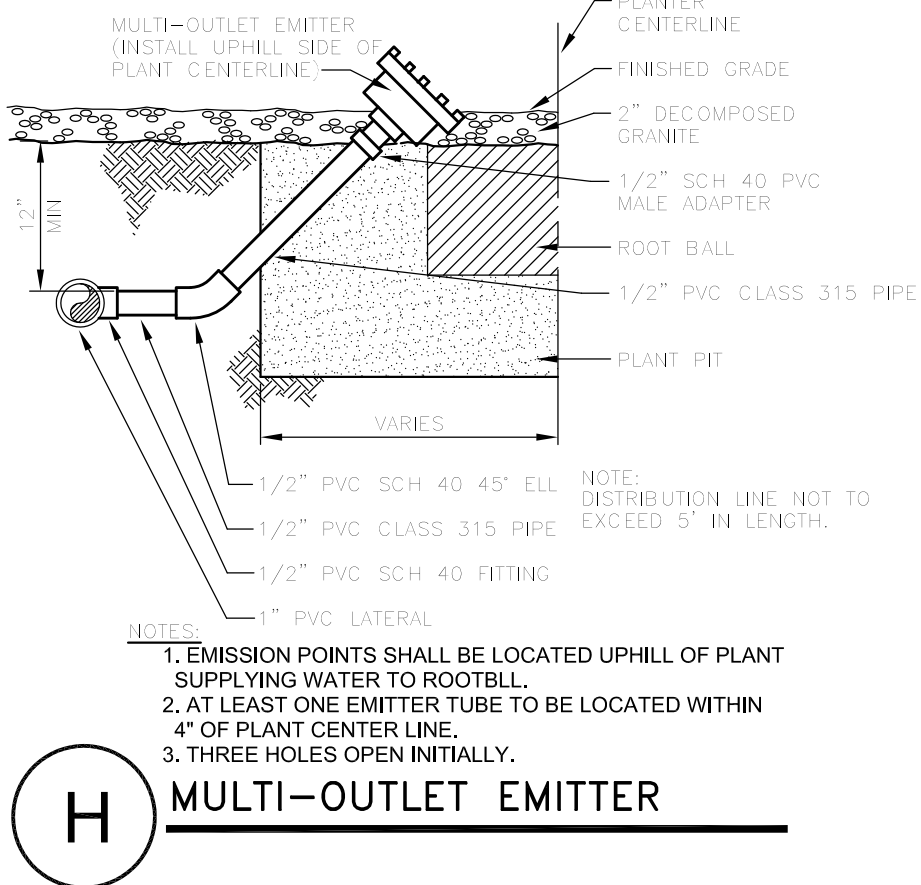
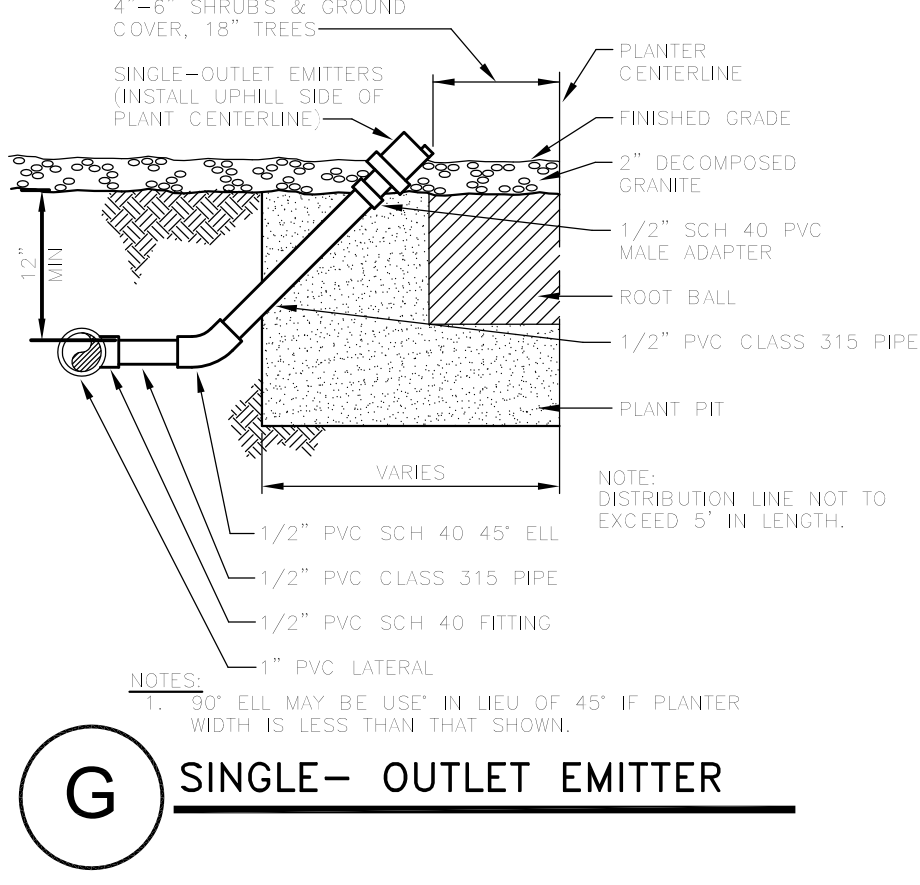
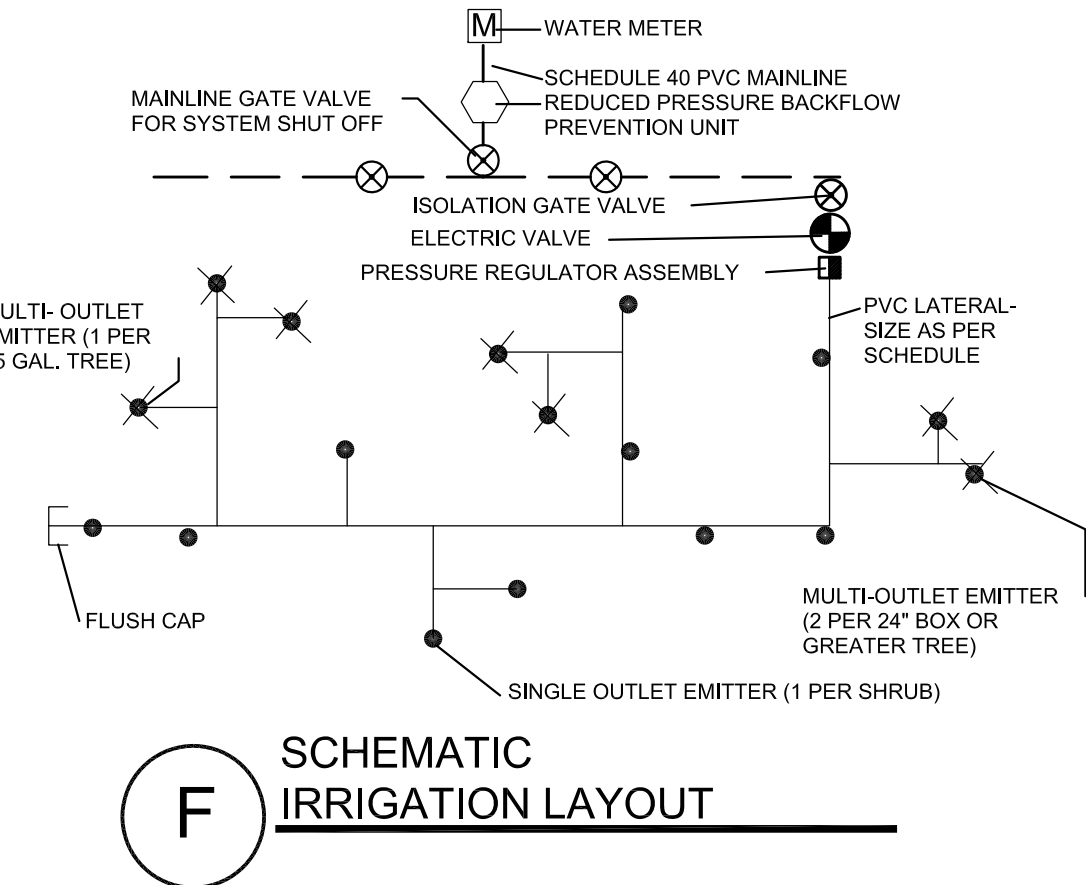
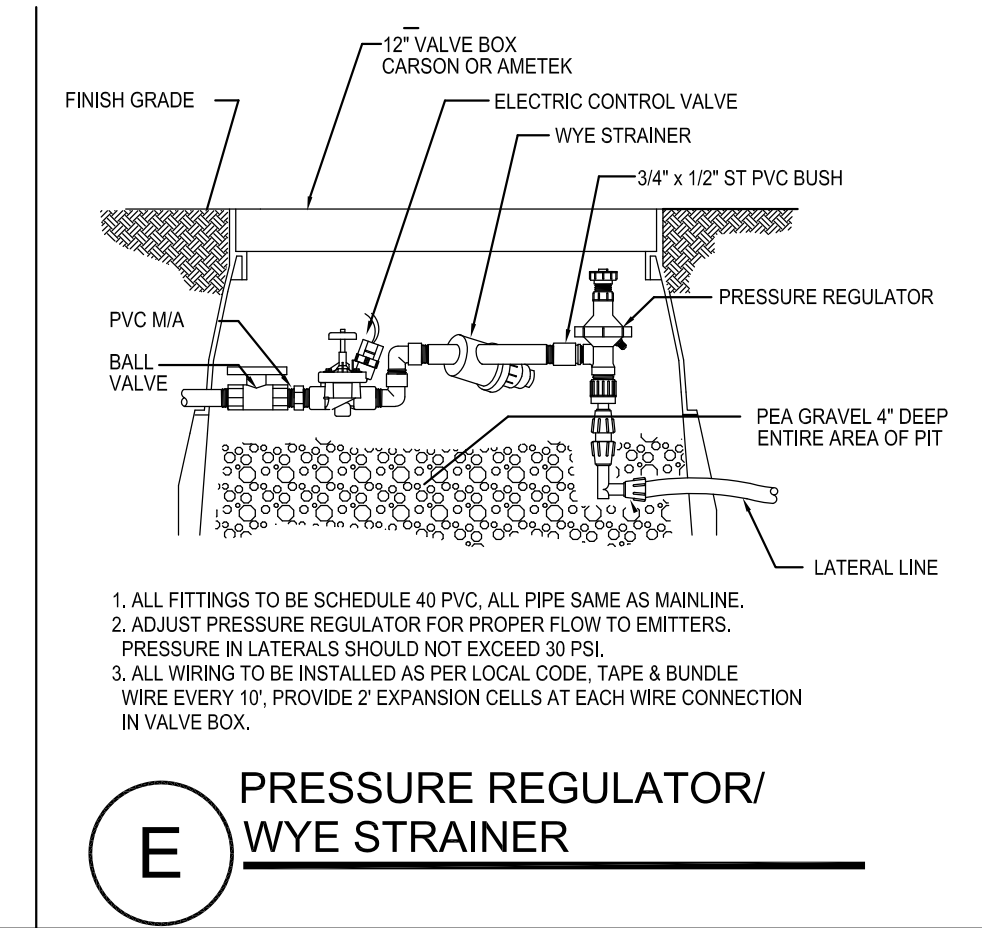


PLANT SIZE	GALLONS PER HOUR	EMITTER TYPE
54"-72" BOX	14	(3) ML-210
48" BOX	10	(2) ML-210
36" BOX	8	(2) ML-210
24" BOX	6	(2) ML-210
15 GAL.	4	(2) SL-220
5 GAL.	1	(1) SL-220
1 GAL.	1	(1) SL-220
PALMS (IN D.G. ONLY)	10	(2) ML-210

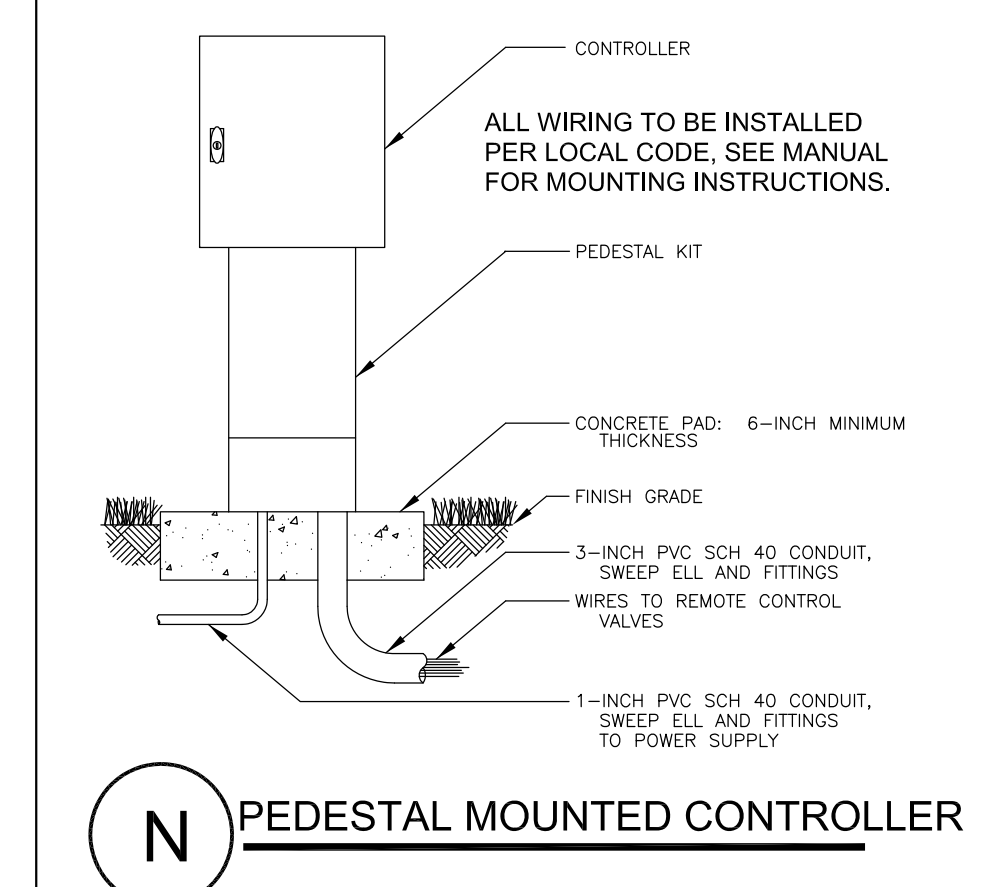
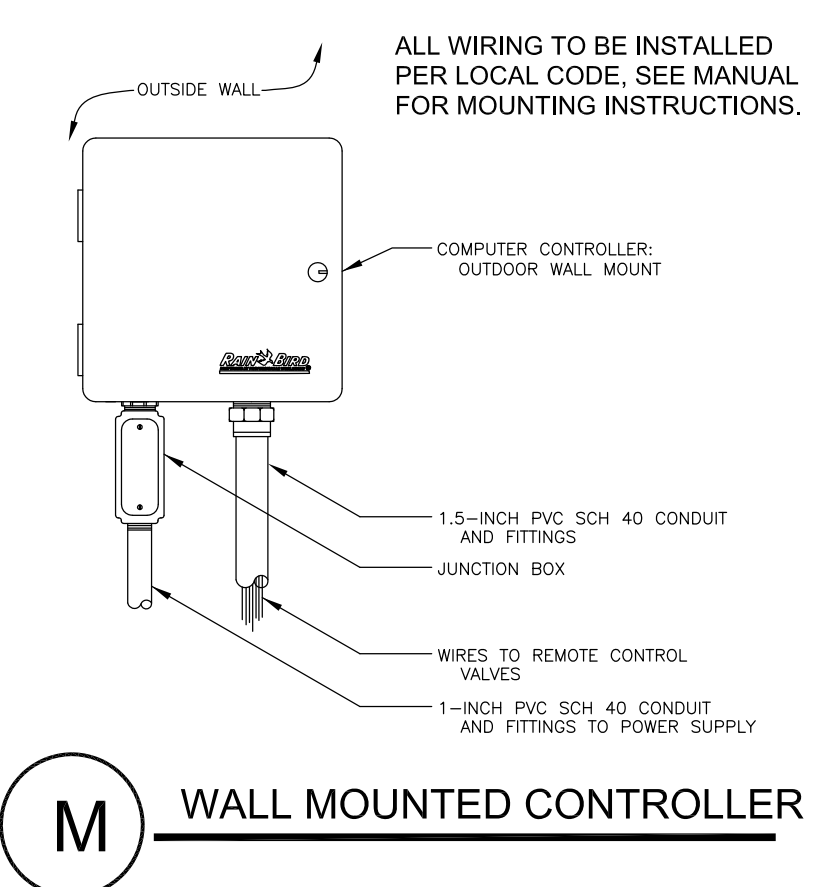
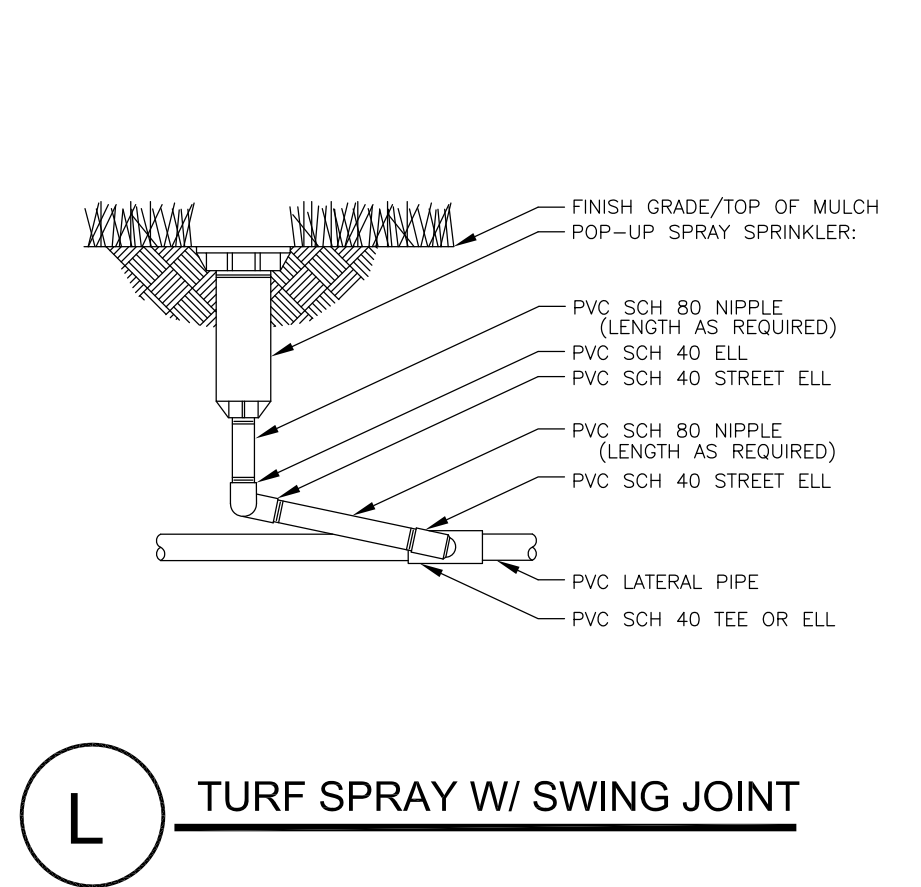
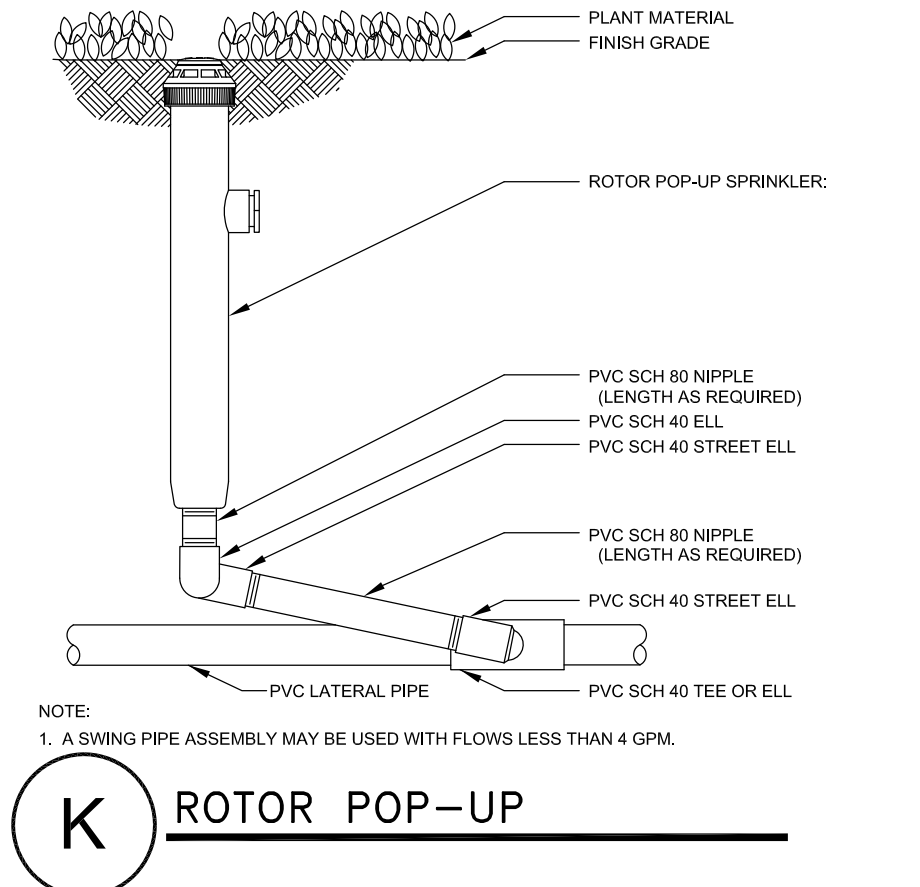
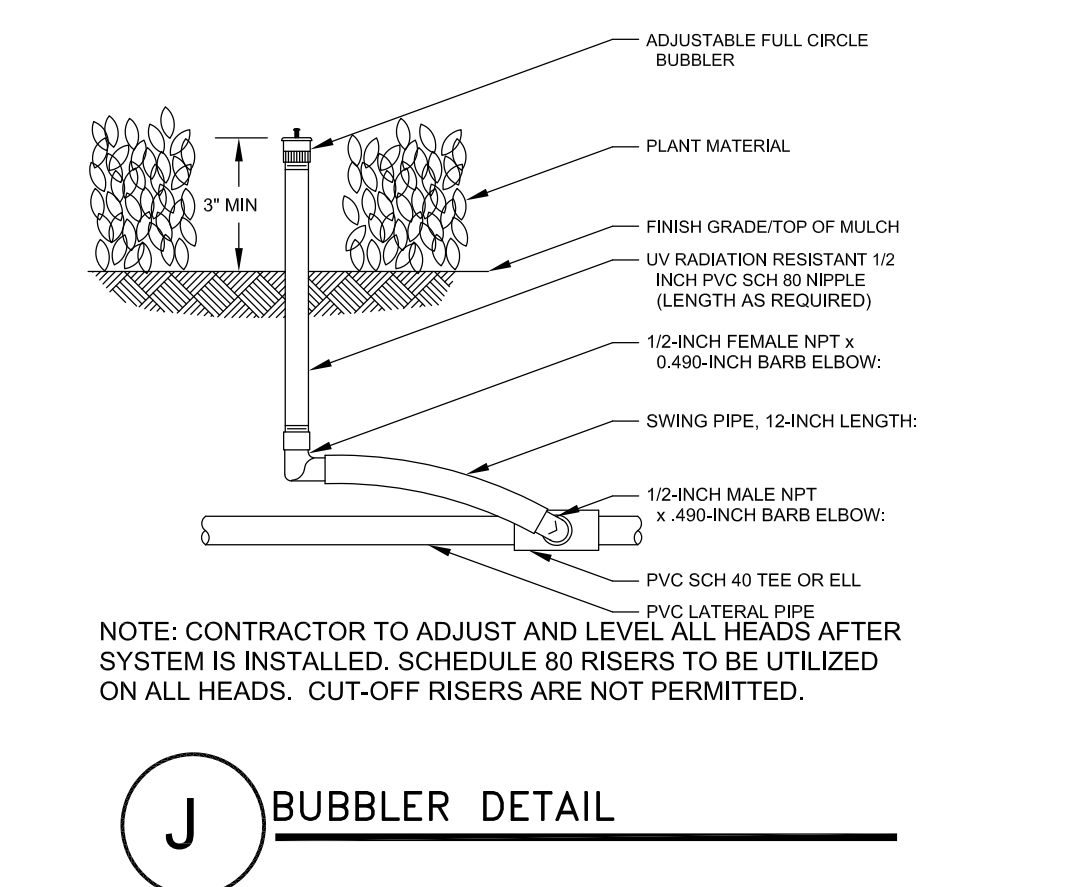
NOTE: ALL EMITTERS ARE TO BE BOWSMITH SL-200 AND ML-200 SERIES AT 20 PSI. NO SUBSTITUTIONS.

NOTE: NO CACTI TO RECIEVE EMITTERS.

D EMITTER SCHEDULE



- LIST OF MATERIALS**
- APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY, BALL VALVES INCLUDED.
 - PIPE TYPE "K" COPPER 3/4" THRU 2 1/2".
 - 90° ELL, COPPER, 3/4" THRU 2 1/2".
 - PIPE UNION, BRASS, OR COPPER.
 - TEST COCKS WITH BRASS PLUGS INSTALLED (4 REQUIRED).
- GENERAL NOTES**
- CONTACT CITY OF SUPRISE WATER RESOURCES, BACKFLOW PREVENTION, FOR LATEST LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES OR CERTIFIED TESTERS.
 - BACKFLOW PREVENTERS MUST BE TESTED BY A CERTIFIED TESTER BEFORE FINAL APPROVAL IS ISSUED.
 - COPPER FITTINGS SHALL BE CONNECTED WITH LEAD FREE SOLDER JOINTS.
 - FINISH GRADE UNDERNEATH THE BACKFLOW PREVENTER SHALL BE AT 95% COMPACTION.
 - ALL NIPPLES TO BE COPPER OR BRASS.
 - PIPING UNDER THE CITY RIGHT-OF-WAY MUST BE TYPE "K" COPPER.
 - CALL FOR UNDERGROUND INSPECTION BEFORE BACKFILLING TRENCH.



SLEEVING SCHEDULE

ALL PIPE SLEEVES TO BE SCH. 40 PVC AND SHALL BE INSTALLED WITH A MINIMUM OFF-SET AT THE JOINTS TO PERMIT EASY INSTALLATION AND REMOVAL OF IRRIGATION LINES. ALL PLASTIC LINES SHALL BE INSTALLED IN SLEEVES UNDER PAVED AREAS. SLEEVES SHALL EXTEND AT LEAST 12" BEYOND THE EDGES OF THE PAVEMENT. SIZE OF SLEEVES SHALL BE AS SHOWN:

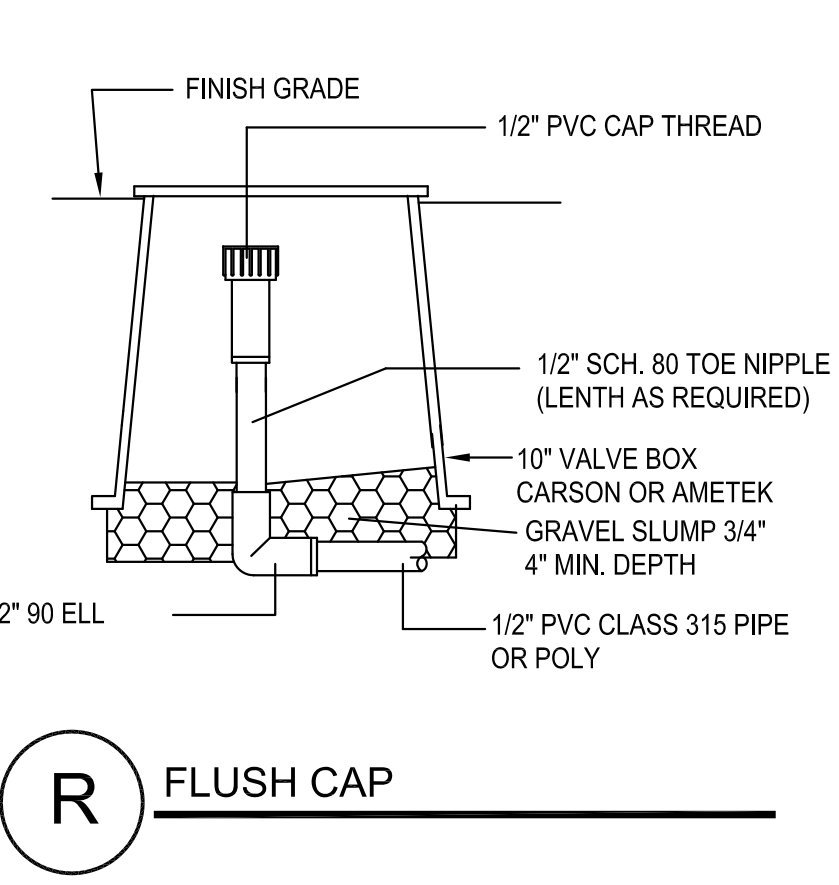
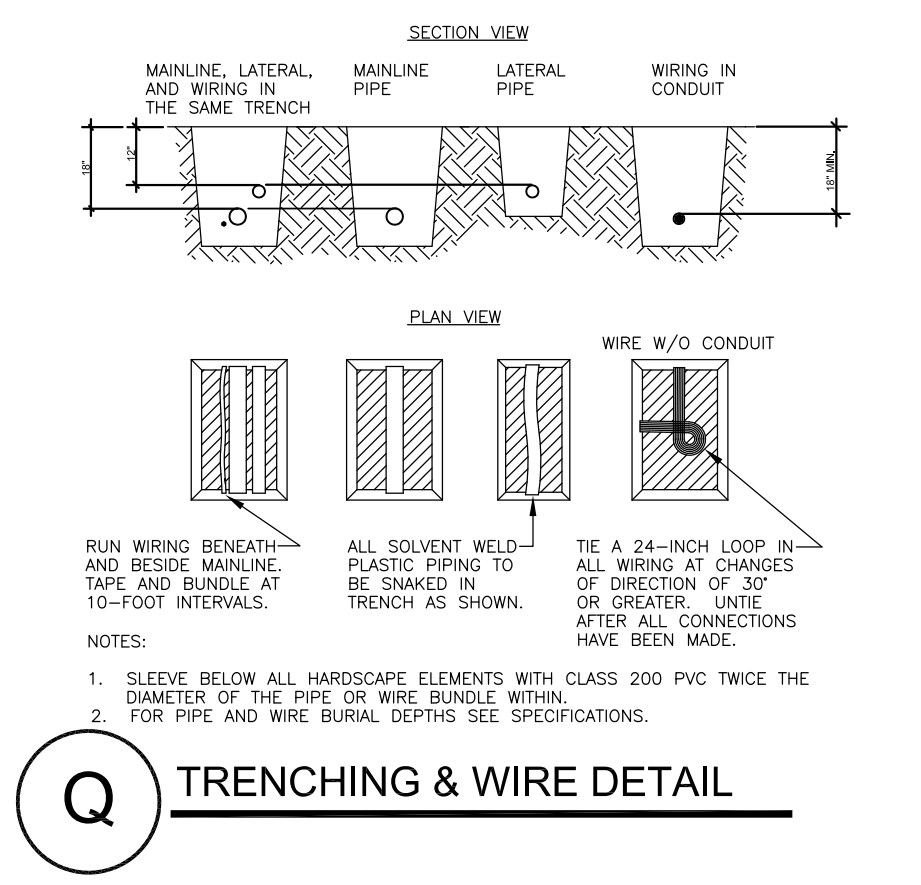
PIPE SIZE	MIN. SLEEVE SIZE
1/2"	2"
3/4"	2-1/2"
1"	3"
1-1/4"	3"
1-1/2"	4"
2"	4"
2-1/2"	6"
3"	6"
4"	6"

O SLEEVING SCHEDULE

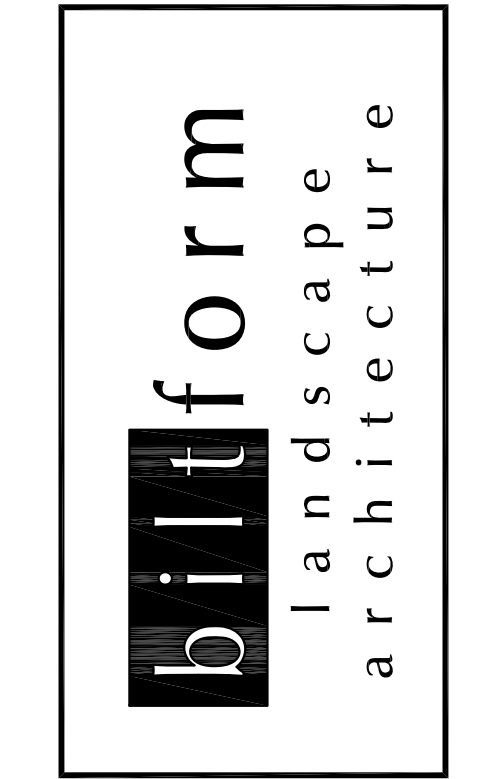
PIPE SIZE	FLOW (GPM)
1/2"	0-5
3/4"	6-10
1"	11-15
1-1/4"	16-25
1-1/2"	26-35
2"	36-60
2-1/2"	61-80
3"	81-120
4"	121-200

ALL VALVE BOXES TO BE CARSON, AMETEK OR EQUAL. ALL 1/2" LATERAL PIPE TO BE CLASS 315. ALL LATERAL PIPE ABOVE 1/2" TO BE MINIMUM CLASS 290. ALL MAINLINE PIPE 2" AND LARGER TO BE A MINIMUM CLASS 200 RINGITE PIPE. MAINLINE PIPE LESS THAN 2" TO BE MINIMUM SCH. 40 PVC.

P PIPE SIZING SCHEDULE



NOTE: PAINT ALL NEW AND EXISTING UTILITY BOXES, BACKFLOW PREVENTERS, CONTROLLERS, ETC. TO MATCH PERIMETER WALLS.



biltform landscape architecture group, inc.
11460 North Cave Creek Rd. suite 6
phoenix, arizona 85020
Phone 602.285.9200 Fax 602.285.9229
email: dave@biltform.com



Pottery Place Warehouse
Grand Avenue West of Norwich Dr.
Surprise, Arizona
Capstone Constructors Corp.
1525 West Hatcher Road, Phoenix, AZ. 85021
PHONE: (602) 997-4492 FAX: (602) 997-4493

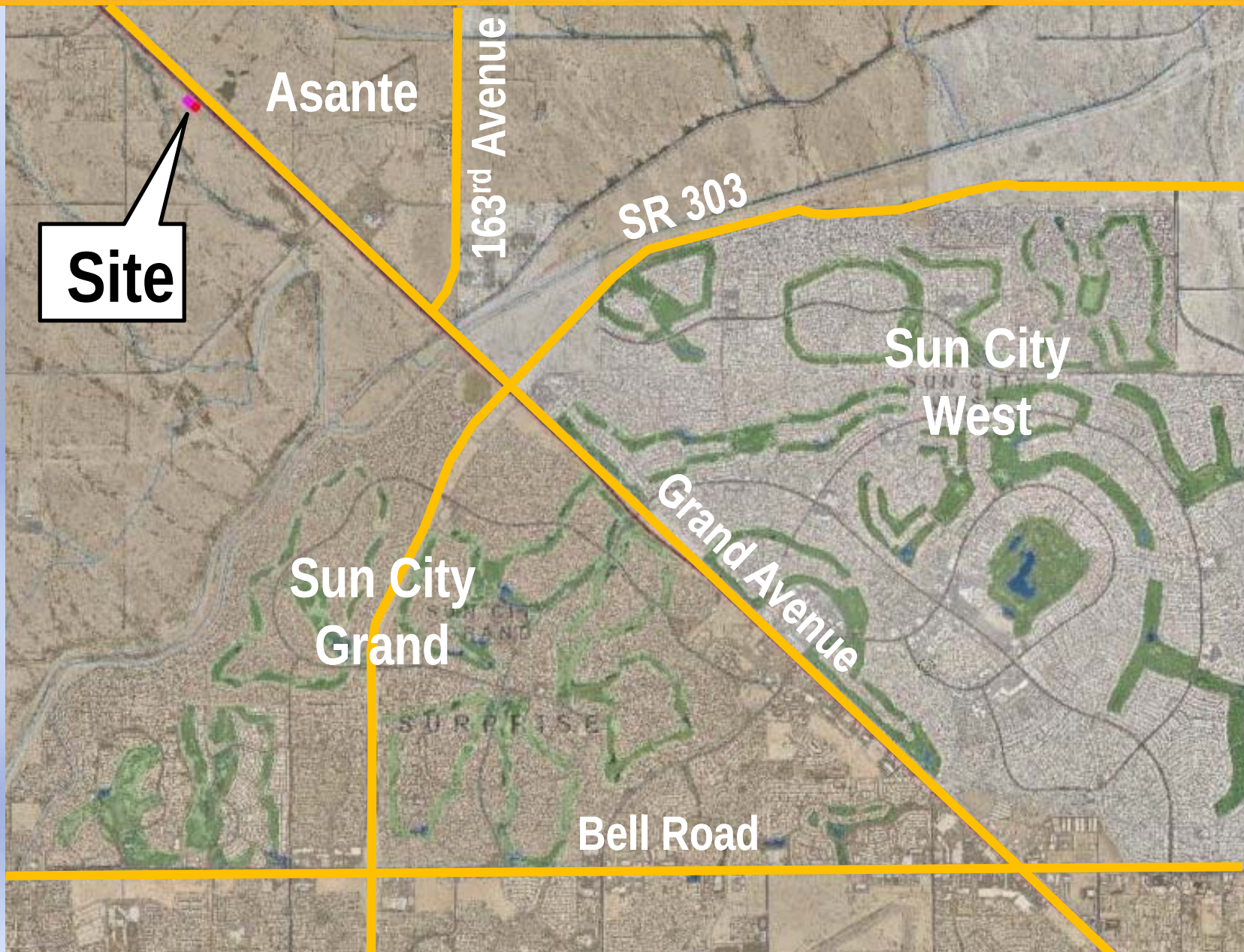
REVISIONS:	
△	- City Comments 11-11-14
△	-
△	-
△	-
△	-
△	-
JOB NO:	14-041L
DATE:	Sept. 3, 2014
SCALE:	N/A
SHEET NO:	

The Pottery Place Warehouse Planning and Zoning Commission

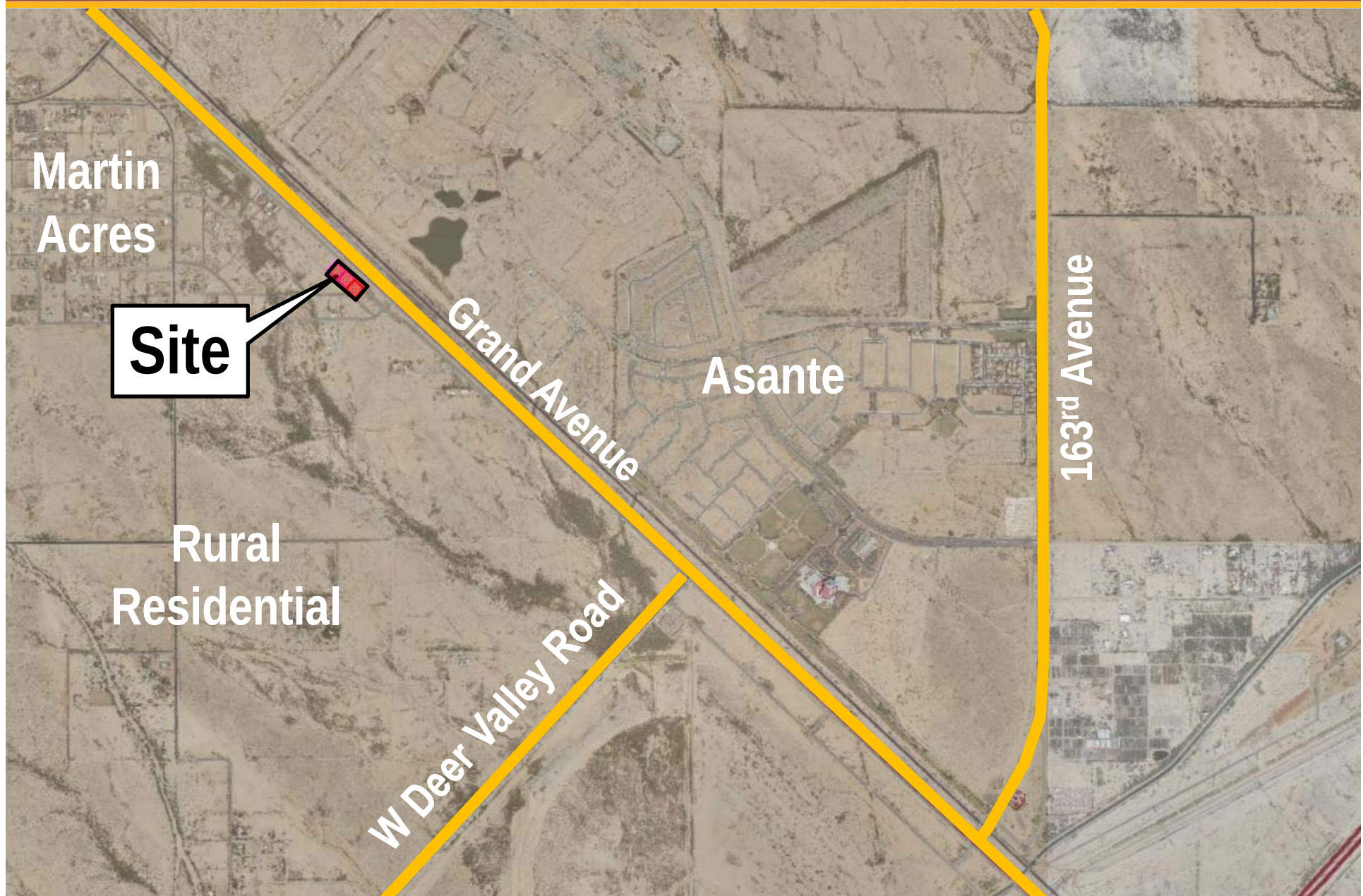
January 8, 2015



VICINITY MAP



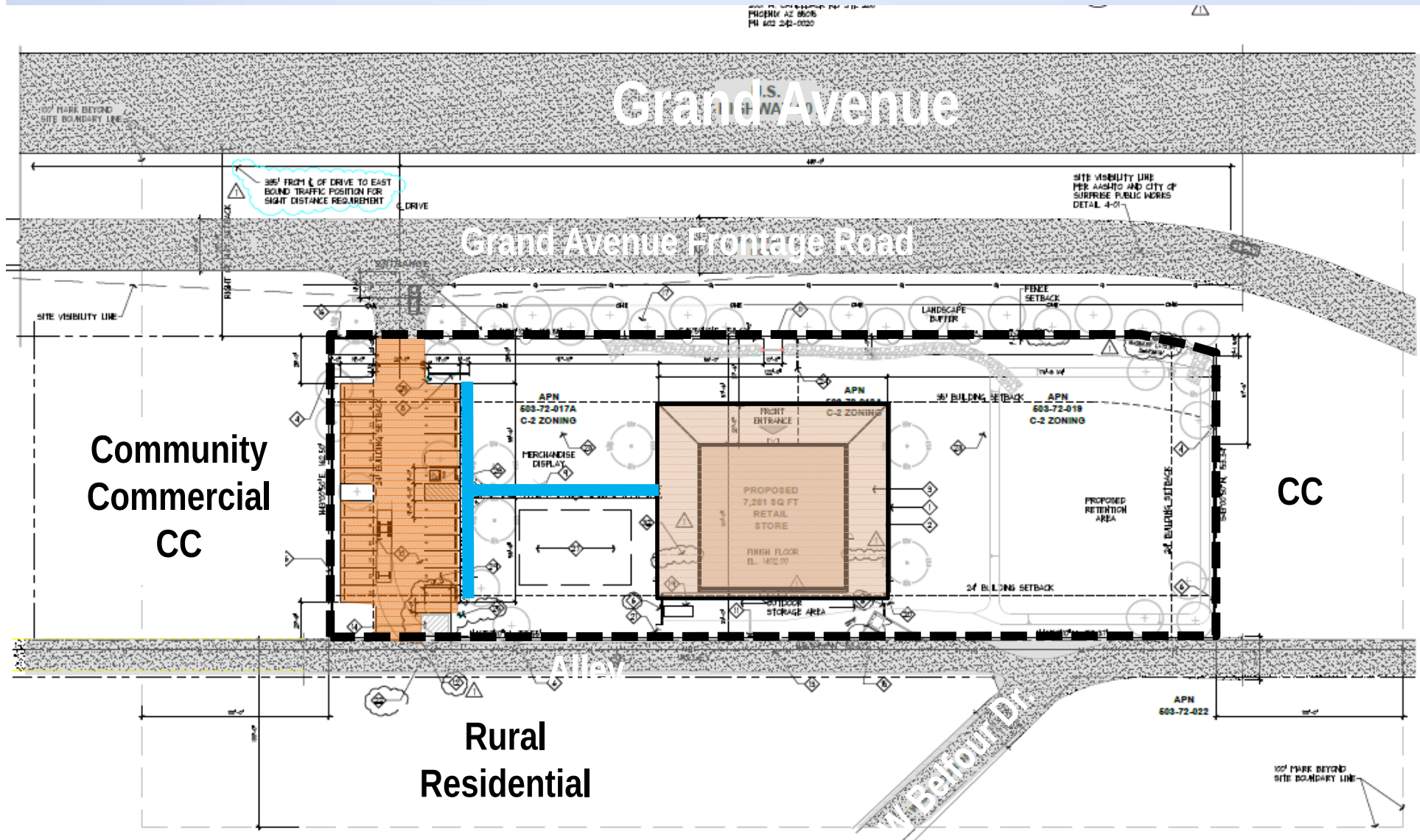
VICINITY MAP



VICINITY MAP



SITE PLAN



ELEVATIONS



Northeast Elevation



Northwestern Elevation



Southwestern Elevation

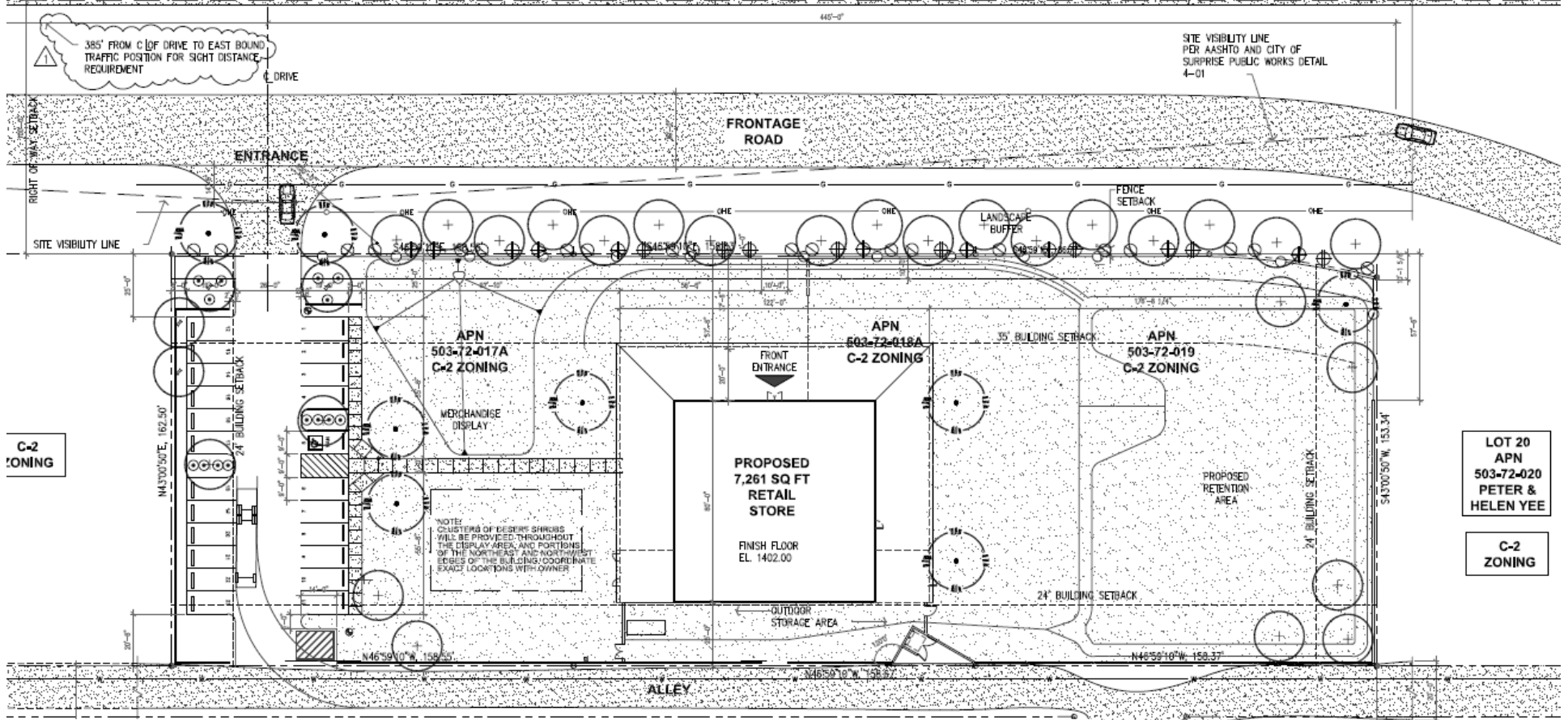


Southeastern Elevation

LANDSCAPE



U.S.
HIGHWAY 60



LOT 20
APN
503-72-020
PETER &
HELEN YEE

C-2
ZONING

PLANT LEGEND

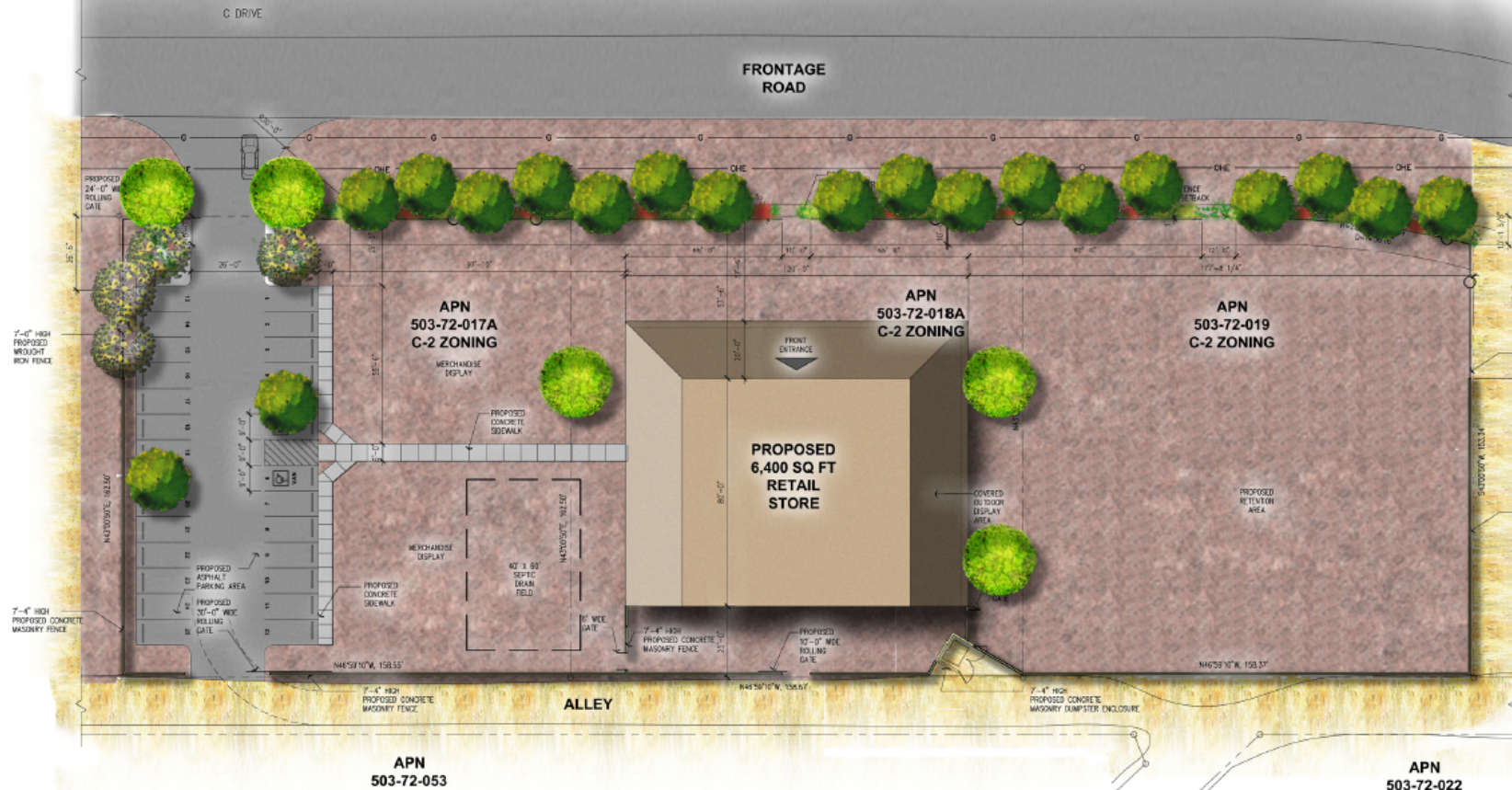
TREES			SHRUBS			LANDSCAPE MATERIALS		
SIZE	QTY		SIZE	QTY		SIZE	QTY	
24" Box Double Stake	4		Caesalpinia pulcherrima Red Bird of Paradise	16		Decomposed granite "Madison Gold"	64,300 S.F.	
24" Box Standard	26		Nerium oleander Petite Pink Oleander	14				
24" Box Multi-Trunk	8		Tecoma stans Yellow Bell	22				
Dalbergia Sissoo								
Sissoo Tree								
Prosopis hybrid "Phoenix" Thornless Mesquite								
Parkinsonia hybrid "Desert Museum"								

NOTE: ALL TREES WITHIN 10 FEET OF PAVEMENT, CURBING OR WALLS WILL BE INSTALLED WITH A ROOT BARRIER.

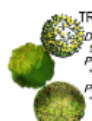
LANDSCAPE



U.S.
HIGHWAY 60



PLANT LEGEND



TREES

Quercus laevis
Savio Tree
Prosopis juliflora
"Phoenix" Thornless Mesquite
Pachira aquatica
"Desert Museum"

SIZE

15 Gallon
Double Stake
15 Gallon
Standard
15 Gallon
Multi-Trunk

QTY

4
19
9

SHRUBS

Ceanothus leucanthemum
Red Bird of Paradise
Monardella oleander
Pettie Pink Oleander
Tecoma stans
Yellow Bells

SIZE

1 Gallon
5 Gallon
5 Gallon

QTY

18
14
22

LANDSCAPE MATERIALS

Decomposed granite
"Sedona Red"

SIZE

1/4" Minus
1" Depth

QTY

68,300 S.F.

LANDSCAPE GENERAL NOTES

PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
ALL TREE LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY OTHER WORK.
ALL GRADES TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINISHED GRADES.
THE LANDSCAPE CONTRACTOR SHALL VERIFY BERM AND RETENTION BARRIERS LOCATIONS SHOWN ON THESE PLANS.

ALL VALVE BOXES, IRRIGATION, GATE VALVE, FLUSH CAP, WATER FEATURE, ETC. ARE TO BE PLACED IN DECOMPOSED GRANITE/SHRUB AREAS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE PLACED IN A LAWN OR HARDSCAPE AREAS.
ALL TREES IN LAWN AREAS TO RECEIVE ARBOR GUARDS. UNDER NO CIRCUMSTANCES SHALL ANY TREE BE PLANTED WITHIN 5' OF ANY BUILDING WITHOUT THE EXPRESS APPROVAL OF THE LANDSCAPE ARCHITECT.
IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INFORM THE LANDSCAPE ARCHITECT OF ANY PLANT MATERIAL CONCERNING BASED ON PLANTING SEASON (E.G.,

Staff Recommends Approval of FS14-347, A Site Plan for The Pottery Place Warehouse.

Questions or Comments?





1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2 WEST ELEVATION

SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



4 EAST ELEVATION

SCALE: 1/8" = 1'-0"

FINISH SCHEDULE

1. ROOF MATERIALS
ROOF TILE - "BORAL AMERICA"
COLOR - "BARRO ROJO"
2. STUCCO
"SENERGY"
COLOR - "PUEBLO"
3. BOARD AND BATT WOOD SIDING
COLOR - CABOT "CLEAR SEALER"
4. DOORS - CABOT "CLEAR SEALER"
5. TRIM - CABOT "CLEAR SEALER"
6. WINDOWS - "MEDIUM BRONZE"
7. EXPOSED TIMBERS AND PEELED POST - CABOT "CLEAR SEALER".
8. COLUMN BASE - NATURAL NATIVE STONE VENEER
9. EXTERIOR PERIMETER FENCE - PAINTED TO MATCH
STUCCO COLOR "PUEBLO".
10. 4' HIGH SITE WALL - STUCCO FINISH / "SENERGY" - PUEBLO



STROTH ARCHITECTURE, INC.
1323 South Scenic Heights Drive
Surprise, AZ 85083
(928) 771-0548

NEW CONSTRUCTION
POTTERY PLACE
N. Grand Avenue
SURPRISE, ARIZONA

REVISION

SHEET
EXTERIOR
ELEVATIONS
A3.1

DRAWN BY: PM
CHECKED BY: DDS
DATE: 09/11/14
JOB NO: 14010



**CITY OF SURPRISE
PZ COMMISSION AGENDA ACTION FORM**

Meeting Type: Regular Meeting

Meeting Date: 01/08/2015

Submitting Department: CD

Contact Person: Eric Fitzer

District: District 1

Internal: Hobart Wingard

☐ Consent ☒ Regular ☐ Public Hearing ☐ Report Only

Agenda Wording:

Consideration and action on Case FS14-347, a Site Plan for the Pottery Place Warehouse.

Motion:

I move to approve to approve Case FS14-347 subject to staffs findings and Conditions "a" through "d."

Background:

The applicant is requesting Site Plan approval for a proposed retail sales project known as The Pottery Place Warehouse.

Location:

The approximate two (2) acre subject project is generally located on the northwestern corner of Norwich Drive and the Grand Avenue Frontage Road.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

Attachments:

Staff Report, Vicinity Map, Site Plan, Elevations, and Landscape Plan

Meeting Requirements:

☒ Powerpoint ☐ Overhead (Elmo) ☐ Flip Chart ☐ White Board ☐ Easel

Presentation Speaker Names (spelling and titles for TV captions):

Hobart Wingard, Planner

PROJECT TEAM

OWNER: BILL KLEIN
POTTERY PLACE WAREHOUSE
24620 N. GRAND AVE.
SURPRISE, AZ 85387
PH 623 214-9081

CONTRACTOR:
MIKE STEFFES
CAPSTONE CONSTRUCTION
1525 W. HATCHER ROAD
PHOENIX, AZ 85021
PH 602 997-4492

ARCHITECT:
DOUG STROH
STROH ARCHITECTURE
1323 SOUTH SCENIC HEIGHTS DRIVE
PRESCOTT, AZ, 86303
PH 928 771-0548

SITE ENGINEER:
DANIEL GONZALEZ
O'NEILL ENGINEERING
2001 W. CAMELBACK RD STE 200
PHOENIX AZ 85015
PH 602 242-0020

LANDSCAPE:
DAVE FLYNN
BILTFORM LANDSCAPE ARCHITECTURE
11460 N. CAVECREEK RD
SUITE II
PHOENIX AZ, 85020
PH 602 285-9200

PARKING REQUIREMENTS

BUILDING AREA - 7,261 S.F.
ONE REQUIRED SPACE PER 375 S.F. OF BUILDING AREA = 20 SPACES
NUMBER OF SPACES PROVIDED = 23

ADA ACCESSIBLE PARKING SPACES - REQUIRED = 1,
PROVIDED ONE (1) ADA VAN ACCESSIBLE PARKING SPACE.

BUILDING / SITE INFORMATION

SITE SQUARE FOOTAGE - 77,060.63 SQUARE FEET

SITE PERCENTAGE COVERAGE = 15.9%

BUILDING AREA - 7,261 SQUARE FEET (BUILDING ONLY)
- UNDER ROOF 12,322 SQUARE FEET

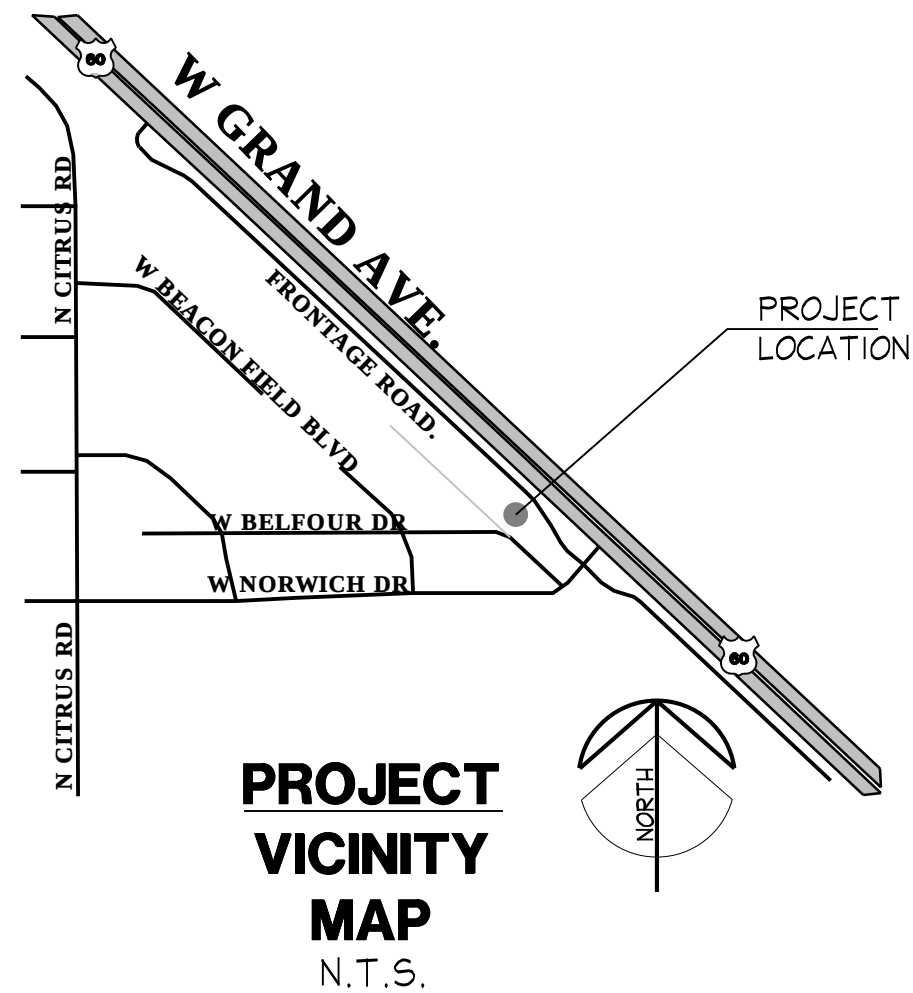
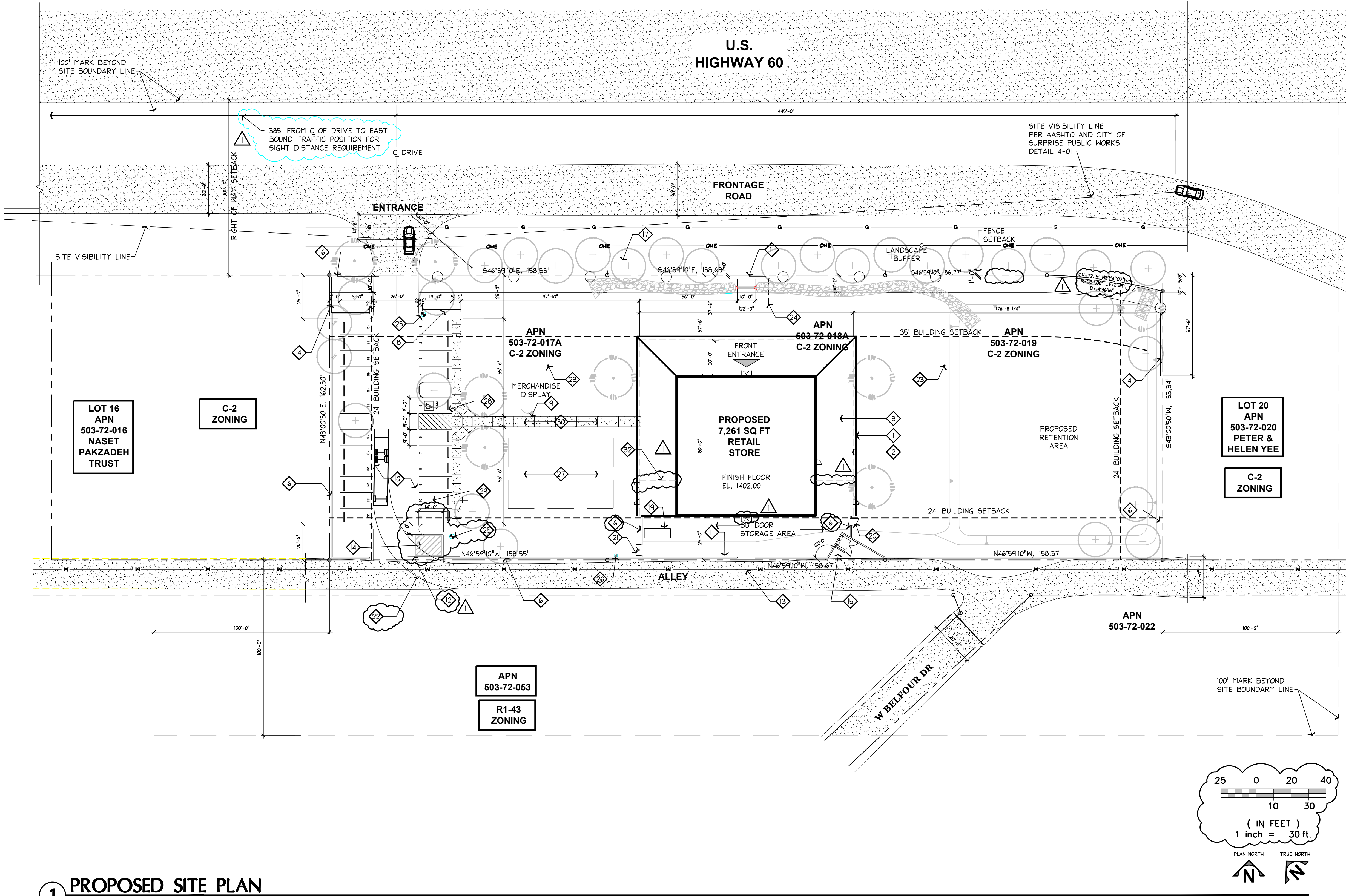
CONSTRUCTION TYPE - VB

OCCUPANCY TYPE - "M"

100 YEAR FLOOD ELEVATION = 1398.40

KEY NOTES

- EDGE OF ROOF
- PATIO SLAB BELOW
- COVERED OUTDOOR DISPLAY AREA
- 7'-0" HIGH PROPOSED WROUGHT IRON FENCE
- 24' BUILDING SET BACK
- 7'-4" HIGH PROPOSED CONCRETE MASONRY FENCE, PAINT TO MATCH BUILDING STUCCO COLOR.
- 35' BUILDING SET BACK
- 4' HIGH CMU SCREEN WALL WITH STUCCO FINISH MATCH BLDG STUCCO COLOR.
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PARKING
- PROPOSED 10' WIDE ROLLING GATE
- PROPOSED 42' WIDE ROLLING GATE
- 6" DIA. WATER LINE (BEARDSLEY WATER).
- AFTER HOURS LOADING AREA
- 7'-4" HIGH PROPOSED CMU DUMSTER ENCLOSURE, SEE SHT. ASI.2
- PROPOSED 24' WIDE ROLLING GATE
- LANDSCAPE BUFFER
- NOT USED
- UNDERGROUND WATER STORAGE TANK FOR FIRE SUPPRESSION
- 4' WIDE SINGLE GATE
- 6' WIDE DOUBLE GATE
- FIRE TRUCK TURNING RADIUS FOR FIRE TRUCK EGRESS (SU-40)
- PROVIDE HOSE BIB CONNECTION - SEE OWNER FOR EXACT LOCATION.
- FUTURE SIGN LOCATION UNDER SEPARATE PERMIT. PROVIDE ELECTRICAL CONDUIT FOR FUTURE SIGN.
- FIRE HYDRANT LOCATION - SEE CIVIL DRAWINGS.
- WATER METER - SEE CIVIL DRAWINGS.
- 40' X 60' SEPTIC DRAIN FIELD SEE CIVIL FOR LOCATION
- ADA COMPLIANT VAN STALL, SEE DETAIL SHEET ASI.1.
- STANDARD PARKING STALL SEE DETAIL ON SHEET ASI.1.
- ACCESSIBLE ROUTE TO BUSINESS / PUBLIC WAY. SLOPES AND CROSS SLOPES SHALL COMPLY WITH ADA REQUIREMENTS.
- 1/4" MINUS STONE MATERIAL IN DISPLAY AREA FINISH GRADES TO BE ADA COMPLIANT.
- LINE OF EXTERIOR WALL OF BUILDING BELOW.



1 PROPOSED SITE PLAN

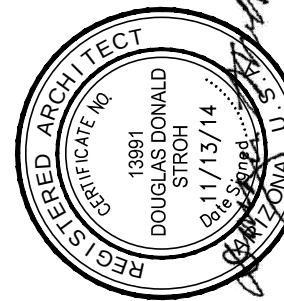
SCALE: 1" = 30'

NEW CONSTRUCTION
POTTERY PLACE
N. Grand Avenue
SURPRISE, ARIZONA

REVISION
11/13/14 CITY COMMENTS

SHEET
ARCHITECTURAL
SITE PLAN
AS11
DRAWN BY: P.J.M.
CHECKED BY: DDS
DATE: 11/13/14
JOB NO: 14010

STROH ARCHITECTURE, INC.
1323 South Scenic Heights Drive
Prescott, AZ 86303
(928) 771-0548





CITY OF SURPRISE
Planning and Zoning Commission

January 8, 2015 @ 6:00:00 PM

+ Back Print

Board Meeting Date: January 8, 2015

Contact Person: Rob Kuhfuss, Community Development

Submitting Department:

District: Citywide

Staff Recommendations: No Action

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Presentation and discussion regarding a proposed Zoning Text Amendment pertaining to Assisted Living Facilities.

Motion:

None - Discussion item only.

Background:

City management requested that staff research the city's methodology for evaluating assisted living facilities and prepare draft language for a possible Zoning Text Amendment.

Financial Impact Statement:

The financial impact is minimal and can be absorbed by the department.

ATTACHMENTS:

Click to download

- ☐ [FS14-444 - Assisted Living Facilities Text Amendment - Staff Report](#)
 - ☐ [FS14-444 - Assisted Living Facilities Text Amendment - Summary](#)
 - ☐ [FS14-444 - Assisted Living Facilities Text Amendment - Zoning Use Matrix](#)
 - ☐ [FS14-444 - Assisted Living Facilities Text Amendment - Assisted Living Home](#)
 - ☐ [FS14-444 - Assisted Living Facilities - Definitions](#)
-

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):

Rob Kuhfuss, Planner II

Eric Fitzer, Director



COMMUNITY DEVELOPMENT DEPARTMENT

Date: January 8, 2015
To: Planning and Zoning Commission
From: Eric Fitzer, Community Development Director
Robert H. Kuhfuss, AICP, Planner II
Re: FS14-444– Text Amendment regarding Assisted Living Facilities

Application Summary

The subject application involves revisions to the SUDC as it pertains to Assisted Living Facilities. The purpose of the Text Amendment is three-fold:

- Remove ambiguity
- Streamline process
- Consistency with state statute

Staff proposes certain changes to Section 122-43 Zoning Use Matrix, Section 122-99 Residential Setting Care Facility and Section 122-178 Definitions. These proposed changes are included in the attached Summary, in addition to the attached legislative-edit versions.

Neighborhood Outreach Meeting

Staff has scheduled a Citizen Review meeting to occur on January 5, 2015. The results of that meeting are not known as of the writing of this report, but will be conveyed to the Commission during the workshop session.

Location

This Text Amendment will apply to all areas of the incorporated City.

History

November 26, 2014: Staff formally submitted the subject case for review under FS14-444.

Summary

The proposed changes to the SUDC are being discussed at the Commission workshop session of January 8, 2015. Staff envisions a public hearing by the Commission to occur on February 5, 2015, with the Commission's recommendation being presented to the City Council at their Work Session of February 17, 2015, with final determination by the City

Council to occur at their public hearing of March 3, 2015; however, these dates are subject to change as the case progresses. Also, further review by the Commission and City Council may result in revisions to the proposed language or the involvement of other provisions of the SUDC not presented in the attached documents.

Findings

None at this time as this is a discussion item only.

Recommendations:

None at this time as this is a discussion item only.

Attached:

Exhibit "A" – Summary of Proposed Changes

Exhibit "B" – Section 122-43 Zoning Use Matrix (legislative-edit)

Exhibit "C" – Section 122-99 Assisted Living Home (legislative-edit)

Exhibit "D" – Section 122-178 Definitions (legislative-edit)

Amend the Land Use Matrix in SUDC Section 122-43:

[See attached leg-edit revisions to Section 122-43]

Change “Assisted Living Facility” to “Assisted Living Center” and show as a permitted use in RM, RH and MU.

Change “Congregate Care Facility” to “Nursing Care Institution” and show as permitted use in RM, RH, MU, and CR.

Change “Residential Setting Care Facility” to “Assisted Living Home” category and show as a permitted use in RR, RE, RL-2, RL-4, and RL-5.

Housekeeping edits e.g. column headings at page breaks, shading of land use group sub-headings, reduction of cell height, etc.

Amend SUDC Section 122-99:

[See attached leg-edit revisions to Section 122-99]

Sec. 122-99. - ~~Residential setting care facility.~~ ASSISTED LIVING HOME.

~~For the purpose of this section, residential setting care facility shall mean a facility licensed by the Arizona Department of Health Services that provides supervisory care services, personal care services, or directed care services for ten or fewer persons in a residential setting. The limitation of ten or fewer persons does not include the operator of the facility, members of the operator's family, or persons employed as staff, except that the total number of all persons living and working at the facility shall not exceed 12 at any given time. When allowed, a~~ residential setting care facility ASSISTED LIVING HOME shall be subject to the following requirements:

- (a) Approvals required. An application shall be required to establish ~~a residential care facility~~ AN ASSISTED LIVING HOME.
- (b) THE ASSISTED LIVING HOME THAT IS THE SUBJECT OF THE APPLICATION SHALL BE LICENSED BY THE ARIZONA DEPARTMENT OF HEALTH SERVICES PRIOR TO THE FILING OF THE APPLICATION AND SHALL REMAINED SO LICENSED FOR AS LONG AS THE ASSISTED LIVING HOME IS IN OPERATION.
- (c) THE LIMITATION OF TEN OR FEWER PERSONS DOES NOT INCLUDE THE OPERATOR OF THE FACILITY, MEMBERS OF THE OPERATOR'S FAMILY, OR PERSONS EMPLOYED AS STAFF, EXCEPT THAT THE TOTAL NUMBER OF ALL PERSONS LIVING AND WORKING AT THE FACILITY SHALL NOT EXCEED 12 AT ANY GIVEN TIME.
- (~~b~~) A residential setting care facility AN ASSISTED LIVING HOME located within a single-family residential zoning district shall comply with the following location and separation requirements:

- (1) ~~A residential setting care facility with five or fewer residents~~ AN ASSISTED LIVING HOME shall not be located on a lot within ~~600-1200~~ feet, measured by a straight line in any direction, from another ~~residential setting care facility~~ ASSISTED LIVING HOME.
- (2) ~~A residential setting care facility with six or more residents shall not be located on a lot within 600 feet, measured by a straight line in any direction, from the lot line of another residential setting care facility; and shall not be closer than 1,200 feet along the street from another residential setting care facility that has six or more residents. The distance requirement along the street shall be measured from the street centerline, commencing on the centerline at a point that is determined to be the lot width midpoint of the subject property.~~
- (32) The separation requirements shall not apply to ~~residential setting care facilities~~ ASSISTED LIVING HOMES separated by arterial roads.
- (43) The separation requirements shall not apply to ~~residential setting care facilities~~ ASSISTED LIVING HOMES located within multi-family residential zoning districts.
- (eE) ~~A residential setting care facility~~ AN ASSISTED LIVING HOME shall contain 300 square feet of overall space for each resident and bedrooms shall be a minimum of 120 square feet with no more than two persons per bedroom.
- (dF) ~~A residential setting care facility~~ AN ASSISTED LIVING HOME shall not be permitted any signage, graphics, display, or other visual forms of identification, other than that permitted for a residential unit.
- (eG) Any single-family residential unit utilized as ~~a residential setting care facility~~ AN ASSISTED LIVING HOME shall be fully improved and maintained pursuant to state law and in accordance with provisions of the adopted Surprise Municipal Code(s) to ensure the health, safety and welfare of the residents, this shall include the installation of an automatic fire sprinkler system.
- (fH) In the event that the Arizona Department of Health Services, or any other state agency with such authority, revokes or terminates a person's license to operate ~~a residential setting care facility~~ AN ASSISTED LIVING HOME, then the person operating the ~~residential setting care facility~~ ASSISTED LIVING HOME shall immediately cease operations and inform the city of such revocation or termination of their license.
- (gI) The provisions of this section are not intended to apply to the following facilities licensed by the Arizona Department of Health Services. These facilities are to be treated as single-family residential units, subject to the provisions of A.R.S. § 36-582.
- (1) Residential facility, as defined by A.R.S. § 36-581;
 - (2) Group home, as defined by A.R.S. § 36-551; and
 - (3) Adult development home, as defined by A.R.S. § 36-551.

Amend SUDC Section 122-178 as follows:

[See attached leg-edit revisions to Section 122-178]

Add new definition for “Assisted Living Center”:

ASSISTED LIVING CENTER. AN ASSISTED LIVING FACILITY THAT PROVIDES RESIDENT ROOMS OR RESIDENTIAL UNITS TO ELEVEN OR MORE RESIDENTS.

Revise definition of “Assisted Living Facility”:

~~Assisted living facility. A special combination of housing, supportive services, personalized assistance and health care licensed and designed to respond to the individual needs of those who need help with activities of daily living. Supportive services may be available 24 hours a day to meet scheduled and unscheduled needs in a way that promotes maximum dignity and independence for each resident. The term does not include a convalescent care facility, nursing home or other special care facility.~~
RESIDENTIAL CARE INSTITUTION, INCLUDING AN ADULT FOSTER CARE HOME, THAT PROVIDES OR CONTRACTS TO PROVIDE SUPERVISORY CARE SERVICES, PERSONAL CARE SERVICES OR DIRECTED CARE SERVICES ON A CONTINUOUS BASIS.

Add new definition for “Assisted Living Home”:

ASSISTED LIVING HOME. AN ASSISTED LIVING FACILITY THAT PROVIDES RESIDENT ROOMS TO TEN OR FEWER RESIDENTS.

Add new definition for “Directed Care Services”:

DIRECTED CARE SERVICES. PROGRAMS AND SERVICES, INCLUDING SUPERVISORY AND PERSONAL CARE SERVICES, THAT ARE PROVIDED TO PERSONS WHO ARE INCAPABLE OF RECOGNIZING DANGER, SUMMONING ASSISTANCE, EXPRESSING NEED OR MAKING BASIC CARE DECISIONS.

Add new definition for “Health care institution”:

HEALTH CARE INSTITUTION. EVERY PLACE, INSTITUTION, BUILDING OR AGENCY, WHETHER ORGANIZED FOR PROFIT OR NOT, THAT PROVIDES FACILITIES WITH MEDICAL SERVICES, NURSING SERVICES, BEHAVIORAL HEALTH SERVICES, HEALTH SCREENING SERVICES, OTHER HEALTH-RELATED SERVICES, SUPERVISORY CARE SERVICES, PERSONAL CARE SERVICES OR DIRECTED CARE SERVICES AND INCLUDES HOME HEALTH AGENCIES AS DEFINED IN ARS § 36-151, OUTDOOR BEHAVIORAL HEALTH CARE PROGRAMS AND HOSPICE SERVICE AGENCIES.

Revise definition of “Nursing home”:

~~Nursing home CARE INSTITUTION. A health care facility INSTITUTION designed to provide lodging, meals, treatment, and skilled nursing care on a long term basis to individuals who, because of advanced age, chronic illness, or infirmity, are unable to care for themselves.~~
THAT PROVIDES INPATIENT BEDS OR RESIDENT BEDS AND NURSING SERVICES TO PERSONS WHO NEED CONTINUOUS NURSING SERVICES BUT WHO DO NOT REQUIRE HOSPITAL CARE OR DIRECT DAILY CARE FROM A PHYSICIAN.

Add new definition for “Nursing Services”:

NURSING SERVICES. MEANS THOSE SERVICES THAT PERTAIN TO THE CURATIVE, RESTORATIVE AND PREVENTIVE ASPECTS OF NURSING CARE AND THAT ARE PERFORMED AT THE DIRECTION OF A PHYSICIAN BY OR UNDER THE SUPERVISION OF A REGISTERED NURSE LICENSED IN THIS STATE.

Add new definition for “Personal Care Services”:

PERSONAL CARE SERVICES. ASSISTANCE WITH ACTIVITIES OF DAILY LIVING THAT CAN BE PERFORMED BY PERSONS WITHOUT PROFESSIONAL SKILLS OR PROFESSIONAL TRAINING AND INCLUDES THE COORDINATION OR PROVISION OF INTERMITTENT NURSING SERVICES AND THE ADMINISTRATION OF MEDICATIONS AND TREATMENTS BY A NURSE WHO IS LICENSED PURSUANT TO TITLE 32, CHAPTER 15 OR AS OTHERWISE PROVIDED BY LAW.

Add new definition for “Residential Care Institution”:

RESIDENTIAL CARE INSTITUTION. A HEALTH CARE INSTITUTION OTHER THAN A HOSPITAL OR A NURSING CARE INSTITUTION THAT PROVIDES RESIDENT BEDS OR RESIDENTIAL UNITS, SUPERVISORY CARE SERVICES, PERSONAL CARE SERVICES, BEHAVIORAL HEALTH SERVICES, DIRECTED CARE SERVICES OR HEALTH-RELATED SERVICES FOR PERSONS WHO DO NOT NEED CONTINUOUS NURSING SERVICES.

Add new definition for “Supervisory Care”:

SUPERVISORY CARE SERVICES. GENERAL SUPERVISION, INCLUDING DAILY AWARENESS OF RESIDENT FUNCTIONING AND CONTINUING NEEDS, THE ABILITY TO INTERVENE IN A CRISIS AND ASSISTANCE IN THE SELF-ADMINISTRATION OF PRESCRIBED MEDICATIONS.

Sec. 122-43. Zoning use matrix.

(a) *Purpose.* The purpose of the zoning use matrix is to classify uses on the basis of common functional characteristics and land use compatibility:

- (1) The matrix describes uses that are allowed in the zoning district. Properties may also be subject to overlay zoning district requirements. Overlay zoning districts address special siting, use and compatibility issues that require use and development regulations in addition to those found in the underlying zoning districts. As a result, an overlay zoning district may not permit all of the uses allowed in the underlying zoning district. If any regulation in an overlay zoning district is more restrictive than one required by the zoning district, the more restrictive standard applies;
- (2) The city manager or designee shall determine if uses not expressly listed in the matrix are significantly similar or dissimilar to particular uses, such as:
 - a. Uses that are found to be similar shall meet the same requirements as the related use listed in the matrix;
 - b. Uses that are found to be dissimilar, yet appropriate, shall require a text amendment.

(b) *Zoning use matrix.*

LAND USE GROUP	ZONING DISTRICTS	
	Permitted Use	Conditional Use
Agricultural, Ranching and Open Space Uses		
Agricultural Related Operations	RR	
Animal Hospitals, Clinic, and Boarding Facilities	CS, CC, CR, IP	RR, RE
Equestrian Center, Stables, and Riding Academies	CS, CC, CR	RR, RC,
Farm and Landscaping Equipment Sales, Service, or Storage	IP	RR
Farm Animal Keeping (Commercial)		RR
Farm Animal Keeping (Non-Commercial)	RR	
Graining, Milling, Drying, Storage	IP, IG	RR
Parks, Recreation, and Open Lands	All Districts	
Soil Crops (Commercial)	RR	
Residential Uses		
Assisted Living Facility CENTER	RM, RH, MU	
<u>ASSISTED LIVING HOME</u>	<u>RE, RR, RL,</u>	
Bed And Breakfast Establishments		RR, RE, RL, RM,
Campground		C-RS

LAND USE GROUP	ZONING DISTRICTS	
	Permitted Use	Conditional Use
Caretaker, Guest or Granny Flat Dwelling	RR, RE, RL,	
Congregate Care Facility	RM, RH, MU	
Group Home	RE, RR, RL,	
High Density Dwellings	RH, RC, MU	
Hotels, Timeshares	MU, CC, CR, C-	
Low Density Dwellings	RR, RE, RL, RC,	
Manufactured Homes	CC	
Medium Density Dwellings	RM, RC, MU	
Model Home Complex	RE, RL, RM,	
<u>NURSING CARE INSTITUTION</u>	<u>RM, RH, MU,</u>	
Recreational Vehicle Park		C-RS
Residential Setting Care Facility	RE, RR, RL,	
Retail and Service Uses		
Alcohol—Bar and/or Tavern, Microbrewery	MU, CN, CC,	
Alcohol—Beverage Retail Sales	MU, CC, CR, C-	
Ambulance Service	CC, CR, IP	
Ammunition and Firearms Sales	CC, CR, IP, IG	
Animal Hotel/Overnight stay	CC, CR	
Banks	CC, CR, MU,	CN
Cemetery—Pets (limited to small animals)		CC, CR, IP
Cemetery or Mausoleum		RE, RL, RM, RH,
Day Care Center—Child and/or Adult Care		RE, RL, RM, RH,
Drive-Through Facilities	CR, IP	CC
Funeral Home, Mortuary	CC, CR	MU
Gunsmith	IP	CR
Home Improvement Center (Typically home, lawn, and	CR, IP, IG	
Landscaping Materials—Sales and Storage	IP, IG, ILM	
Laundry or Dry Cleaning—Bulk Operation	IP, IG	

LAND USE GROUP	ZONING DISTRICTS	
	Permitted Use	Conditional Use
Linen/Uniform/Diaper Service (Pickup and Supply Only)	MU, CR, IP, IG	
Manufactured Home, Oversized Vehicle Sales, Service, or		CR, IP, IG
Massage—Therapeutic	MU, CC, CR, C-	
Medical Clinic or Laboratory	MU, CS, CN,	
Medical Hospital or Outpatient Facility	CR	
Medical Marijuana Dispensary		CC, CR, IP, IG, ILM
Medical Marijuana Dispensary Offsite Cultivation Facility		CC, CR, IP, IG, ILM
Medical Office	MU, CS, CN,	
Mobile Vending	CC, CR, BP, IP,	
Moving Company	IP, IG	
Nursery (Growing, display, or sale of plant stock, seeds, or	CC, CR, IP	
Pawn Shop/Resale Stores	CC, CR	
Personal Services Establishment (A facility for the sale of	MU, CC, CR	
Personal Services Establishment (Uses Listed Above)—Less	CS, MU, CN,	
Portable Building Sales	IG	
Restaurant—Sit-down (Principally for the sale and	CS, MU, CN,	
Restaurant, Convenience (Sale and consumption of food	CC, CR, IP	
Retail Shopping Establishment (Typical general merchandise	CC, CR	MU
Retail Shopping Establishment—Less than 5,000 sq. ft. (Uses	CS, MU, CN,	
Stone Monument—Retail and Wholesale	IP, IG, ILM	
Tattoo and/or Body Piercing Establishment	CR	CC
Taxi/Limo Service—Parking and Dispatch	IP, IG	
Taxidermist	IP, IG	
Truck and Heavy Equipment—Auction	IG	IP
Truck Stop—Full Service and Repair Permitted	IG	IP
Vehicle Auction	IP, IG	
Vehicle Fueling Stations	CC, CR, IP, IG,	CS, MU
Vehicle Service—Major Repair	IP, IG	CR

LAND USE GROUP	ZONING DISTRICTS	
	Permitted Use	Conditional Use
Vehicle Service—Minor Repair	IP	CC, CR
Vehicle Washing Facilities	CR, IP, IG	CN, CC
Vehicle Sales—Less than 15 (Facility for the display, service,		IP
Vehicle Sales—Large Scale (Uses Listed Above in Vehicle		CR, IP
Vehicle Storage for Recreational Vehicles		CR, IP, IG
Wholesale Shopping Establishment (Uses Listed Above in	CR	
Wireless Communication Systems		RE, RL, RM, RH,
Wrecker Service		IP, IG
Office Uses		
Call Center	MU, CR, BP	
Laboratory—Research and Testing	BP, IP, IG	
Office	CS, MU, CN,	
Office/Warehouse—(Front Office Flex Space)	CR, BP, IP, IG,	
Public/Quasi-Public Facility Uses		
Animal Shelter		RR, CS, CC, CR,
Clubhouse, Private including Lodges	CS, MU, CC, CR	
Community Facilities or Public Meeting Hall	RE, RL, RM,	
Convention Facilities	CR, C-RS, PF	
Correction Institution		ILM
Fairground and/or Stadium		CR, C-RS, IP, PF
Library	RL, RM, RH,	
Post Office	CS, MU, CN,	
Sanitary Landfill, Solid Waste Facility		ILM
State Vehicle Inspection Station	CC, CR, IP, IG,	
Utility Equipment Infrastructure	All Districts	
Education, Religious, and Assembly Uses		
Places of Worship	RL, RM, RH,	
Places of Worship (less than 5,000 sq. ft.)	RR, RE, RL,	

LAND USE GROUP	ZONING DISTRICTS	
	Permitted Use	Conditional Use
School—University or College		MU, CN, CC, CR,
School—Pre-K through 12		RC, RE, RL, RM,
School—Specialty or Trade		CC, CR, IP, IG
Recreational and Amusement Uses		
Amusement and/or Theme Park, Circus (permanent)		CR, C-RS
Archery Range—Indoor	IG, CR, IP	
Archery Range—Outdoor		IP, IG, ILM
Athletic or Fitness Club, Commercial Recreation Facilities	RH, MU, CC,	
Athletic or Fitness Club, Commercial Recreation Facilities	RL, RM, RH,	
Athletic Fields—Non-commercial	RL, RM, RH,	
Bingo Parlor	CC, CR	
Bowling Alley, Dance Hall, Pool Hall	MU, CC, CR, C-	
Galleries, Auditoriums, Museums	MU, CC, CR, C-	
Golf Course, Driving Range, and Miniature Golf Facilities,	MU, CC, CR, C-	
Racetrack		C-RS, IP, IG
Rifle and Pistol Range—Indoor Only	CR, IP, IG	
Sexually Oriented Businesses		IG, ILM
Skateboard Track—Outdoor Commercial, Go-Cart Track,	IP	CC, CR
Skating Rink—Ice or Roller Skating	CC, CR, IP	
Theater—Indoor including Dinner Theatres	MU, CC, CR, C-	
Theater—Outdoor including Drive-In and Amphitheaters	IP	CR, C-RS
Video Games—Commercial	MU, CN, CC,	
Zoos, Exotic Animal Keeping		RR, OS, PF, CR, IP
Transportation Uses		
Airport—Private		RR, IP, IG
Bus Terminal	CR, IP, IG	
Freight Depot	IG	
General Aviation Airstrips		IP, IG

LAND USE GROUP	ZONING DISTRICTS	
	Permitted Use	Conditional Use
Heliport		CR, IP
Parking and/or Storage—Long Term	IP, IG	
Passenger Depot	IP, IG	CR
Mixed Use Buildings		
Retail—Office	CS, MU, CC,	
Retail—Industrial (Retail 10% or less of Gross Floor Area)		BP
Retail—Industrial (Retail 20% or less of Gross Floor Area)		IP, IG
Retail—Residential/Office—Residential/Retail—Office—	RH, CS, MU	CN, CC, CR
Live-Work/Work-Live	RH, CS, MU	CN, CC, CR
Manufacturing and Process Uses		
Batch Plant, Paving Material Mixing Plant		ILM
Biotechnical—Manufacturing, Processing	IG	BP, IP
Brick, Clay, Concrete, or Similar Product—Manufacturing	IG, ILM	
Cabinet or Carpenter Shop, Millwork and Wood Products	BP, IP, IG	
Computer and Electronic—Manufacturing	BP, IP, IG	
Contractor Facility, including Storage	BP, IP, IG	
Grain—Milling, Drying, Storage	IP, IG	
Inside Manufacturing (All processing, fabricating, assembly,	BP, IP, IG	
Junkyard or Salvage Yard		ILM
Machine Shop	BP, IP, IG	
Metal Products—Manufacturing and Fabrication	BP, IP, IG	
Mining and Mineral Extraction		ILM
Paper Products—Manufacturing	BP, IG	
Mining and Mineral Extraction		ILM
Potentially Incompatible Use (Processes include, but are not		IG, ILM
Printer—Large Scale	BP, IP, IG	
Recycling—Indoor Collection Facility	IP, IG, ILM, PF	CR
Recycling—Outdoor Collection Facility	IP, IG, ILM, PF	

LAND USE GROUP	ZONING DISTRICTS	
	Permitted Use	Conditional Use
Recycling—Reverse Vending Machines	CC, CR, PF	
Recycling—Processing Facility	IG, ILM, PF	
Sand and Gravel Operation	ILM	
Stone Curing, Monument—Manufacturing	IG, ILM	
Tile, Roofing, and Waterproofing Products—Manufacturing	IG	
Warehousing	IP, IG	
Warehousing—Mini		BP, IP, IG, CR
Welding Shop	IP, IG	

Sec. 122-99. - ~~Residential setting care facility.~~ ASSISTED LIVING HOME.

~~For the purpose of this section, residential setting care facility shall mean a facility licensed by the Arizona Department of Health Services that provides supervisory care services, personal care services, or directed care services for ten or fewer persons in a residential setting. The limitation of ten or fewer persons does not include the operator of the facility, members of the operator's family, or persons employed as staff, except that the total number of all persons living and working at the facility shall not exceed 12 at any given time. When allowed, a~~ residential setting care facility ASSISTED LIVING HOME shall be subject to the following requirements:

(a) ~~Approvals required. An application shall be required to establish a residential care facility~~ AN ASSISTED LIVING HOME.

(b) THE ASSISTED LIVING HOME THAT IS THE SUBJECT OF THE APPLICATION SHALL BE LICENSED BY THE ARIZONA DEPARTMENT OF HEALTH SERVICES PRIOR TO THE FILING OF THE APPLICATION AND SHALL REMAINED SO LICENSED FOR AS LONG AS THE ASSISTED LIVING HOME IS IN OPERATION.

(c) THE LIMITATION OF TEN OR FEWER PERSONS DOES NOT INCLUDE THE OPERATOR OF THE FACILITY, MEMBERS OF THE OPERATOR'S FAMILY, OR PERSONS EMPLOYED AS STAFF, EXCEPT THAT THE TOTAL NUMBER OF ALL PERSONS LIVING AND WORKING AT THE FACILITY SHALL NOT EXCEED 12 AT ANY GIVEN TIME.

~~(b)~~ A residential setting care facility AN ASSISTED LIVING HOME located within a single-family residential zoning district shall comply with the following location and separation requirements:

(1) ~~A residential setting care facility with five or fewer residents~~ AN ASSISTED LIVING HOME shall not be located on a lot within ~~600-1200~~ feet, measured by a straight line in any direction, from another ~~residential setting care facility~~ ASSISTED LIVING HOME.

~~(2) A residential setting care facility with six or more residents shall not be located on a lot within 600 feet, measured by a straight line in any direction, from the lot line of another residential setting care facility; and shall not be closer than 1,200 feet along the street from another residential setting care facility that has six or more residents. The distance requirement along the street shall be measured from the street centerline, commencing on the centerline at a point that is determined to be the lot width midpoint of the subject property.~~

~~(3)~~ The separation requirements shall not apply to residential setting care facilities ASSISTED LIVING HOMES separated by arterial roads.

~~(4)~~ The separation requirements shall not apply to residential setting care facilities ASSISTED LIVING HOMES located within multi-family residential zoning districts.

~~(c)~~ A residential setting care facility AN ASSISTED LIVING HOME shall contain 300 square feet of overall space for each resident and bedrooms shall be a minimum of 120 square feet with no more than two persons per bedroom.

(dF) ~~A residential setting care facility~~ AN ASSISTED LIVING HOME shall not be permitted any signage, graphics, display, or other visual forms of identification, other than that permitted for a residential unit.

(eG) Any single-family residential unit utilized as ~~a residential setting care facility~~ AN ASSISTED LIVING HOME shall be fully improved and maintained pursuant to state law and in accordance with provisions of the adopted Surprise Municipal Code(s) to ensure the health, safety and welfare of the residents, this shall include the installation of an automatic fire sprinkler system.

(fH) In the event that the Arizona Department of Health Services, or any other state agency with such authority, revokes or terminates a person's license to operate ~~a residential setting care facility~~ AN ASSISTED LIVING HOME, then the person operating the ~~residential setting care facility~~ ASSISTED LIVING HOME shall immediately cease operations and inform the city of such revocation or termination of their license.

(gI) The provisions of this section are not intended to apply to the following facilities licensed by the Arizona Department of Health Services. These facilities are to be treated as single-family residential units, subject to the provisions of A.R.S. § 36-582.

- (1) Residential facility, as defined by A.R.S. § 36-581;
- (2) Group home, as defined by A.R.S. § 36-551; and
- (3) Adult development home, as defined by A.R.S. § 36-551.

Sec. 122-178. Definitions.

[The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:]

Amusement park. An outdoor facility, which may include structures and buildings, where there are various devices for entertainment, including rides, booths for the conduct of games or sale of items, and buildings for shows and entertainment.

Abandoned. The discontinuation of use for more than 90 days.

Abut. To border with or physically share a common property. This term shall not include parcels that are across a public way from each other.

Access. A way or means of vehicular or non-vehicular entry to or exit from a property.

Accessory building/structure. A subordinate structure or portion of the principal structure located on the same lot as the principal structure that is customarily incidental and subordinate to the principal structure. Where part of an accessory structure is connected to part of the principal structure in a substantial manner such as by a roof, the accessory structure shall be counted as part of the principal structure. Individual public utility installations aboveground are considered accessory structures.

Accessory use. A use of land or of a structure or portion thereof that is customarily incidental and subordinate to the principal use of the land or structure and that is located on the same lot as the principal use.

Acre. Forty-three thousand five hundred sixty square feet of land area.

Adjacent. Nearby, but not necessarily touching or abutting.

Adjoining. The condition of two or more land parcels having a common property line.

Agricultural oriented operations. Agriculturally oriented operations and facilities shall include as but are not limited to cotton gins, other than those gins that manufacture or process by-products; the storage, mixing and/or blending, sale and distribution of agricultural chemicals, but not the manufacture thereof; custom meat processing plants including slaughtering, butchering and temporary storage of products, but not including rendering or refining of by-products, storage of offal, tanning or storage of hides, wholesale or retail sales; storage and maintenance of specialized machinery and equipment used specifically in agriculture or rural areas;

Agricultural/ranching. The cultivation of the soil or the raising of livestock and all activities incidental thereto. The terms "farming" and "ranching" shall be interchangeable for purposes of this title.

Alley. A permanent public thoroughfare providing a secondary means of access to abutting lands.

Alter. To change or rearrange the structural elements or other features of a building.

Ambient light level. A general level of light or background light emitted from a light source in a given environment.

Amenity. A natural or created feature that enhances the aesthetic quality, visual appeal, activity, or attractiveness of an area.

Appurtenance. Any accessory or ancillary building, object or structure, fence, street furniture, fixture, vending machine, fountain, public artwork, bicycle rack or other such Fixture located on public property or in the public right-of-way.

Ancillary use. A use that is incidental to and customary associated with the principal use is located on the same lot or parcel as the principal use.

Apartment. One or more rooms with private bath and kitchen facilities comprising an independent, self-contained dwelling unit in a building containing more than five or more dwelling units.

Apartment building. A building, other than a hotel or motel, containing five or more dwelling units that have primary entrances from common hallways.

Applicant. The owner of land proposed to be subdivided, or his/her representative.

Arcade (architectural). A covered passageway located on the exterior, or around the periphery of a structure.

Archaeological feature. Any material remains of past human life or activities that are of historic or pre-historic significance. Such material includes, but is not limited to, pottery, basketry, bottles, weapons, weapon projectiles, tools, structures or portions of structures, pit houses, rock paintings, rock carvings, intaglios, graves, skeletal remains, or any piece of any of the foregoing items.

Architectural feature. A decorative element intended to enhance the building or structure and lend to the overall exterior form, context and appearance of the building or structure. Architectural features may include, but are not limited to balconies, canopies, columns, doors, eaves, porches, wing walls, or similar three-dimensional exterior element of a building or structure.

Area of shallow flooding. A designated AO zone on the flood insurance rate map (FIRM). The base flood depths range from one to three feet; a clearly defined channel does not exist; the path of flooding is unpredictable and indeterminate; and velocity flow may be evident.

ASSISTED LIVING CENTER. AN ASSISTED LIVING FACILITY THAT PROVIDES RESIDENT ROOMS OR RESIDENTIAL UNITS TO ELEVEN OR MORE RESIDENTS.

~~Assisted living facility. A special combination of housing, supportive services, personalized assistance and health care licensed and designed to respond to the individual needs of those who need help with activities of daily living. Supportive services may be available 24 hours a day to meet scheduled and unscheduled needs in a way that promotes maximum dignity and independence for each resident. The term does not include a convalescent care facility, nursing home or other special care facility.~~ RESIDENTIAL CARE INSTITUTION, INCLUDING AN ADULT FOSTER CARE HOME, THAT PROVIDES OR CONTRACTS TO PROVIDE SUPERVISORY CARE SERVICES, PERSONAL CARE SERVICES OR DIRECTED CARE SERVICES ON A CONTINUOUS BASIS.

ASSISTED LIVING HOME. AN ASSISTED LIVING FACILITY THAT PROVIDES RESIDENT ROOMS TO TEN OR FEWER RESIDENTS.

Auto reduction yard. A lot or yard where three or more unlicensed motor vehicles, or the remains thereof, are kept for the purpose of dismantling, sale of parts, sale as scrap, storage or abandonment.

Auto salvage yard. A junkyard primarily containing inoperable vehicles. (See "junkyard")

Automated teller machine (ATM). A facility to provide banking and other electronic services that are operated by the customer.

Automobile service center, major. A facility where the following types of services are performed: engine or drive train rebuilding or major reconditioning, and collision service, including body, frame or fender straightening or repair and/or painting of vehicles.

Automobile service center, minor. A facility where the sale of automotive fuels or oils, and the incidental repair and replacement of parts and motor services to automobiles are performed, but not including any operation specified under "Automobile Service Center, Major."

Automobile service station. An establishment with the primary business function of the retail sale of gasoline for passenger car use with or without minor service and repair work incidental to the operation of passenger automobiles.

Automobile washing establishment. A building that has its primary purpose as washing automobiles. Such facilities shall be considered incidental to automobile service stations if no more than one auto may be washed at one time and if the service station is clearly the principal use.

Baseflood, one hundred-year. The flood having a one percent chance of being equaled or exceeded in any given year.

Basement. A portion of a building located partly underground but having not less than one-half its floor-to-ceiling height below the average grade of the adjoining ground.

Berm. A mound of earth, usually three to six feet high, that is used to shield, screen and buffer undesirable views, separate incompatible land uses, and provide visual and landscape interest, decrease noise, control the direction of water flow and act as dams.

Bicycle circulation system. A system composed of bicycle paths and lanes which combine to provide a comprehensive means by which bicycles can travel within and through the City of Surprise.

"Big box" building. A large single, stand-alone building (50,000 square feet or larger) normally having a rectangular shape and a single use.

Block. A tract of land bounded by streets, or by a combination of streets and public parks, cemeteries, railroad rights-of-way, or boundary lines of municipalities.

Block frontage. All property fronting on one side of a street bounded between two streets or other natural or physical features.

Board. The Board of Adjustment of the City of Surprise.

Bollard. A thick, low, architecturally designed vertical post, or a series of vertical posts, that are placed to help define, or border, pedestrian and/or bicycle paths.

Bond. Any form of security including a cash deposit, surety bond, collateral, property, or instrument of credit in an amount and form satisfactory to the city council and meeting the requirements expressed elsewhere in the Surprise Municipal Code.

Buffering. The technique of providing landscape improvements on land set aside in a buffer area.

Building. Any structure having enclosed space and a roof for the housing and/or enclosure of persons, animals or chattels, except mobile homes, recreational vehicles and mobile offices. Building includes "structure". Also building can be any structure built for support, shelter or

enclosure of persons, animals, chattels, or movable property of any kind, and includes any structure.

Building area. The maximum horizontal projected area of the principal and accessory building, excluding open steps, terraces, unenclosed porches of one story, and architectural appurtenances projecting not more than two feet. Building area, as that portion of a lot upon which construction is permitted, is as follows: that area of a lot that lies within the boundaries of the front, side and rear yard setback requirements measured from the actual lot line.

Building, attached. A building having one or more party walls in common with another building when the principal use of each building is independent of the other and when no interior access exists from one building to another.

Building, detached. A building having no party wall in common or structural connection with another building.

Building elevation. The front-on view of any building or other structure from any side showing the relationship of the site grade to floor level, and such features as design, construction materials, height, dimensions, windows and doors.

Building envelope. That area of a lot lying between the front, rear and side yard setback lines and between ground level and the maximum allowable building height, amounting to a three-dimensional area available for potential building construction.

Building, front line of. The line of the face of a building nearest the front lot line.

Building frontage. The part of a building where the primary entry fronts a public street.

Building height. The vertical distance from the average contact ground level at the front wall of the building to the highest point of the coping of a flat roof, or to the deck line of a mansard roof, or to the mean height level between eaves and ridges for gable and hip or gambrel roofs.

Building line, front. The line nearest to the front and across a lot establishing the minimum open space to be provided between the front line of a building and the front lot line.

Building line, rear. The line nearest to the rear and across a lot establishing the minimum space to be provided between the rear line of a building and the rear lot line.

Building, nonconforming. A legally existing building which fails to comply with the regulations set forth in this title applicable to the zone in which the building is located.

Building, principal. A building in which is conducted the main, or principal, use of the lot on which said building is situated.

Building, public. A building, supported by government funds, to be used in an official capacity on behalf of the entire community.

Bus/transit shelter. A roofed structure having at least three walls that is located on or adjacent to the right-of-way of a street, and which is designed and used for the protection and convenience of waiting bus passengers.

Business. Engaging in of the purchase, sale, barter or exchange of goods, wares, merchandise or service; the maintenance or operation of offices or recreational or amusement enterprises.

Campground. Any area of land used to temporarily accommodate two or more camping parties, including cabins, tents, recreational vehicles or other camping outfits.

Capital improvements program. A proposed schedule of all future municipal improvement projects listed in order of construction priority together with cost estimates and the anticipated means of financing each project.

Construction plan. The maps or drawings accompanying a subdivision plat and showing the specific location and design of improvements to be installed in the subdivision in accordance with the requirements of the City of Surprise as a condition of the approval of the plat.

Carport. A structure, open on at least two sides, consisting of a roof and either walls or columns for the purpose of housing automotive vehicles and other chattels. Said structure shall be considered as an accessory building when detached from the principal building and as a part of the principal building when attached to the principal building along one or more sides of the carport or principal building.

Cemetery. Land used for the burial of the dead and dedicated for cemetery purposes, including crematories, mausoleums and mortuaries when operated in conjunction with and within the boundary of such cemetery.

Church. A building, together with its accessory buildings and uses, where persons regularly assemble for religious worship, and which building, together with its accessory buildings and uses, is maintained and controlled by a religious body organized to sustain public worship.

City. The City of Surprise, Arizona.

City council. The Governing Body of the City of Surprise.

City engineer. The professional engineer engaged by the City of Surprise.

Clinic. An establishment where patients are admitted for special study and treatment by one or more licensed physicians and/or dentists and their professional associates, as distinguished from a "professional office" for general consultation purposes. The term does not include a hospital or facility in which patients are cared for or stay overnight.

Club, private (nonprofit). A nonprofit association of persons who are bona fide members paying annual dues which owns, hires or leases a building, or a portion thereof, the use of such premises being restricted to members and their guests.

Cluster development. A development design technique that concentrates buildings in specific areas on the site to allow the remaining land to be used for recreation, common open space, and preservation of environmentally sensitive features.

Commission. The planning and zoning commission of the city. Also referred to as planning and zoning commission.

Common area open space. Intimately-scaled open space areas such as terraces, courtyards, atriums, arcades, plazas, etc. that are normally associated with building entries and/or interior open spaces of office, commercial and multi-family residential developments.

Community character. The image by which the community is distinguished from other communities and viewed by those living in and passing through the community as defined by such factors as its built environment, natural features and open space elements, type of housing, architectural style, use of color and materials, streetscape, infrastructure and the type and quality of public facilities and services.

Community circulation system. The community's systems, structures and physical improvements that combine to move people, goods, water, air, sewage and power by such means as streets, highways, bicycle paths and lanes, pedestrian ways, railways, waterways, towers, airways, pipelines and conduits

Community correctional facility. A facility where lodging, meals, counseling, treatment, rehabilitation, and educational instruction or training is provided to adjudicated delinquents, parolees, and individuals in pre-release (transitional) or diversionary programs from, or in lieu of confinement in, correctional institutions.

Community design. The design of buildings, streets, open space, landscaping, signs, lighting, neighborhoods, and all other physical elements of the community that when combined, provide a unique identification and consistent character throughout the community.

Community development director. The individual charged by the governing body to administer this title.

Community open space system. The community's parks, playgrounds, active and passive recreational areas, natural features, and environmentally sensitive land areas that collectively provide a continuous and integrated system of open space.

Comprehensive development guide. The document (Surprise Comprehensive Development Guide), or part thereof, officially adopted by the Surprise City Council which provides for the development of the city and which indicates the general locations recommended for major roadways, parks, public utilities and buildings, and land uses.

Connectivity. The measure describing the level to which streets, streetscapes, pedestrian/bicycle paths, community open space and other similar uses link with one another.

Convenience food restaurant. An establishment whose principal business is the sale of foods, frozen desserts or beverages to the consumer in a ready-to-eat state for consumption either within the premises or for carry-out with consumption either on or off the premises and whose design or principal method of operation include both of the following characteristics:

- (1) Foods, frozen desserts or beverages are usually served in edible containers or in paper, plastic or other disposable containers.
- (2) The customer is not served food at his/her table by an employee but receives it at a counter, window or similar facility for carrying to another location for consumption either on or off the premises.

Conditional use permits. Legal authorization to undertake a conditional use as defined by this title.

Construction plan. The maps or drawings accompanying a subdivision plat and showing the specific location and design of improvements to be installed in the subdivision in accordance with the requirements of the City of Surprise as a condition of the approval of the plat.

Council. The City Council of the City of Surprise. Also referred to as the governing body.

Cul-de-sac. A local street with only one outlet and having an appropriate terminus for the safe and convenient reversal of traffic movement.

Corporate counsel. The attorney of the city or any assistant or special counsel of said city.

Curb bulb. Generally rounded extensions of a curb located at a street intersection that narrow the street by widening the sidewalk and/or the landscaped parking strip in order to make pedestrian street crossings shorter and easier, and to provide a visual narrowing along the roadway to help increase driver awareness and slow the movement of traffic in heavy pedestrian areas.

Curb-separated sidewalk. A sidewalk that is separated from the street by a landscaped area that is measured from the back of the street curb and runs continuously along the length of the street.

Day care center. A use where care is provided for pay for three or more unrelated children subject to the requirements of the State of Arizona.

Deep root barrier. A mechanical barrier that redirects tree root growth downward, eliminating the surface rooting that damages such expensive hardscapes as sidewalks, driveways, and street paving.

Density, gross. The number of residential dwelling units per unit of land.

Density, net residential. The number of residential dwelling units per unit of land, excluding any land used or to be used as arterial street rights-of-way or private nonresidential uses except parks, open space and recreational areas. For calculating net residential density, the following formula shall apply:

$$du / D = A - (c + i + s + a)$$

Where:

D = Residential density

du = Total number of dwelling units in project

A = Total site area (acres)

c = Total commercial land area (acres)

i = Total industrial land area (acres)

s = Reserved but undedicated school sites (acres)

a = arterial rights-of-way (acres)

Development. Any man-made change to improve or alter real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations.

Developer. The owner of land proposed to be subdivided, or his/her representative.

DIRECTED CARE SERVICES. PROGRAMS AND SERVICES, INCLUDING SUPERVISORY AND PERSONAL CARE SERVICES, THAT ARE PROVIDED TO PERSONS WHO ARE INCAPABLE OF RECOGNIZING DANGER, SUMMONING ASSISTANCE, EXPRESSING NEED OR MAKING BASIC CARE DECISIONS.

Drive access. The area between the curb of a street, or edge of the travelled portion of a street when no curb exists, and the right-of-way/property line over which the city will permit vehicular travel from the traveled portion of a street to an individual property, or off-street parking space(s).

Drive-in business. Any business in which people are provided a service or a product, where a sale is made without the customer being required to leave the vehicle. Such businesses include, but are not limited to, the following: drive-in theater, drive-in bank, drive-in laundry or dry cleaning pickup station, drive-in restaurant and any business offering "take-home" food services.

Duplex. See dwelling, two-family.

Dwelling. A building or portion thereof, used primarily for residential occupancy, including single-family, two-family, multiple-family dwellings and group homes, but not including hotels, motels or tourist homes.

Dwelling, single-family. A building used for residential occupancy by one family.

Dwelling, two-family. A building, or portion thereof, used for occupancy by two families living independently of each other with the units completely separated by a common wall, floor and/or ceiling. Also referred to as "duplex."

Dwelling, multifamily. A building, or portion thereof, used for occupancy by three or more families living independently of each other, with the units completely separated by a common wall, floor and/or ceiling.

Dwelling unit. A single unit providing complete independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking, and sanitation.

Easement. Authorization by a property owner for the use by another, and for a specified purpose, of any designated part of his/her property.

Escrow. A deposit of cash with the local government in lieu of an amount required and still in force on a performance or maintenance bond.

Façade. The exterior wall(s) of a building that is exposed to public view.

Family. One or more persons related by blood, marriage or adoption or not more than three unrelated persons living as a single housekeeping unit, as distinguished from a group occupying a hotel, motel, club, fraternity, sorority, lodging house or nursing home.

Fence. A barrier constructed of materials erected for the purpose of protection, confinement, enclosure or privacy.

Final plat. The map or plan or record of a subdivision and any accompanying material, as described in these regulations.

Flood insurance rate map (FIRM). The official map on which the Federal Insurance Administration has delineated both the areas of special flood hazards and the risk premium zones applicable to the community.

Flood insurance study. The official report in which the Federal Insurance Administration has provided flood profiles as well as the flood boundary-floodway map and the water surface elevation of the base flood.

Floodplain. That area encompassing the floodway area and the floodway fringe.

Floodproofing. Any combination of structural and nonstructural additions, changes or adjustments to properties and structures which reduce or eliminate flood damage or potential flood damage to lands, water and sanitary facilities, structures and contents of buildings.

Floodway, one hundred-year. The channel of a river or other watercourse and the adjacent land areas which must be kept free of encroachment in order to carry and discharge a flood of one hundred-year magnitude without substantial increases in flood height.

Floodway encroachment lines. The lines marking the limits of floodways on the zoning map.

Floodway fringe, one hundred-year. The area between the floodway and the one hundred-year flood boundary.

Frontage. That side of a lot abutting on a street or way and ordinarily regarded, as the front of the lot.

Garage, private. A detached accessory building, or portion of a main building, used for the storage of self-propelled vehicles where the capacity does not exceed three vehicles per family housed in the building to which such garage is accessory and not more than one-third of the total number of vehicles stored in such garage shall be commercial vehicles.

Garage, public. Any building or premises, except those defined herein as a private garage, used for the storage or care of motor vehicles; or where such vehicles are equipped for operation, repaired, or kept for rental, hire or sale.

Gateway. A designated major or minor thoroughfare entry to the City of Surprise that has been especially designed using unique and/or special landscape, architectural, sign and lighting treatments to project the city's image and inform visitors that they have arrived in Surprise.

General Plan. The City of Surprise 2020 General Plan.

Governmental use. Any use by the state or any political subdivision of the state for a governmental purpose, including but not exclusively, parks, schools, administrative offices, police or fire departmental use, water storage, pumping or recharge, sewage collection and treatment, maintenance yards, court facilities, libraries, community centers, youth centers, or recreational facilities.

Grade. The slope of a road, street or other public way, specified in percentage terms.

Gross floor area. The floor area within the inside perimeter of the exterior walls of the building under consideration, exclusive of vent shafts and courts, without deduction for corridors, stairways, closets, the thickness of interior walls, columns or other features. The floor area of a building, or portion thereof, not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above. The gross floor area shall not include shafts with no openings or interior courts.

Ground floor area. The square foot area of a building within its largest outside dimension computed on a horizontal plane at the ground floor level, exclusive of open porches, breezeways, terraces, garages, exterior stairways and secondary stairways.

Group home. A single, residential structure having common kitchen facilities occupied by persons having physical, mental, emotional or social problems and living together for the purpose of training, observation and/or common support.

Habitable floor. Any floor usable for living purposes, which includes working, sleeping, eating, cooking or recreation, or a combination thereof.

Hardscape. Any hardened and/or paved surface, such as a street, sidewalk, plaza or other similar surface, where the surface materials have been used to create unique patterns of color, design and texture for purposes of creating visual interest.

Hardware store. A business that sells goods or merchandise directly to the consumer that includes, but is not limited to, electrical components, plumbing components, mechanical components, lighting fixtures, exterior finishes, interior and exterior doors, windows, roofing material, lumber, interior decorating material, flooring, bathroom and kitchen fixtures, garden equipment/supplies and material, plants and flowers, fencing material, professional services as related to home improvements, and minor educational services.

HEALTH CARE INSTITUTION. EVERY PLACE, INSTITUTION, BUILDING OR AGENCY, WHETHER ORGANIZED FOR PROFIT OR NOT, THAT PROVIDES FACILITIES WITH MEDICAL SERVICES, NURSING SERVICES, BEHAVIORAL HEALTH SERVICES, HEALTH SCREENING SERVICES, OTHER HEALTH-RELATED SERVICES, SUPERVISORY CARE

SERVICES, PERSONAL CARE SERVICES OR DIRECTED CARE SERVICES AND INCLUDES HOME HEALTH AGENCIES AS DEFINED IN ARS § 36-151, OUTDOOR BEHAVIORAL HEALTH CARE PROGRAMS AND HOSPICE SERVICE AGENCIES.

High pressure sodium light. A light source commonly used in street lighting that emits an amber color.

Home occupation or profession. Any use conducted entirely within a dwelling and carried on solely by the occupants thereof, which use is clearly incidental and secondary to the use of the dwelling for residential purposes and which meets the requirements of this title.

Hospital. An institution for the diagnosis, treatment or other care of human ailments and includes sanitarium or clinic, provides such institution is operated by, or treatment is given, under direct supervision of a physician licensed to practice by the State of Arizona.

Hotel or motel. A building or portion thereof, or a group of buildings, in which lodging is provided and offered to transient guests for compensation; "hotel" or "motel" shall not include a lodging house.

Infill development. New development which is placed within an existing and already developed site or area.

Industry, heavy. Those industries whose processing of products results in the emission of any atmospheric pollutant, light flashes, or glare, odor, noise or vibration which may be heard and/or felt off the premises and those industries which constitute a fire or explosion hazard.

Industry, light. Those industries whose processing of products results in none of the conditions described for heavy industry.

Junkyard. Any place at which personal property is or may be salvaged for reuse, resale, or reduction or similar disposition and is owned, possessed, collected, accumulated, dismantled or sorted, including but not limited to: use of salvaged base metal or metals, their compounds or combinations; used or salvaged rope, bags, rags, glass, rubber, lumber, millwork, brick, automobiles, and similar property, which are used, owned or possessed for the purpose of wrecking or salvaging parts there from.

Kennel. Any lot or premises on which three or more dogs, cats or small domesticated animals of a single species over the age of eight weeks are kept; except that, in an R1-43 zone, a kennel shall not be considered to exist unless the number of such animals kept on a lot or premises is five or more per acre. Notwithstanding the foregoing sentence, the keeping of not more than four dogs, cats or small domesticated animals of a single species, for a noncommercial purpose such as hunting, tracking or exhibiting, shall not be considered the maintenance or operation of a kennel for the purposes of this title.

Land use compatibility. The avoidance of placing physical impact land uses such as power plants, airports, trash disposal sites, manufacturing facilities and/or any other uses that generate odors, noise, dust, excessive light and glare, adjacent to, or in close proximity of, more sensitive land uses already located in an area.

Light trespass. Excessive light that spills onto adjacent property, typically produced by stray light emanating from street lighting fixtures, illuminated signage and other outdoor lighting sources.

Loading and unloading bays. The off-street area required for the receipt of or distribution by vehicles of material or merchandise.

Lodging house. A building with more than two but not more than ten guest rooms where lodging with or without meals is provided for compensation.

Lot. A piece, parcel, plot, tract or area of land occupied or capable of being occupied by one or more principal buildings, and the accessory buildings or uses customarily incidental to them, and including the open spaces required under this title, and having its principal lot frontage on a street.

Lot, corner. A lot at a junction of and fronting on two or more intersecting streets.

Lot improvement. Any building, structure, place, work of art, or other object, or improvement of the land on which they are situated constituting a physical betterment of real property.

Lot, interior. A lot other than a corner or through lot.

Lot, through. A lot having frontage on two parallel or approximately parallel streets.

Lot coverage. The percentage of the lot area covered by buildings.

Lot depth. The horizontal distance of a line measured at a right angle to the front lot line and running between the front lot line and the rear lot line of a lot.

Lot ground level. For buildings having walls fronting on only one street, the elevation at the front lot line at the center of a wall fronting on the street; for buildings having walls fronting on more than one street, the average of the elevation of the front lot line at the center of all walls fronting on the streets; for buildings having no walls fronting on the street, the average level of the ground adjacent to the exterior walls of the building.

Lot line, front. In the case of an interior lot, a line separating the lot from the street, and in the case of a corner lot, a line separating the narrowest street frontage of the lot from the street.

Lot line, rear. A lot line which is opposite and most distant from the front lot line and, in the case of an irregular or triangular shaped lot, a line ten feet in length within the lot, parallel to and at the maximum distance from the front lot line.

Lot line, side. Any lot boundary line not a front lot line or a rear lot line.

Lot width. The distance as measured in a straight line, between side lot lines at the points of intersection with the building line.

Manufactured home. A structure built after June 15, 1976, in accordance with the U.S. Department of Housing and Urban Development and the State of Arizona Building and Fire Safety Department specifications.

Manufactured housing subdivision. A subdivision, of not less than ten acres, designed and intended for the sale of lots for residential occupancy in manufactured or modular homes.

Manufacturing. The creation of products either with machinery or by hand according to an organized plan and with the division of labor.

Master site circulation plan. A plan that depicts all on-site streets, pedestrian ways and bicycle paths proposed for development, including site entries and exits, designated fire lanes, street lighting, loading and unloading areas for any commercial, office and industrial sites, pavement treatment and markings and directional signage; as well as the relationship of the on-site circulation system to surrounding streets serving the development and any adjoining projects.

Medical marijuana. All parts of the genus cannabis whether growing or not, and the seed of such plants that may be administered to treat or alleviate a qualifying patient's debilitating medical condition or symptoms associated with the patient's debilitating medical condition.

Medical marijuana cultivation. The process by which a person grows a marijuana plant.

Medical marijuana designated caregiver cultivation location. An enclosed, locked facility, such as a closet, room, greenhouse, or other enclosed area equipped with locks, that does not exceed 50 square feet of cultivation space where a designated caregiver, as defined by A.R.S. § 36-2801(5), cultivates marijuana.

Medical marijuana dispensary. A not-for-profit entity defined in A.R.S. § 36-2801(11), that acquires, possesses, cultivates, manufactures, delivers, transfers, transports, supplies, sells, dispenses, or otherwise provides medical marijuana or related supplies and educational materials to cardholders as defined in A.R.S. § 36-2801(2).

Medical marijuana dispensary offsite cultivation facility. An enclosed, locked facility where marijuana is cultivated by a medical marijuana dispensary as referenced in A.R.S. § 36-2804(B)(1)(b)(ii).

Medical marijuana infusion facility. A facility that incorporates medical marijuana into consumable/edible goods by the means of cooking or blending.

Medical marijuana qualifying patient. A person who has been diagnosed by a physician as having a debilitating medical condition as defined in A.R.S. § 36-2801(13).

Medical marijuana qualifying patient cultivation location. An enclosed, locked facility, such as a closet, room, greenhouse, or other enclosed area equipped with locks, that does not exceed 50 square feet of cultivation space where a qualifying patient, as defined by A.R.S. § 36-2801(13), cultivates marijuana.

Metal halide light. A light source commonly used for street lighting that emits a good quality white light.

Mining. The extraction of sand, gravel or other material from the land in the amount of 400 cubic yards or more and the removal thereof from the site without processing.

Mixed-use development. A single building containing more than one type of land use; or a single development project having more than one building and land use in which the different land uses are located in close proximity to one another, the project is planned and designed as a unified total project, and the development is functionally integrated to enable the use of shared vehicular and pedestrian access and parking areas.

Mobile home. A structure built prior to June 15, 1976, on a permanent chassis, capable of being transported in one or more sections and designed to be used with or without a permanent foundation as a dwelling unit when connected to on-site utilities, except recreational vehicles and factory-built buildings.

Mobile home park. A parcel of land not less than ten acres, licensed and designed in whole or part, with or without charge, for the accommodations of mobile and/or manufactured homes.

Mobile home space. A plot of ground within a mobile home park designed for the accommodation of one mobile home.

Mobile home stand. That portion of an individual mobile home space which has been reserved for the placement of a mobile home and structures or additions appurtenant to the mobile home.

Mobile office. A factory-assembled structure or structures exceeding eight feet in width, originally equipped with the necessary service connections, and originally made so as to be readily movable as a unit or units on its (their) own running gear and designed to be used as an office without a permanent foundation, whether or not said running gear has been removed.

Modular or sectional home. A multi-sectional unit built to the Uniform Building Code standards, not to exceed two stories in height, that when joined together forms a residence (dwelling unit) for human occupancy that measures not less than 24 feet in width and 40 feet or longer in length and placed on a permanent foundation, as defined in the State of Arizona Manufactured Housing Standards. The space between the floor line and the grade must be enclosed to resemble a permanent wall. The roof shall have a pitch of not less than two inches vertical rise to each 12 inches of horizontal run. Roofing, siding and elevations shall be similar in appearance and kind to those used in conventional homes.

Model home. A dwelling unit used initially for display purposes which typifies the units that will be constructed in the subdivision.

Multi-modal. One or more means of traveling within or through a community to include automobiles, buses, trolley, rail, bicycles and any other means of moving persons and goods by a surface, overhead or underground means of transportation.

Municipality. The City of Surprise, as incorporated by state law.

New construction. Structures for which the "start of construction" commenced on or after the effective date of the ordinance codified in this chapter.

Nonresidential subdivision. A subdivision whose intended use is other than residential, such as commercial or industrial.

Noxious matter or material. Material capable of causing injury to living organisms by chemical reaction or capable of causing detrimental effects on the physical or economic well-being of individuals.

~~*Nursing-home*~~ CARE INSTITUTION. A health care facility ~~designed to provide lodging, meals, treatment, and skilled nursing care on a long-term basis to individuals who, because of advanced age, chronic illness, or infirmity, are unable to care for themselves.~~ THAT PROVIDES INPATIENT BEDS OR RESIDENT BEDS AND NURSING SERVICES TO PERSONS WHO NEED CONTINUOUS NURSING SERVICES BUT WHO DO NOT REQUIRE HOSPITAL CARE OR DIRECT DAILY CARE FROM A PHYSICIAN.

NURSING SERVICES. MEANS THOSE SERVICES THAT PERTAIN TO THE CURATIVE, RESTORATIVE AND PREVENTIVE ASPECTS OF NURSING CARE AND THAT ARE PERFORMED AT THE DIRECTION OF A PHYSICIAN BY OR UNDER THE SUPERVISION OF A REGISTERED NURSE LICENSED IN THIS STATE.

Office. Structures, or portions of structures, in which commercial activities take place but where goods are not produced, sold or repaired. These include: banks; general and professional offices; governmental offices; insurance offices; real estate offices; taxicab offices, but not taxi stands; travel agency or transportation ticket offices; telephone exchange; utility offices; radio broadcasting and similar uses.

Off-site. Any premises not located within the area of the property to be subdivided, whether or not in the same ownership of the applicant for subdivision approval.

One hundred-year flood. The highest level of flooding that, on the average, is likely to occur once every 100 years (i.e., that has a one percent change of occurring each year).

Open sales (or rental) lot. Any land used or occupied for the purpose of buying, selling or renting for use away from the premises, any goods, materials or merchandise, and for the exterior storing of same prior to sale or rental.

Open space. Land and water areas intended to provide light and air, and which have been retained and designed, depending upon the specific situation, for environmental, scenic, conservation and/or active and passive recreational purposes.

Open space, active. Land and water areas specifically designed as an activity-based recreational area to include boating, water sports, sports fields, local and community parks having picnic, playground, recreational and support components, golf courses and pedestrian, hiking, bicycle and equestrian trails.

Open space, passive. Land and water areas that are either partially improved, undeveloped or in a natural state that are intended for scenic, environmental, conservation, and/or resource protection; and include such resource-based activities as nature study, nature trails, and any other activities requiring a natural condition that cannot easily be duplicated by human actions.

Ordinance. Any legislative action, however denominated, of a local government which has the force of law, including any amendment or repeal of any ordinance.

Overlay zone. A zone superimposed upon an underlying zone and which establishes special requirements in addition to those of the underlying zone. Development or use of land or structures must conform to the requirements of both zones or the more restrictive of the two, if in conflict.

Out parcel. A separate, leased or owned, land parcel that is part of a larger planned commercial, office or industrial center that has been set aside, usually along street frontage, for purposes of developing a freestanding restaurant, bank, gasoline service station, drug store or other support service use to supplement the primary uses in the center.

Owner. Any person, group of persons, firm or firms, corporation or corporations, or any other legal entity having legal title to or sufficient proprietary interest in the land sought to be subdivided under these regulations.

Parapet wall. A low wall generally running around the perimeter of a flat roof building at the roofline.

Parking area, public. An open area, other than a street or alley designated for use, or used, as temporary parking of four or more vehicles when available for public use, whether free or for compensation or as an accommodation for clients or customers.

Parking bay. A paved parking area used for on-street parking on local residential streets that is placed on alternating sides of the street within a modified street right-of-way, and designed to accommodate three to four cars.

Parking cluster. The smallest parking increment of a larger off-street parking lot, designed as a heavily tree-shaded parking area to accommodate 50 or less cars and separated from other parking clusters by pedestrian walkways.

Parking space, off-street. A space designated for the temporary parking of a motor vehicle not on the right-of-way or alley but accessible from a street or alley.

Park strip. The landscaped area between sidewalk and curb along a public street.

Party wall. Any wall of a building or structure which is common to two or more buildings.

Paved parking space or surface. An area covered by an impervious dust-free surface of asphalt or concrete designed to specifications of the city engineer.

Paving enhancement. A material and/or color used in the pavement design of a street or parking area to provide visual interest.

Pedestrian friendly. An environment in which conflict between the automobile and pedestrian is minimized or eliminated through the provision of a comprehensive means of vehicular-separated pedestrian travel that is fast, attractive and comfortable for a wide range of age and abilities groups; and by the design of buildings and other uses in a manner that is sensitive to the needs of the pedestrian.

Perimeter street. Any existing street to which the parcel of land to be subdivided abuts on only one side.

PERSONAL CARE SERVICES. ASSISTANCE WITH ACTIVITIES OF DAILY LIVING THAT CAN BE PERFORMED BY PERSONS WITHOUT PROFESSIONAL SKILLS OR PROFESSIONAL TRAINING AND INCLUDES THE COORDINATION OR PROVISION OF INTERMITTENT NURSING SERVICES AND THE ADMINISTRATION OF MEDICATIONS AND TREATMENTS BY A NURSE WHO IS LICENSED PURSUANT TO TITLE 32, CHAPTER 15 OR AS OTHERWISE PROVIDED BY LAW.

Personal and convenience services. Businesses offering services such as barber shops, beauty shops, laundromats, laundry and dry cleaning pickup and delivery stations (but excluding actual laundry operations), and similar uses.

Persons. Includes any individual or group of individuals, corporations, partnerships, associations, or any other organized group of persons, including state and local governments and agencies thereof.

Plant nursery, wholesale. A facility where live plants are grown or propagated for sale to retail operators.

Plat. A map, chart, survey, plan or replat certified by a licensed, registered land surveyor containing a description of the subdivided land with ties to permanent monuments.

Plaza. A large, paved, pedestrian entry setting for a building containing seating areas, fountains, sculpture works, trees, and landscaping that is generally open to the public and used for relaxation and contemplative thought.

Preliminary plat. The preliminary drawing or drawings, described in this title, indicating the proposed manner of layout of the subdivision.

Property, personal property. Other than real property, consisting of things temporal and movable.

Property, real. Property consisting of buildings and/or land.

Public improvement. Any drainage ditch, roadway, parkway, sidewalk, pedestrian way, tree, lawn, off-street parking area, lot improvement, or other facility for which the City of Surprise may ultimately assume the responsibility for maintenance and operation, or which may effect an improvement where the responsibility rests with the City of Surprise.

Qualifying commercial and/or industrial developments. New or expanding developments that will be:

- Legal and conforming upon project completion;
- In possession of all required development approvals pursuant to city process, procedures and policies;
- Occupying vacant property or replacing dilapidated buildings, or if expanding will comply with the criteria for expanding existing businesses.

Recreational facility, outdoor. A long-term facility providing outdoor amusement and entertainment, including, but not limited to miniature golf, skateboard park, amusement park, go-cart race track, and batting cages.

Recreational vehicle. A vehicular type portable structure without permanent foundation, which can be towed, hauled or driven, primarily designed as temporary living accommodation for recreational, camping and travel use and including but not limited to travel trailers, truck campers, camping trailers and self-propelled motor homes.

Recreational vehicle park. A plot of ground upon which two or more sites are located, established or maintained for occupancy by the general public as temporary living quarters for recreation, education or vacation purposes.

Recycling—Indoor collection facility. An indoor facility where the public may donate, redeem, or sell recyclable materials with limited processing activities.

Recycling—Outdoor collection facility. A facility where the public may donate, redeem, or sell recyclable materials with limited processing activities.

Recycling—Processing. Baling, briquetting, cleaning, compacting, crushing, flattening, grinding, mechanical sorting, re-manufacturing, shredding, and/or preparation for shipment of recyclable materials.

Recycling—Processing facility. A structure or enclosed space used for the collection and processing of recyclable materials for shipment.

Recycling—Reverse vending machines. An automated mechanical device which accepts at least one or more type of empty beverage containers including, but not limited to aluminum cans, glass and plastic bottles, and issues a cash refund or a redeemable credit slip.

RESIDENTIAL CARE INSTITUTION. A HEALTH CARE INSTITUTION OTHER THAN A HOSPITAL OR A NURSING CARE INSTITUTION THAT PROVIDES RESIDENT BEDS OR RESIDENTIAL UNITS, SUPERVISORY CARE SERVICES, PERSONAL CARE SERVICES, BEHAVIORAL HEALTH SERVICES, DIRECTED CARE SERVICES OR HEALTH-RELATED SERVICES FOR PERSONS WHO DO NOT NEED CONTINUOUS NURSING SERVICES.

Registered architect. An architect licensed and registered in the State of Arizona.

Registered engineer. An engineer licensed and registered in the State of Arizona.

Restaurant. Any restaurant (except a drive-in restaurant or a convenience food restaurant as defined in this section), coffee shop, cafeteria, short-order cafe, luncheonette, tavern, sandwich stand, drugstore and soda fountain serving food, and all other eating or drinking establishments provided that at least one-half of the total sales are derived from the sale of food.

Re-subdivision. A change in a map of an approved or recorded subdivision plat, if such change affects any street layout on such map or area reserved thereon for public use, or any lot line; or if it affects any map or plan legally recorded prior to the adoption of any regulations controlling subdivisions

Retail membership store. A retail store that sells goods or merchandise directly to the consumer via special membership retirement of the store, other than for resale.

Retail store. A business that sells goods or merchandise directly to the consumer, other than for resale.

Retention area. An area into which urban storm water runoff is collected and temporarily stored until it gradually infiltrates into the soil surrounding the area.

Right-of-way. A strip of land occupied or intended to be occupied by a street, crosswalk, railroad, road, electric transmission line, oil or gas pipeline, water main, sanitary or storm sewer main, trees, or for another special use.

Roadway. That portion of a street right-of-way intended for driving or parking.

Sale or lease. Any immediate or future transfer of ownership, or any possessory interest in land, including contract of sale, lease, intestate succession, or transfer, of an interest in a subdivision or part thereof, whether by metes and bounds, deed, contract, plat, map, lease, intestate succession, or other written instrument.

Sanitary landfill, solid waste facility. Sanitary landfills, waste tire collection sites, composting, and other uses approved by the state environmental agency.

School. Any pre-primary, primary or grammar, public, parochial or private school, high school; preparatory school or academy, public or founded, or owned or conducted by or under the sponsorship of a religious or charitable organization; private preparatory school or academy furnishing courses of instruction substantially equivalent to the courses offered by public high schools for preparation of admission to college or universities which award B.A. or B.S. degrees; junior college or university, public or founded or conducted by or under the sponsorship of a religious or charitable organization; or private school when not conducted as a commercial enterprise for the profit of individual owners or stockholders.

Screening. A solid or nearly solid barrier (i.e., wall, fence, plantings) constructed or installed for the purpose of visual separation.

Sensitive land areas. Land that encompasses wildlife habitats, wash corridors that replenish local groundwater, archaeological sites, unique plant environments, and scenic vistas.

Setback. The minimum horizontal distance between a building line and the street or lot line.

Sewer, public. Any sanitary sewer line owned and maintained by the city, whether or not installed by the city.

Sewer system, community. Any sanitary sewer system, whether treatment plant, septic tank or lagoon, designed with a sewer collection system to be used by a legally constituted association of property owners. The system may or may not be a public system.

Shared living. A dwelling unit designed to promote and allow for the independent living or no more than six related or unrelated 55 year old or older individuals. Residents have private bedrooms, but share the kitchen, dining and living rooms. No separate in-room kitchen facility for use by occupants is permitted. Shared living residences do not include any or all of the following: permanent live-in resident staff personnel; permanent supportive care services; or permanent personal nursing care on an around-the-clock basis.

Shared parking. When two or more users (such as a retail store, office, restaurant, or other similar user) share the same parking spaces rather than each having their own dedicated parking area.

Shelter care facility. A facility where short-term residential care services, including, but not limited to, temporary lodging, meals, and counseling, are provided to individuals and groups such as the homeless, pregnant teenagers, victims of domestic violence, neglected children, and runaways, for a time typically less than 30 days.

Shopping center. Any grouping of two or more principal retail uses, whether on a single lot or on abutting lots under multiple or single ownership and whether contained in one building or multiple buildings.

Sign. Any device providing identification, advertising or directional information for a specific business, service, product, person, organization, place or building. Included in this definition are graphic devices such as logos, attention attracting media such as banners or logo sculpture and obtrusive colored fascia or architectural elements.

Sign, freestanding. Any nonmovable sign not affixed to a building.

Sign, non-accessory. A sign which directs attention to a business, commodity, service or entertainment conducted, sold or offered at a location other than the premises on which the sign is located.

Sign, wall. A sign fastened to or painted on the wall of a building or structure in such a manner that the wall becomes the supporting structure for, or forms the background surface of, the sign and which does not project more than 12 inches from such building or structure.

Single-family residential area. An area developed solely for the construction of one-family homes.

Site plan. A drawing to a scale not less than one inch equals 100 feet showing the accurate location of all structures, streets, alleys and parking areas existing and proposed on subject property or any other information as may be required by this title.

For purposes of this chapter, site plans may be classified as major or minor site plans. All developments within the city except individual single-family and duplex residential units shall be subject to this chapter. A major site plan involves one or more of the following:

- a. Forty or more dwelling units in a multiple-family structure;
- b. Fifteen thousand or more square feet of office space, retail commercial space, service commercial space or industrial space;
- c. One or more buildings on one site for office use, retail commercial use, service commercial use or industrial use;
- d. Twenty thousand or more square feet of exterior storage of materials or goods;
- e. Parking for more than 80 vehicles.

Sketch plat. A sketch preparatory to the preparation of the preliminary plat (or final plat when deemed appropriate) to enable the subdivider to save time and expense in reaching general agreement with the planning and zoning commission as to the form of the plat and the objectives of these regulations.

Stable, private. Any building located on a lot which is designed, arranged, used or intended to be used for not more than four horses for the private use of the owner of the lot but shall not exceed 6,000 square feet in area.

Stable, public. A stable where horses are kept for remuneration, hire or sale.

Start of construction.

1. "Start of construction" means the first placement of permanent construction of a structure (other than a mobile home) on a site, such as the pouring of slabs or footings or any work beyond the stage of excavation. Permanent construction does not include land preparation, such as clearing, grading and filling, nor does it include the installation of streets and/or walkways; nor does it include excavation for a basement,

footings, piers, or foundations or the erection of temporary forms; nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not as part of the main structure.

2. For a structure (other than a mobile home) without a basement or poured footings, the "start of construction" includes the first permanent framing or assembly of the structure or any part thereof on its piling or foundation.
3. For mobile homes not within a mobile home park or mobile home subdivision, "start of construction" means the affixing of the mobile home to its permanent site. For mobile homes within mobile home parks or mobile home subdivisions, "start of construction" is the date on which the construction of facilities for servicing the site on which the mobile home is to be affixed (including, at a minimum, the construction of streets, either final site grading or the pouring of concrete pads, and installation of utilities) is completed.

Street.

- (1) A right-of-way, other than an alley, dedicated or otherwise legally established for public use, usually affording the principal means of access to abutting property.
- (2) A general term used to describe a paved right-of-way, municipally or privately owned, serving as a means of vehicular travel. Streets are classified by function as follows:
 - a. *Local street.* A street intended to serve and provide access exclusively to the properties abutting thereon, and not connecting with other streets in such a manner as to encourage through traffic.
 - b. *Collector street.* A street connecting local residential streets to each other, to community facilities and to principal or minor arterial streets.
 - c. *Principal, major and minor arterial streets.* Streets designed to carry large amounts of traffic across or through the city and designated as such by the comprehensive development guide.
 - d. *Service street.* A street running parallel to a freeway, expressway or other roadway, and serving abutting properties. Also called frontage road.

Street, dead-end. A street or a portion of a street with only one vehicular-traffic outlet.

Street frontage. Any property line separating a lot from a street.

Street, private. Any street that is not dedicated to the public and is to be maintained by a private entity.

Street, public. Any street which has been dedicated or is otherwise publicly owned by the city.

Streetscape. The general appearance of a block or group of blocks with respect to the structures, setbacks from public-rights-of-way, open space, landscaping, public art, lighting, signage, paving materials, street furnishings and other elements that contribute to the overall character and image of a city block.

Street furnishings. All items that are placed within the public right-of-way for both an aesthetic and functional purpose, including, but not necessarily be limited to, benches, bus shelters, trash receptacles, plant containers, kiosk signs, lighting fixtures, tree grates and guards, bicycle racks, bollards, fountains and public art.

Strip mall. A collection of several commercial buildings constructed as a single development, usually in a linear manner, with buildings placed at the rear of the development parcel and large fields of parking placed in front between the building and the thoroughfare

Structure. Anything constructed or erected which requires location above or below ground.

Structural alteration. Any change in the supporting members of a building, such as bearing walls or partitions, columns, beams or girders, or any change in the exterior walls or the roof.

Substantial improvement. Any repair, reconstruction or improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure either:

- (1) Before the improvement is started; or
- (2) If the structure has been damaged and is being restored, before the damage occurred.
- (3) For the purpose of this definition "substantial improvement" is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not alteration affects the external dimensions of the structure. The term does not, however, include either:
 - (4) Any project for improvement of a structure to comply with existing state or local health, sanitary or safety code specifications which are solely necessary to assure safe living conditions; or
 - (5) Any alteration of a structure listed on the National Register of Historic Places.

Subdivide. The act of dividing land into two or more parts by platting, or by metes and bounds description, into tracts of less than 36 acres for the purpose of: (1) sale for building purposes, (2) laying out of municipality or any part thereof, (3) adding to a municipality, (4) laying out suburban lots, or (5) resubdivision.

Subdivider. Any person who (1) having an interest in land, causes it, directly or indirectly, to be divided into a subdivision, or who (2) directly or indirectly, sells, leases or develops, or offers to sell, lease or develop, or advertises for sale, lease or development, any interest, lot parcel site, unit, or plat in a subdivision, or who (3) engaging directly or through an agent in the business of selling, leasing, developing or offering for sale, lease or development a subdivision or any interest, lot, parcel site, or plat in a subdivision, and who (4) is directly or indirectly controlled by, or under direct, or indirect common control with any of the foregoing.

Subdivision. Any land, vacant or improved, which is divided or proposed to be divided into four or more lots, parcels, sites, units, plots or interests or, if a new street is involved, any such property which is divided into two or more lots, tracts, or parcels of land or any such property, the boundaries of which have been fixed by a recorded plat, which is divided into two or more parts, for the purpose of offer, sale, lease or development, either on the installment plan or upon any and all other plans, terms and conditions, including resubdivision. Subdivision includes the division or development of residential and nonresidential zoned land, whether by deed, metes and bounds description, devise, intestacy, lease, map, plat, or other recorded instrument.

Subdivision agent. Any person who represents or acts for or on behalf of a subdivider.

Subdivision plat. The final map or drawings, described herein, on which the subdivider's plan of subdivision is presented to the planning and zoning commission and city council for approval and which, if approved, may be submitted to the county recorder for filing.

SUPERVISORY CARE SERVICES. GENERAL SUPERVISION, INCLUDING DAILY AWARENESS OF RESIDENT FUNCTIONING AND CONTINUING NEEDS, THE ABILITY TO INTERVENE IN A CRISIS AND ASSISTANCE IN THE SELF-ADMINISTRATION OF PRESCRIBED MEDICATIONS.

Temporary improvement. Improvements built and maintained by a subdivider during construction of the subdivision and prior to release of the performance bond

Terrace. A private or public, single or multi-level, hard surface building extension for outdoor use.

Tourist home (bed and breakfast). A building in which more than one, but not more than five, guest rooms are used to provide or offer overnight accommodations for transient guests for compensation.

Townhouse. A single-family dwelling constructed as part of a series of dwellings, all of which are either attached to the adjacent building and/or buildings by party walls, or are located immediately adjacent thereto without any visible separation between walls or roof; all of which dwellings may be located on individual separate lots, if individually owned, or upon a single lot, if under common ownership.

Townhouse cluster. A building consisting of three or more noncommunicating, attached one-family units placed side by side and/or back to back having a common wall between each two adjacent dwelling units.

Traffic calming. A technique or method of reducing traffic speeds and/or neighborhood cut-through traffic volumes that utilizes changes in street alignment, installation of barriers, and other physical measures such as speed humps, traffic circles, curb extensions and raised crosswalks to enhance street safety and livability and create a pedestrian-friendly environment.

Truck. A vehicle having a one ton chassis and capacity of no more than 10,000 pounds gross vehicle weight rating (GVWR).

Use. The employment or occupation of a building, structure or land for a person's service, benefit or enjoyment.

Use, conditional. Either a public or private use as listed herein which, because of its unique characteristics, cannot be properly classified as a permitted use in a particular district. After consideration in each case of the impact of such use upon neighboring land and of the public need for the particular use at the particular location, a permit for such conditional use may or may not be granted, with or without time limits, pursuant to the requirements of this title. A conditional use may be a principal use or an accessory use.

Use, nonconforming. An existing use of land or building which was legal prior to the effective date of the ordinance codified in this title but which fails to comply with the requirements set forth in this title applicable to the zone in which such use is located.

Use, permitted. A use which is lawfully established in a particular district or districts and which conforms with all requirements, regulations and performance standards of such district. A permitted use may be a principal use or an accessory use.

Use, principal. A use or structure which determines the predominant or major use of the lot on which it is located. A principal use may be either a permitted or a conditional use.

Variance. A modification or variation of the provisions of this title as applied to a specific piece of property. Dimensional variances only may be allowed; no variance regarding use of property shall be permitted; no variance decreasing lot area requirements shall be allowed. Variance may be permitted only by the board of adjustment.

Variance, dimensional. A departure from the terms of the zoning regulations pertaining to height or width of structures and size of yard and open spaces where such departure will not be contrary to the public interest and where, owing to conditions peculiar to the property because of its size, shape or topography, and not as a result of the action of the applicant, the literal enforcement of the zoning regulations would result in unnecessary and undue hardship.

View corridor. The area or areas along a street, pedestrian path, hiking trail or other such openings that allow for a clear and unobstructed view of or frames, highlights or accentuates, a prominent building, object, site, structure, scene, or panorama, patterns or rhythms of buildings, objects, sites or structures.

View-type fence. A fence that is constructed in a manner that allows for a clear view of an area beyond the fence from any angle.

Visibility triangle. The area at the intersection of streets in which a motorist's view must remain free of any visual obstruction.

Warehouse. An enclosed building designed and used primarily for the storage of goods and materials.

Warehouse, residential storage (mini-warehouse). Residential storage warehouse (mini-warehouse)" means a building or group of buildings in a controlled access and fenced or screened compound that contains relatively small storage spaces of varying sizes and/or spaces for recreational vehicles or boats, having individual, compartmentalized and controlled access for the dead storage of excess personal property of an individual or family generally stored in the residential accessory structures, when such building or group of buildings are not located on the lot of the residence.

Wrecking yard. A place, lot or area where the primary function is that of dismantling, storage, abandonment or sale of goods and materials as parts or scraps.

Yard. On the same lot with a principal building, which is open and unoccupied other than by steps, walks, terraces, driveways, lamp posts and similar structures, and unobstructed by structures, except as otherwise provided in this title.

Yard, corner side. A yard on a corner lot the area of which is bounded by a line extending from the front of the principal building (the front building line) to a point intersecting the side street right-of-way line (side lot line), then along said side lot line to a point intersecting the rear lot line, then along said rear lot line to a point intersecting the line formed by extending the wall of the nearest principal building paralleling the side lot line.

Yard, front. A yard extending across the full width of the lot between two side lot lines the depth of which is the least distance between the street right-of-way and the building line.

Yard, rear. A yard extending across the full width of the lot between two side lot lines and between the rear line and a parallel line tangent to the rear of the principal building and the depth of which is the least distance between the rear lot line and the parallel line.

Yard, side. A yard extending between the front building line and the rear building line, the width of which is the least distance between the side lot line and the nearest part of the principal building.



CITY OF SURPRISE
Planning and Zoning Commission

January 8, 2015 @ 6:00:00 PM

+ Back Print

Board Meeting Date: January 8, 2015

Contact Person: Hobart Wingard, Community Development

Submitting Department:

District: 2

Staff Recommendations: Approve

Consent	Regular	Public Hearing	x	Report/Discussion
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Agenda Wording:

Consideration and action on a renewal of a Conditional Use Permit for an ATT Wireless Communications Facility located at 19783 North Remington Drive at the Sun City Grand Desert Springs Golf Club.

Motion:

I move to approve a renewal of a Conditional Use Permit for an AT&T Wireless Communications Facility located at 19783 North Remington Drive and to adopt staffs findings.

Background:

The existing WCF was approved in 2005 and was subject to a condition that required a renewal of the CUP five (5) years after approval.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

ATTACHMENTS:

Click to download

- ☐ [FS14-361 - ATT SCG Remington WCF - PZ Staff Report](#)
 - ☐ [FS14-361 - ATT SCG WCF - Vicinity Maps](#)
 - ☐ [FS14-361 - Att SCG WCF - Plan and Elevations](#)
 - ☐ [FS14-361 ATT SCG WCF - Photos](#)
 - ☐ [FS14-361 - ATT SCG WCF Coverage Map w/WCF](#)
 - ☐ [FS14-361 ATT SCG WCF - Coverage Map w/o WCF](#)
-

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):

Bart Wingard - Planner

Eric Fitzer - Director



COMMUNITY DEVELOPMENT

Date: January 8, 2015

To: Planning and Zoning Commission

From: Eric Fitzer, Director
Lloyd Abrams, Long Range Planning Manager
Hobart Wingard, Planner
hobart.wingard@surpriseaz.gov 623-222-3156

Re: FS14-361, Sprint Wireless Communications Facility at Sun City Grand

Application Summary

The applicant is proposing to renew a Conditional Use Permit (CUP) for an AT&T Wireless Communications Facility (WCF) at the Sun City Grand Desert Springs Golf Club.

Location

The existing facility is located at 19753 North Remington Drive, at the Chaparral Center within the Sun City Grand Planned Area Development (PAD).

History

- On May 23, 1987, the subject property was annexed into the City of Surprise.
- On April 28, 1994 the Sun City Grand PAD was approved by the Mayor and City Council.
- On December 20, 2005, a CUP for a Cingular WCF at the Sun City Grand Sonoran Plaza was approved by the Planning and Zoning Commission.

Project Summary

The existing Sprint, previously Cingular, WCF facility located adjacent to the Sun City Grand Desert Springs Golf Club and consists of a block wall to screen equipment cabinets and antennae that are supported by a concealing monopalm structure.

The existing WCF was approved in 2005 and was subject to a condition that required a renewal of the CUP five (5) years after approval. The renewal of the WCF will include replacement of antennae and ground equipment for improved wireless service for the area without increasing the height of the monopole or area of the ground equipment.

Citizen Review Meeting

A citizen review meeting was held on December 10, 2014 at the Sun City Grand Sonoran Plaza Complex. A citizen review summary is attached.

Economic Impact Analysis

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

Department Review

All departments involved in the subject review are recommending the project for approval.

Staff Findings

1. Staff finds that the proposed CUP complies with Surprise Municipal Code, Section 122-112, regarding Wireless Communications facilities.
2. Staff finds that the proposed CUP complies with the Surprise General Plan.
3. Staff finds that the proposed CUP complies with the Sun City Grand PAD.

Recommendation

Staff recommends approval of the project.

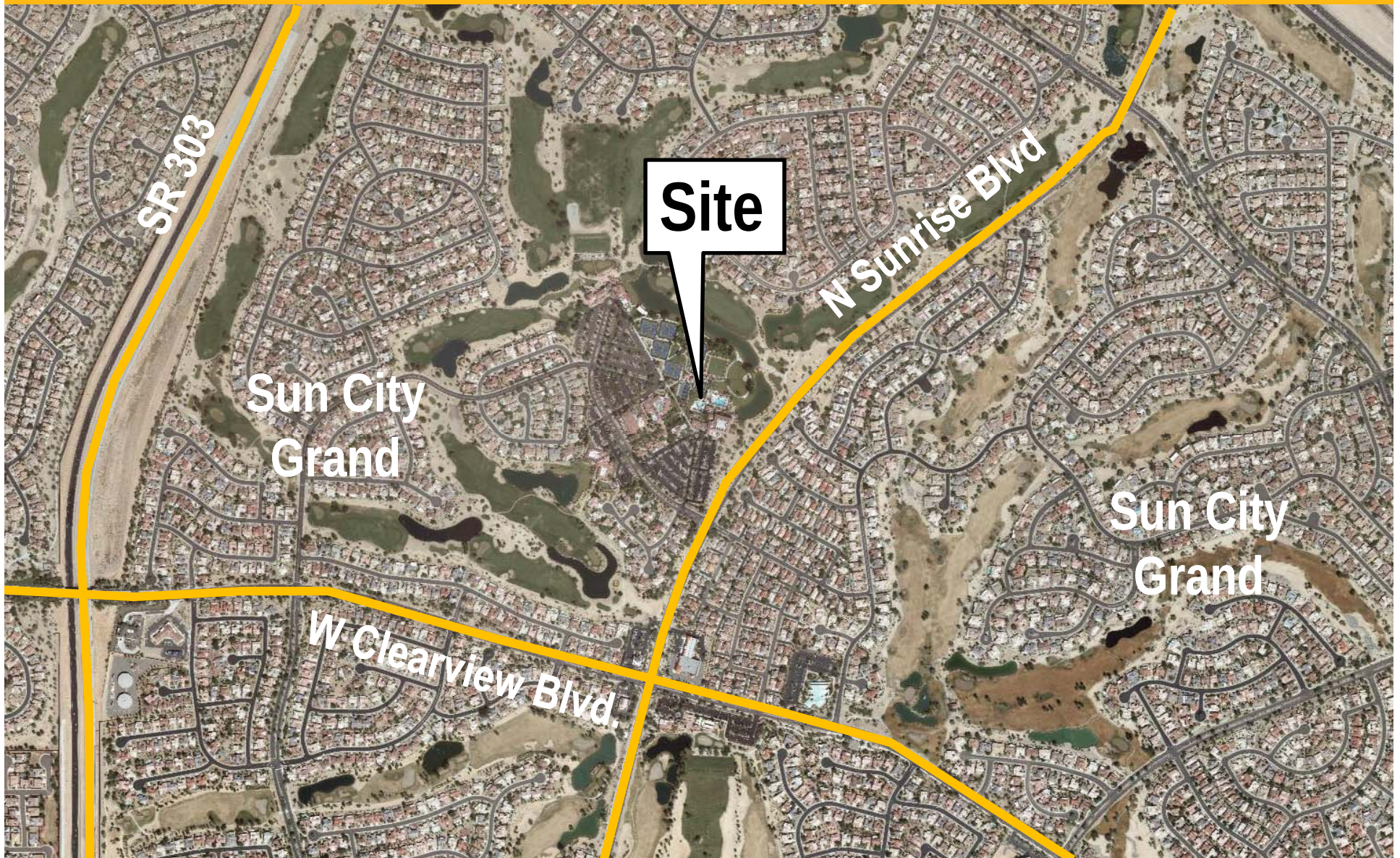
Attached

Vicinity maps, site plan, elevations, photographs, service maps, and Citizen Review Meeting Summary

VICINITY MAP



VICINITY MAP



VICINITY MAP



GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

PROJECT TEAM

CLIENT REPRESENTATIVE

COMPANY: SMARTLINK, LLC
ADDRESS: 605 WEST KNOX ROAD, SUITE 210
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ZONING / REAL ESTATE SPECIALIST

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ZONING / REAL ESTATE MANAGER

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ENGINEER

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RF ENGINEER

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E-MAIL: si5327@att.com

CONSTRUCTION MANAGER

COMPANY: AT&T
ADDRESS: 1355 WEST UNIVERSITY DRIVE
CITY, STATE, ZIP: MESA, AZ 85201-5419
CONTACT: CECIL GRAVES
PHONE: (458) 652-1261
E-MAIL: -

SITE INFORMATION

APPLICANT/LESSEE

AT&T
20830 N. TATUM BLVD., #400
PHOENIX, AZ 85050

TOWER OWNER

AT&T
20830 N. TATUM BLVD., #400
PHOENIX, AZ 85050

PROPERTY OWNER

COMPANY: SUN CITY GRAND COMMUNITY ASSOC., INC.
ADDRESS: 19783 N REMINGTON DRIVE
CITY, STATE, ZIP: SURPRISE, AZ 85374
CONTACT: ED HARROLD
PHONE: 623-546-7432

LATITUDE: 33° 39' 37.299" N

LONGITUDE: -112° 24' 16.699" W

LAT./LONG. TYPE: NAD 83

GROUND ELEVATION: 1293' AMSL

APN #: 232-32-413

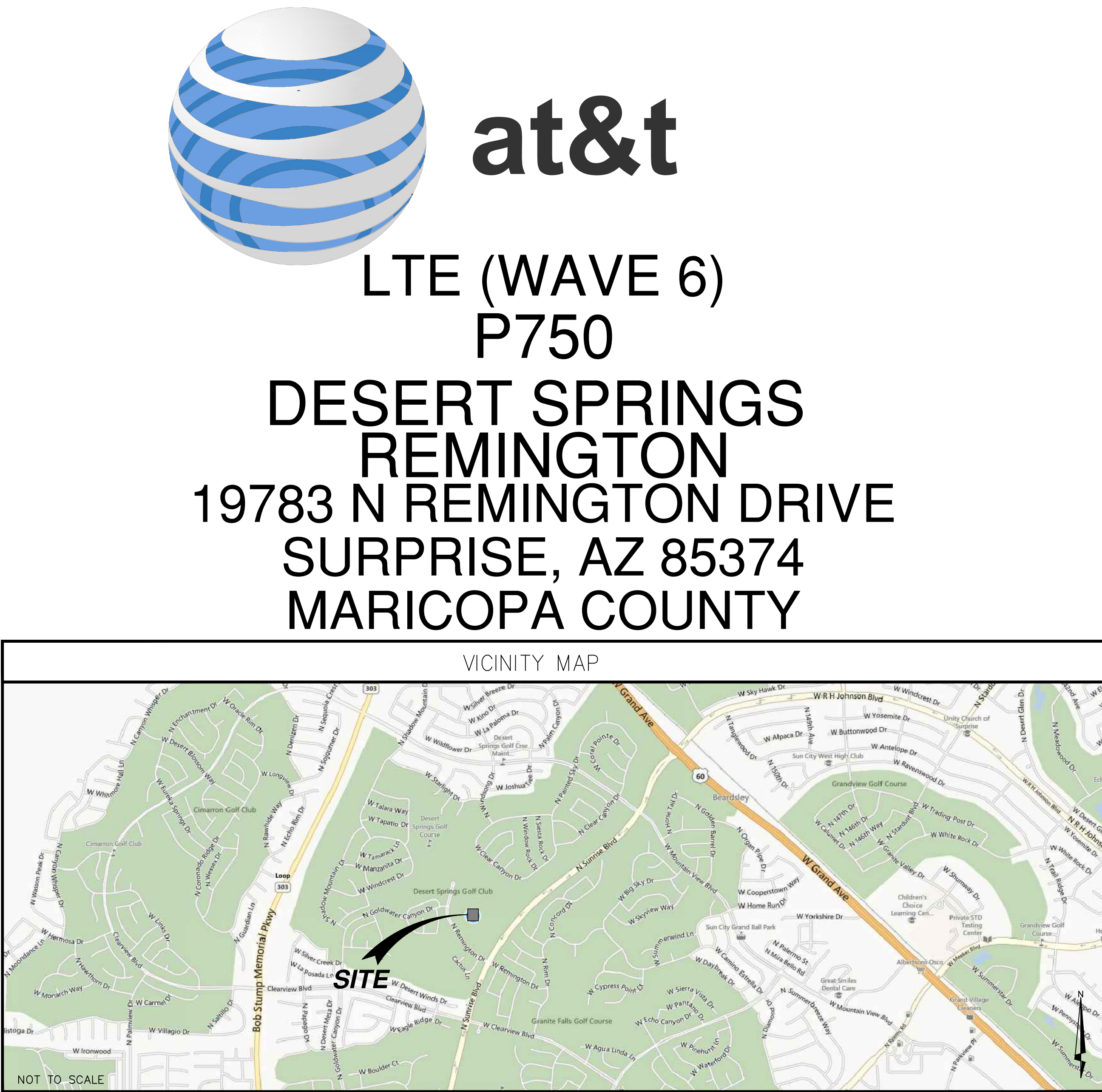
AREA OF CONSTRUCTION: EXISTING

ZONING/JURISDICTION: MARICOPA COUNTY

CURRENT ZONING: PAD

EXISTING USE: UNMANNED TELECOMMUNICATIONS FACILITY

HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.



DRIVING DIRECTIONS

FROM AT&T OFFICE: 1355 WEST UNIVERSITY DRIVE, MESA, AZ 85201-5419:
FROM THE AT&T OFFICE TAKE I-60 TO I-10. EXIT ON 19TH AVE AND MERGE LEFT ONTO GRAND AVE NORTH, TURN LEFT ONTO N SUNRISE BLVD, TURN RIGHT ONTO N REMINGTON DR, ARRIVE TO THE SITE ON THE RIGHT

CODE COMPLIANCE

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE: INTERNATIONAL BUILDING CODE 2012 (WITH CITY AMENDMENTS)

ELECTRICAL CODE: NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70
NATIONAL ELECTRICAL CODE 2011 (WITH CITY AMENDMENTS)
LIGHTNING PROTECTION CODE: NFPA 780 - 2000, LIGHTNING PROTECTION CODE

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES:
TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM
IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT
IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
TELCORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS
TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS
ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

APPROVALS

AT&T (RF): _____ DATE: _____

AT&T (CONST.): _____ DATE: _____

AT&T (OPS): _____ DATE: _____

LANDLORD: _____ DATE: _____

LANDLORD: _____ DATE: _____

SUMMARY RF EQUIPMENT

NUMBER OF SECTORS: 3
NUMBER OF ANTENNAS: 12
NUMBER OF TMA'S: 6
NUMBER OF RRH'S: 9
NUMBER OF FIBER/DC SQUIDS: 1
NUMBER OF DC SQUIDS: 1
NUMBER OF OPTICAL TRUNK CABLES: 1
NUMBER OF DC TRUNK CABLES: 3
NUMBER OF RF CABLES: 24

PROJECT DESCRIPTION

THIS PROJECT WILL BE COMPRISED OF:
CHANGES ON THE EXISTING MONOPALM PAIN TO MATCH:
• REPLACE EXISTING ANTENNAS, (2) PER SECTOR, (3) SECTORS, (6) TOTAL
• (12) NEW ANTENNAS, (4) PER SECTOR, (3) SECTORS, (12) TOTAL
• (3) NEW AT&T RRH'S PER SECTOR, (3) SECTORS; TOTAL OF (9) RRH'S
• (1) NEW FIBER/DC AND (1) DC ONLY SURGE SUPPRESSOR
• (1) FIBER AND (3) DC TRUNKS
• (6) EXISTING TMAS TO REMAIN

CHANGES IN THE EXISTING AT&T EQUIPMENT ENCLOSURE:
• (1) NEW LTE EQUIPMENT CABINET
• (1) NEW AT&T GPS ANTENNA MOUNTED TO THE EXISTING AT&T ICE BRIDGE
• REMOVE (E) SSC CABINET
• NEW DC POWER CABINET
• NEW BATTERY CABINET
• NEW PURCELL CABINETS (STACKED)

AC/DC SCOPE:
DC POWER PLAN REVIEW:
• INSTALL (1) GE MODEL RBA72 POWER/BATTERY CABINET [NEQ 15380] OUTFITTED WITH:
(1) GE INFINITY S'POWER SYSTEM [NEQ 16523], (7) GE -48V 50 AMP RECTIFIERS [NEQ 15577], (5) GE +24V 75 AMP DC/DC CONVERTERS [NEQ 13102] & (12) MARATHON M12V155FT BATTERIES (3-STRINGS -48V)

BATTERY CHECK:
• INSTALL (1) GE MODEL RBA72-36 BATTERY CABINET [NEQ 15502] WITH (20) EA. 5 - STRINGS -48V) MARATHON M12V155FT BATTERIES. INSTALL (1) GE MODEL RBA72-36 BATTERY CABINET INTERCONNECTION KIT [NEQ 16453]

A/C PANEL:
• INSTALL NEW 42 CKT LOAD CENTER WITH TVSS AND 200 AMP MCB AND INTERSECT CAMLOK (MFR/MODEL TBD) BRANCH CIRCUITS TO BE ROUTED FROM NEW LOAD CENTER TO GE RBA72, GE RBA72-36 AND BOTH PURCELL CABINETS

HVAC UNITS:
• OUTDOOR EQUIPMENT. NO UPGRADE REQUIRED

RFDS SHEET

DESIGN PACKAGE BASED ON RF DATA SHEET
RFDS NAME: AZPHU0750
REVISION: 4.2
ISSUED: 01/29/14

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	SPECIFICATIONS
T-3	GENERAL REQUIREMENTS, LEGEND & ABBREVIATIONS
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT & ANTENNA LAYOUTS
A-3	ELEVATIONS - EXISTING AND NEW
A-4	DETAILS
A-5	DETAILS
A-6	LTE ALARM BLOCK & SYSTEM DIAGRAM
A-7	CONNECTION DIAGRAM AND CONDUIT SIZES
E-1	ELECTRICAL PANEL AND ELECTRICAL NOTES
G-1	GROUNDING PLANS, DETAILS & NOTES
RF-1	LTE CROSS SECTOR REDUNDANCY

1355 WEST UNIVERSITY DRIVE
MESA, AZ 85201-5419

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED

605 WEST KNOX ROAD, SUITE 210
TEMPE, ARIZONA 85284
TEL: (602) 878-4875

3	08.07.14	PORCUPINE MOUNT
2	06.09.14	CONSTRUCTION DRAWINGS FINALS
1	01.27.14	REVISE RFDS
0	11.07.13	90% CONSTRUCTION DRAWINGS
REV.	DATE	REVISION DESCRIPTION

PROJECT INFORMATION:

**P750
DESERT SPRINGS
REMINGTON
19783 N REMINGTON DRIVE
SURPRISE, AZ 85374
MARICOPA COUNTY**

DRAWN BY: E.A.	CHECKED BY: VD
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SHEET TITLE:
TITLE SHEET

SHEET NUMBER: T-1	REV.: 3
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GENERAL CONSTRUCTION NOTES:

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION)
OWNER – AT&T MOBILITY
OEM – ORIGINAL EQUIPMENT MANUFACTURER
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF OWNER.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- DELETED.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
- CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. CONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE OWNER. ROUTING OF TRENCHING SHALL BE APPROVED BY OWNER.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
- ALL CONCRETE REPAIR WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301.
- ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS UNLESS OTHERWISE SPECIFIED. ALL CONCRETING WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
- ALL STRUCTURAL STEEL WORK SHALL BE DONE IN ACCORDANCE WITH AISC SPECIFICATIONS.
- CONSTRUCTION SHALL COMPLY WITH SPECIFICATION 24782-000-3APS-A00Z-00002, "GENERAL CONSTRUCTION SERVICES.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY CONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH OWNER. ALSO, WORK MAY NEED TO BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- SINCE THE CELL SITE MAY BE ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE REQUIRED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.

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CONCRETE AND REINFORCING STEEL NOTES:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, U.N.O.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH

CONCRETE EXPOSED TO EARTH OR WEATHER:

#6 AND LARGER

#5 AND SMALLER & WWF

CONCRETE NOT EXPOSED TO EARTH OR WEATHER, NOR CAST AGAINST THE GROUND:

SLAB AND WALL

BEAMS AND COLUMNS

3 IN.

2 IN.

1-1/2 IN.

3/4 IN.

1-1/2 IN.
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, U.N.O., IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.
- CONCRETE CYLINDER TEST IS NOT REQUIRED FOR SLAB ON GRADE WHEN CONCRETE IS LESS THAN 50 CUBIC YARDS (UBC 1905.6.1.3) IN THAT EVENT THE FOLLOWING RECORDS SHALL BE PROVIDED BY THE CONCRETE SUPPLIER:

(A) RESULTS OF CONCRETE CYLINDER TESTS PERFORMED AT THE SUPPLIER'S PLANT,

(B) CERTIFICATION OF MINIMUM COMPRESSIVE STRENGTH FOR THE CONCRETE GRADE SUPPLIED.

FOR GREATER THAN 50 CUBIC YARDS THE GC SHALL PERFORM THE CONCRETE CYLINDER TEST.

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SPECIFICATIONS

GROUNDING NOTES:

- THE CONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AHJ), THE SITE-SPECIFIC (UL, LPI, OR NFPA) LIGHTING PROTECTION CODE, AND GENERAL COMPLIANCE WITH TELCORDIA AND T1A GROUNDING STANDARDS. THE CONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE OWNER FOR RESOLUTION.
- ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
- THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR NEW GROUND ELECTRODE SYSTEMS. THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS. TESTS SHALL BE PERFORMED IN ACCORDANCE WITH 24782-000-3PS-EG00-0001, DESIGN & TESTING OF FACILITY GROUNDING FOR CELL SITES.
- METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
- EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS; 2 AWS STRANDED COPPER FOR OUTDOOR BTS.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
- APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED WITH STAINLESS STEEL HARDWARE TO THE BRIDGE AND THE TOWER GROUND BAR.
- ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS, WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
- ALL TOWER GROUNDING SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF ANSI/TIA 222. FOR TOWERS BEING BUILT TO REV C OF THE STANDARD, THE WIRE SIZE OF THE BURIED GROUND RING AND CONNECTIONS BETWEEN THE TOWER AND THE BURIED GROUND RING SHALL BE CHANGED FROM 2 AWG TO 2/0 AWG. IN ADDITION, THE MINIMUM LENGTH OF THE GROUND RODS SHALL BE INCREASED FROM 8 FEET TO 10 FEET.

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SITE WORK GENERAL NOTES:

- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
- ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE AT&T MOBILITY SPECIFICATION FOR SITE SIGNAGE.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL JURISDICTION'S GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

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ELECTRICAL INSTALLATION NOTES:

- WIRING, RACEWAY, AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
- CONTRACTOR SHALL MODIFY EXISTING CABLE TRAY SYSTEM AS REQUIRED TO SUPPORT RF AND TRANSPORT CABLEING TO THE NEW BTS EQUIPMENT. CONTRACTOR SHALL SUBMIT MODIFICATIONS TO OWNER FOR APPROVAL.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA, AND MATCH EXISTING INSTALLATION REQUIREMENTS.
- POWER PHASE CONDUCTORS (I.E., HOTS)SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). PHASE CONDUCTOR COLOR CODES SHALL CONFORM WITH THE NEC & OSHA AND MATCH EXISTING INSTALLATION REQUIREMENTS.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS WHERE PERMITTED SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES. USE LOW PROFILE TIE WRAPS.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (12 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED OUTDOORS, OR BELOW GRADE, SHALL BE SINGLE CONDUCTOR 2 AWG SOLID TINNED COPPER CABLE, UNLESS OTHERWISE SPECIFIED.
- POWER WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (12 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- NEW RACEWAY OR CABLE TRAY WILL MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- CABINETS, BOXES, AND WIREWAYS TO MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE OWNER BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODS AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.

DETAIL
NTS

115

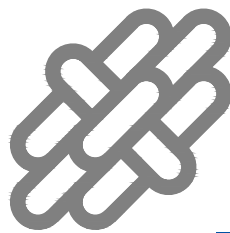
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1355 WEST UNIVERSITY DRIVE
MESA, AZ 85201-5419

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TEL: (602) 878-4875

3	08.07.14	PORCUPINE MOUNT
2	06.09.14	CONSTRUCTION DRAWINGS FINALS
1	01.27.14	REVISE RFDS
0	11.07.13	90% CONSTRUCTION DRAWINGS
REV.	DATE	REVISION DESCRIPTION



08/01/2014

PROJECT INFORMATION:

P750
DESERT SPRINGS
REMINGTON
19783 N REMINGTON DRIVE
SURPRISE, AZ 85374
MARICOPA COUNTY

DRAWN BY:	CHECKED BY:
E.A.	VD

SHEET TITLE:
SPECIFICATIONS

SHEET NUMBER:	REV.:
---------------	-------

T-2

3

STRUCTURAL STEEL NOTES:

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.
3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4"Ø) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.
6. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. THE ANCHOR BOLT DOWEL AND ROD SHALL BE STAINLESS STEEL WITH STAINLESS STEEL WASHERS.

DETAIL
NTS

620

SOIL COMPACTION NOTES FOR SLAB ON GRADE:

1. EXCAVATE AS REQUIRED TO REMOVE VEGETATION & TOPSOIL EXPOSE UNDISTURBED NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
2. COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.
3. AS AN ALTERNATIVE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
4. COMPACTED SUBBASE SHALL BE UNIFORM & LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100% PASSING 1" SIEVE.

COMPACTION EQUIPMENT:

HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING JACK COMPACTOR.

DETAIL
NTS

102A

- — — — — CENTERLINE
- CHAIN LINK FENCING
- CIRCUIT BREAKER
- A----- COAXIAL CABLE
- C----- COAXIAL CABLE, DASHED LINE INDICATES UNDERGROUND
- CONCRETE
- 2
E-3
- DISCONNECT SWITCH
- EARTH
- E----- (E) BRICK
- E ELECTRIC BOX
- E----- ELECTRICAL CONDUIT (POWER)
- ELEVATION REFERENCE
- (E) MASONRY
- EXISTING ANTENNA
- EXOTHERMIC CONNECTION (CADWELD) TO GROUND RING AND COMPRESSION TO GROUND HALO
- FND. MONUMENT
- FUSE
- GENERATOR
- GRAVEL
- GRID REFERENCE
- GROUND ACCESS WELL
- GROUND BUS BAR
- GROUND CONDUCTOR
- GROUND ROD
- GROUND ROD WITH ACCESS
- GROUNDING WIRE, DASHED LINE INDICATES UNDERGROUND
- GROUT OR PLASTER
- MONOPOLE
- LIGHT SWITCH
- MATCH LINE
- MECHANICAL GRND. CONN.
- NEW ANTENNA
- OH-E/T OVERHEAD SERVICE CONDUCTORS
- PLYWOOD
- PROPERTY/LEASE LINE
- REVISION
- SAND
- SECTION REFERENCE
- SET POINT
- SPOT ELEVATION
- STEEL
- TELEPHONE BOX
- TELEPHONE CONDUIT
- TELEPHONE LINE, DASHED LINE INDICATES UNDERGROUND
- UTILITY METER
- WOOD BLOCKING
- WOOD CONT.
- WORK POINT
- XIT GROUND ROD

LEGEND

ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION
A.B.	ANCHOR BOLT	FAB.	FABRICATION(OR)	PVC.	POLYVINYL CHLORIDE CONDUIT
ABV.	ABOVE	F.F.	FINISH FLOOR	PWR.	POWER (CABINET)
ACCA	ANTENNA CABLE COVER ASSEMBLY	F.G.	FINISH GRADE	QTY.	QUANTITY
ADD'L	ADDITIONAL	FIN.	FINISH(ED)	RAD.(R)	RADIUS
A.F.F.	ABOVE FINISHED FLOOR	FLR.	FLOOR	RAN.	RADIO ACCESS NODE
A.F.G.	ABOVE FINISHED GRADE	FDN.	FOUNDATION	REF.	REFERENCE
ALUM.	ALUMINUM	F.O.C.	FACE OF CONCRETE	REINF.	REINFORCEMENT(ING)
ALT.	ALTERNATE	F.O.M.	FACE OF MASONRY	REQ'D.	REQUIRED
ANT.	ANTENNA	F.O.S.	FACE OF STUD	RGS.	RIGID GALVANIZED STEEL
APPRX.	APPROXIMATE(LY)	F.O.W.	FACE OF WALL	RHW.	RACEWAY
ARCH.	ARCHITECT(URAL)	F.S.	FINISH SURFACE	SCH.	SCHEDULE
AWG.	AMERICAN WIRE GAUGE	FT.(')	FOOT(FEET)	SHT.	SHEET
BLDG.	MONOPOLE	FTG.	FOOTING	SIM.	SIMILAR
BLK.	BLOCK	G.	GROWTH	S.L.D.	SINGLE LINE DIAGRAM
BLKO.	BLOCKING	GA.	GAUGE	SPEC.	SPECIFICATION(S)
BM.	BEAM	GEN.	GENERATOR	SQ.	SQUARE
B.N.	BOUNDARY NAILING	GI.	GALVANIZE(D)	S.S.	STAINLESS STEEL
BTWC.	BARE TINNED COPPER WIRE	G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	STD.	STANDARD
B.O.F.	BOTTOM OF FOOTING	GLB.(GLU-LAM)	GLUE LAMINATED BEAM	STL.	STEEL
B/U	BACK-UP CABINET	GPS	GLOBAL POSITIONING SYSTEM	STRUC.	STRUCTURAL
C.	CONDUIT	GR.	GROWTH	TEL	TELEPHONE
CAB.	CABINET	GRND.	GROUND	TEMP.	TEMPORARY
CANT.	CANTILEVER(ED)	GSM.	GLOBAL SYSTEM MOBILE COMMUNICATIONS	THK.	THICK(NESS)
C.I.P.	CAST IN PLACE	HDR.	HEADER	TMLP	AT&T LIMITED PARTNERSHIP
CIGBE	COAX INSULATED GROUND BAR EXTERNAL CENTER LINE	HGR.	HANGER	T.N.	TOE NAIL
CL.	CEILING	HT.	HEIGHT	T.O.A.	TOP OF ANTENNA
CLG.	CLEAR	ICGB.	ISOLATED COPPER GROUND BUS	T.O.C.	TOP OF CURB
CLR.	CONDUIT ONLY	IGR.	INTERIOR GROUND RING (HALO)	T.O.F.	TOP OF FOUNDATION
CO.	COLUMN	IN.(")	INCH(ES)	T.O.P.	TOP OF PLATE (PARAPET)
COL.	COLUMN	INT.	INTERIOR	T.O.S.	TOP OF STEEL
CONC.	CONCRETE	LB.(#)	LAG BOLTS	T.O.W.	TOP OF WALL
CONN.	CONNECTION(OR)	L.F.	LINEAR FEET (FOOT)	TYP.	TYPICAL
CONST.	CONSTRUCTION	L.T.	LONG(ITU)DINAL	U.G.	UNDER GROUND
CONT.	CONTINUOUS	LTE.	LONG TERM EVOLUTION	U.L.	UNDERWRITERS LABORATORY
d	PENNY (NAILS)	MAS.	MASONRY	UMTS.	UNIVERSAL MOBILE
DBL.	DOUBLE	MAX.	MAXIMUM		TELECOMMUNICATIONS SYSTEM
DEPT.	DEPARTMENT	M.B.	MACHINE BOLT	U.N.O.	UNLESS NOTED OTHERWISE
D.F.	DOUGLAS FIR	MECH.	MECHANICAL	V.I.F.	VERIFY IN FIELD
DIA.	DIAMETER	MFR.	MANUFACTURER	W.	WIDE(WIDTH)
DIAG.	DIAGONAL	MGB	MASTER ISOLATED GROUND BAR	W/	WITH
DIM.	DIMENSION	MIN.	MINIMUM	WD.	WOOD
DWG.	DRAWING(S)	MISC.	MISCELLANEOUS	WP.	WEATHERPROOF
DWL.	DOWEL(S)	MTL.	METAL	WT.	WEIGHT
EA.	EACH	(N)	NEW	W.	CENTERLINE
EL.	ELEVATION	NO.(#)	NUMBER	W	PLATE
ELEC.	ELECTRICAL	N.T.S.	NOT TO SCALE		
ELEV.	ELEVATOR	O.C.	ON CENTER		
EMT.	ELECTRICAL METALLIC TUBING	OPNG.	OPENING		
E.N.	EDGE NAIL	P/C	PRECAST CONCRETE		
ENG.	ENGINEER	P.CS	PERSONAL COMMUNICATION SERVICES		
EQ.	EQUAL	PLY.	PLYWOOD		
EXP.	EXPANSION	PPC	POWER PROTECTION CABINET		
EXST.(E)	EXISTING	PRC	PRIMARY RADIO CABINET		
EXT.	EXTERIOR	P.S.F.	POUNDS PER SQUARE FOOT		
		P.S.I.	POUNDS PER SQUARE INCH		
		P.T.	PRESSURE TREATED		

GENERAL REQUIREMENTS

1 ABBREVIATIONS

2



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MESA, AZ 85201-5419

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3	08.07.14	PORCUPINE MOUNT
2	06.09.14	CONSTRUCTION DRAWINGS FINALS
1	01.27.14	REVISE RFDS
0	11.07.13	90% CONSTRUCTION DRAWINGS
REV.	DATE	REVISION DESCRIPTION



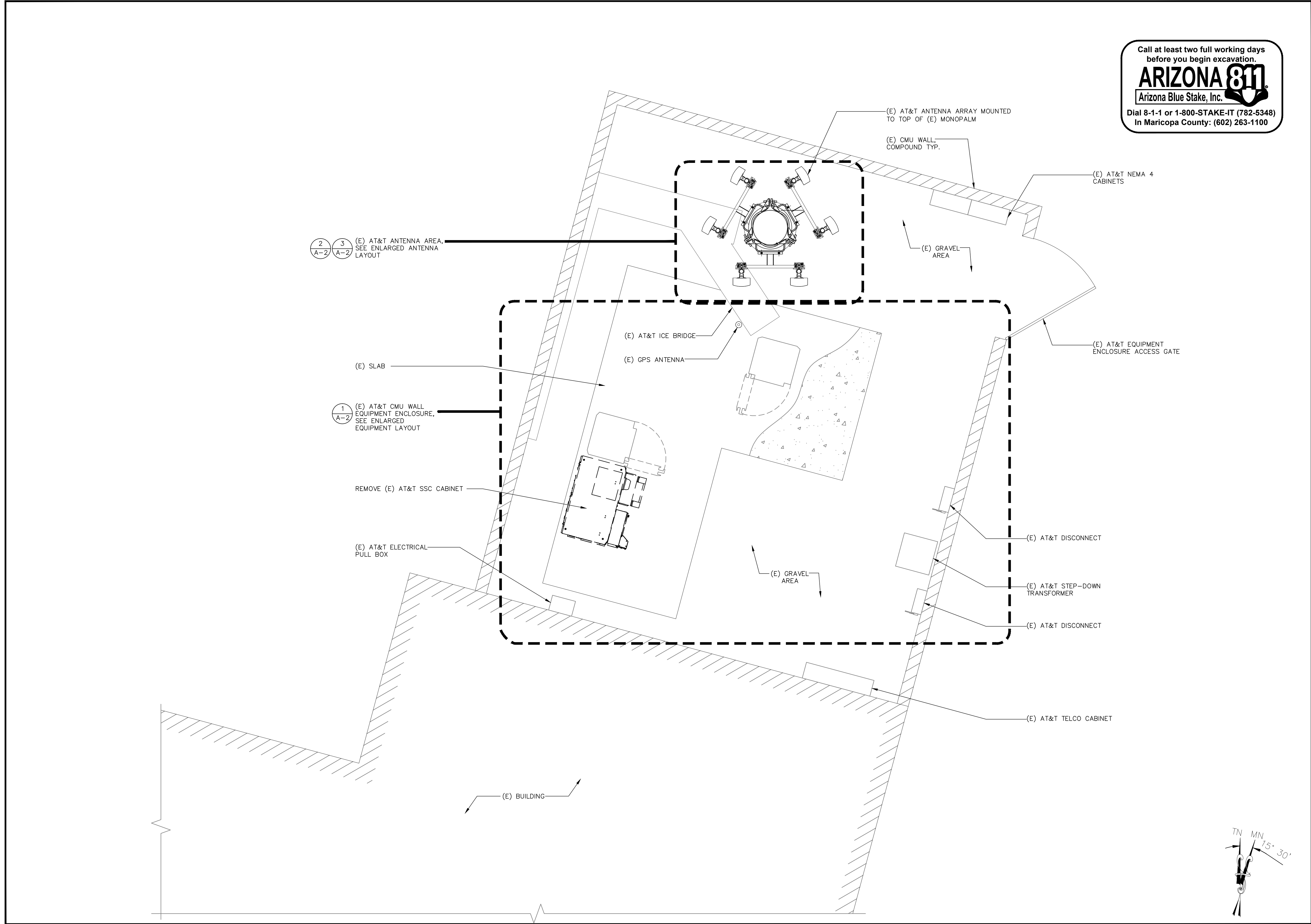
PROJECT INFORMATION:

P750
DESERT SPRINGS
REMINGTON
19783 N REMINGTON DRIVE
SURPRISE, AZ 85374
MARICOPA COUNTY

DRAWN BY: E.A.	CHECKED BY: VD
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SHEET TITLE:
GENERAL REQUIREMENTS,
LEGEND & ABBREVIATIONS

SHEET NUMBER: T-3	REV.: 3
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Call at least two full working days
before you begin excavation.
ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100



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TEL: (602) 878-4875

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MARICOPA COUNTY

DRAWN BY: E.A. CHECKED BY: VD

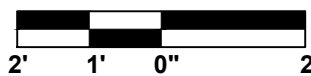
SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER: A-1 REV.: 3

ENLARGED SITE PLAN

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22"x34" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"



- NEW DC POWER CABINET
- NEW BATTERY CABINET
- NEW PURCELL CABINETS (STACKED)

AC/DC SCOPE:

DC POWER PLAN REVIEW:

- INSTALL (1) GE MODEL RBA72 POWER/BATTERY CABINET [NEQ 15380] OUTFITTED WITH:
(1) GE INFINITY S*POWER SYSTEM [NEQ 16523], (7) GE -48V 50 AMP RECTIFIERS [NEQ 15577], (5) GE +24V 75 AMP DC/DC CONVERTERS [NEQ 13102] & (12) MARATHON M12V155FT BATTERIES (3-STRINGS @-48V)

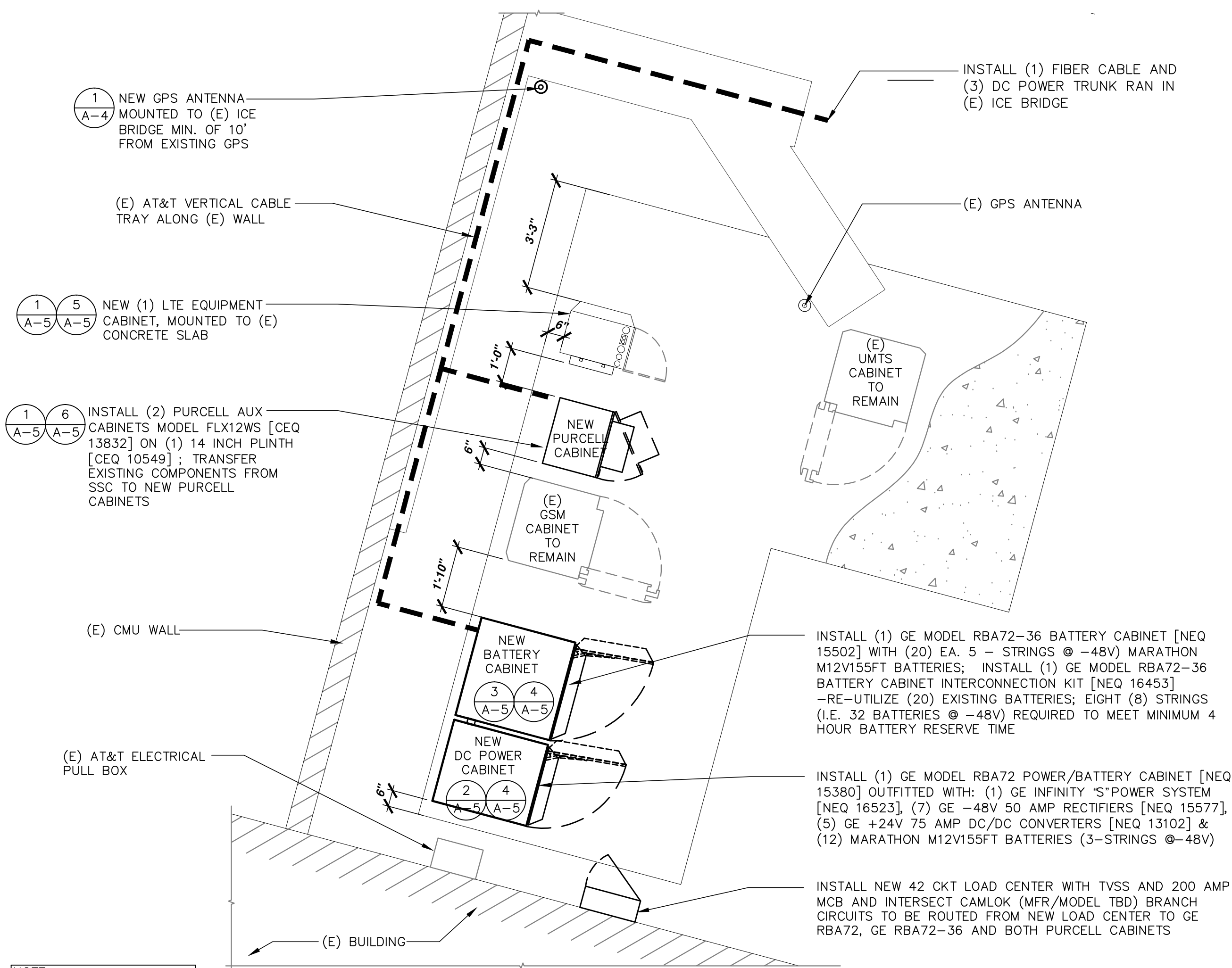
BATTERY CHECK:

- INSTALL (1) GE MODEL RBA72-36 BATTERY CABINET [NEQ 15502] WITH (20) EA. 5 - STRINGS @ -48V) MARATHON M12V155FT BATTERIES; INSTALL (1) GE MODEL RBA72-36 BATTERY CABINET INTERCONNECTION KIT [NEQ 16453]

A/C PANEL:

- INSTALL NEW 42 CKT LOAD CENTER WITH TVSS AND 200 AMP MCB AND INTERSECT CAMLOK (MFR/MODEL TBD) BRANCH CIRCUITS TO BE ROUTED FROM NEW LOAD CENTER TO GE RBA72, GE RBA72-36 AND BOTH PURCELL CABINETS

COAX TABLE:
-(18) EXISTING 7/8" COAX CABLE
-NO NEW COAX REQUIRED

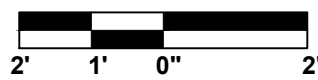


NOTE:
(E) CABLE TRAY NOT SHOWN FOR CLARITY

YES	NO	TYPICAL CONDUIT ROUTING SCHEDULE
X		(1) 2.5" DIA. GRC CONDUIT WITH (4) 4/0 DC CABLES FROM THE (E) DC PLANT TO THE NEW BATTERY CABINET
X		(1) 1.5" DIA. GRC CONDUIT WITH (2) 1/0 DC CABLES FROM THE (E) DC PLANT TO THE NEW LTE CABINET FOR POWER
X		(1) 1.5" DIA. GRC CONDUIT FROM THE LTE CABINET TO THE ICE BRIDGE FOR FIBER TO THE RRH UNITS
X		(1) 1.5" DIA GRC CONDUIT FROM THE EXISTING DC POWER PLANT TO THE ICE BRIDGE FOR DC POWER TO RRH UNITS
X		(2) 1" DIA. GRC CONDUITS FROM THE EXISTING DC POWER PLANT TO THE NEW LTE CABINET FROM FIBER BACK HAUL AND ALARMS.
X		(2) 1.5" DIA. GRC CONDUITS FROM THE DC POWER PLANT TO THE PURCELL CABINET

EQUIPMENT PLAN

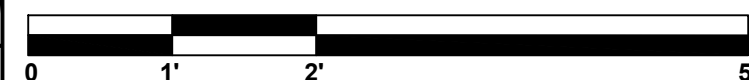
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11"x17" SCALE: 3/16" = 1'-0"



1

ANTENNA LAYOUT - NEW

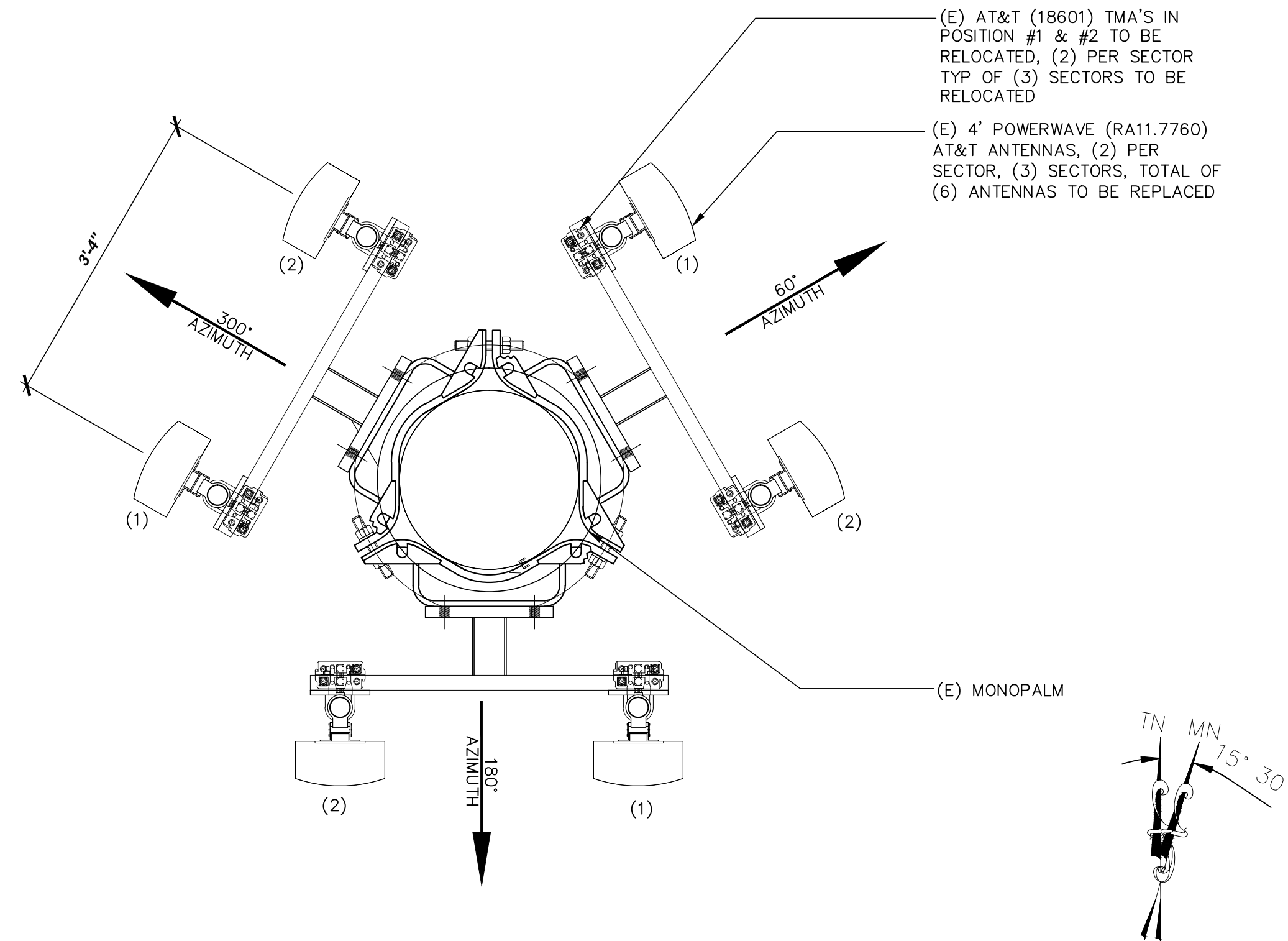
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3

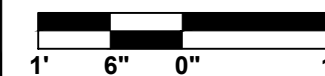
NOTE:

MONOPALM FRONDS NOT SHOW FOR CLARITY

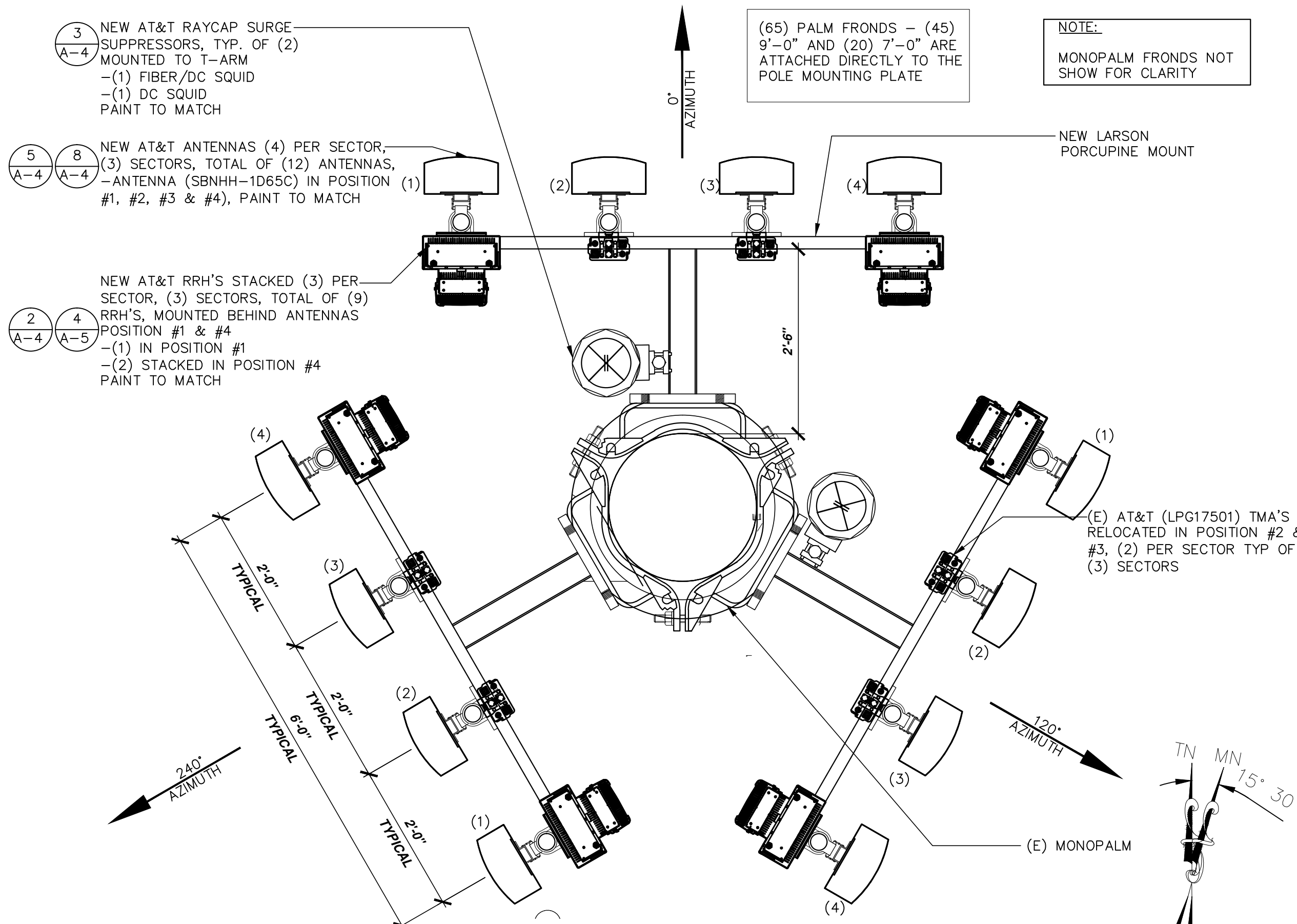


ANTENNA LAYOUT - EXISTING

22"x34" SCALE: 3/4" = 1'-0"
11"x17" SCALE: 3/8" = 1'-0"



2



1355 WEST UNIVERSITY DRIVE
MESA, AZ 85201-5419

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P750
DESERT SPRINGS
REMINGTON
19783 N REMINGTON DRIVE
SURPRISE, AZ 85374
MARICOPA COUNTY

DRAWN BY:
E.A.

CHECKED BY:
VD

SHEET TITLE:

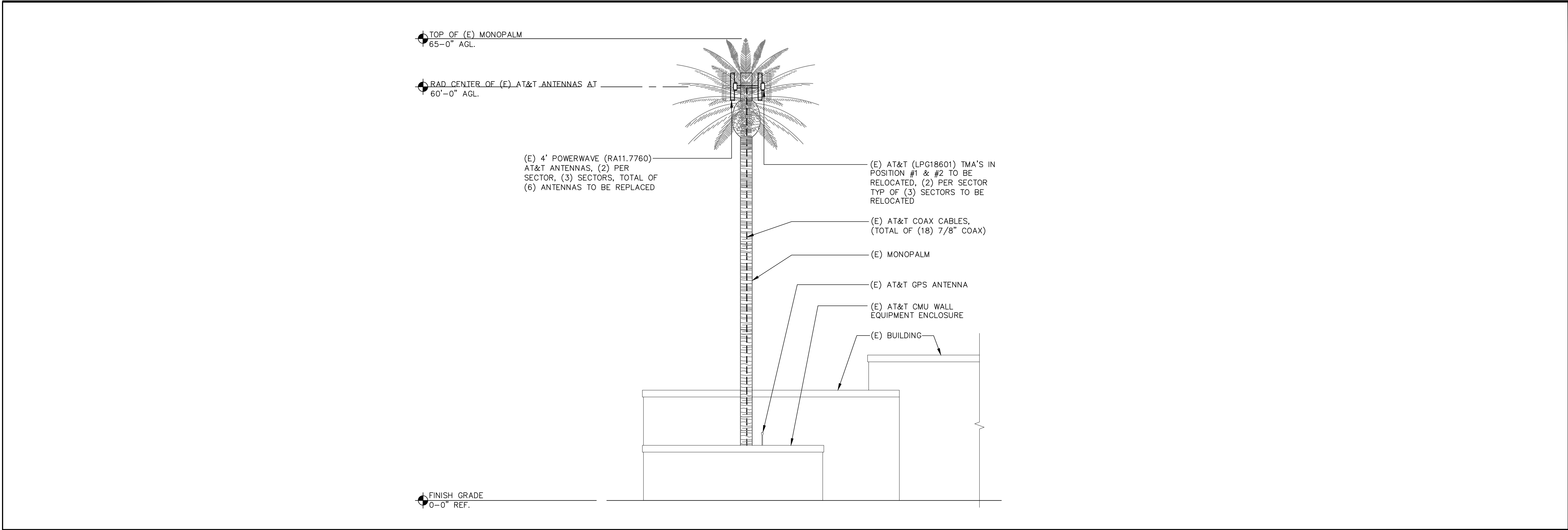
EQUIPMENT AND
ANTENNA LAYOUTS

SHEET NUMBER:

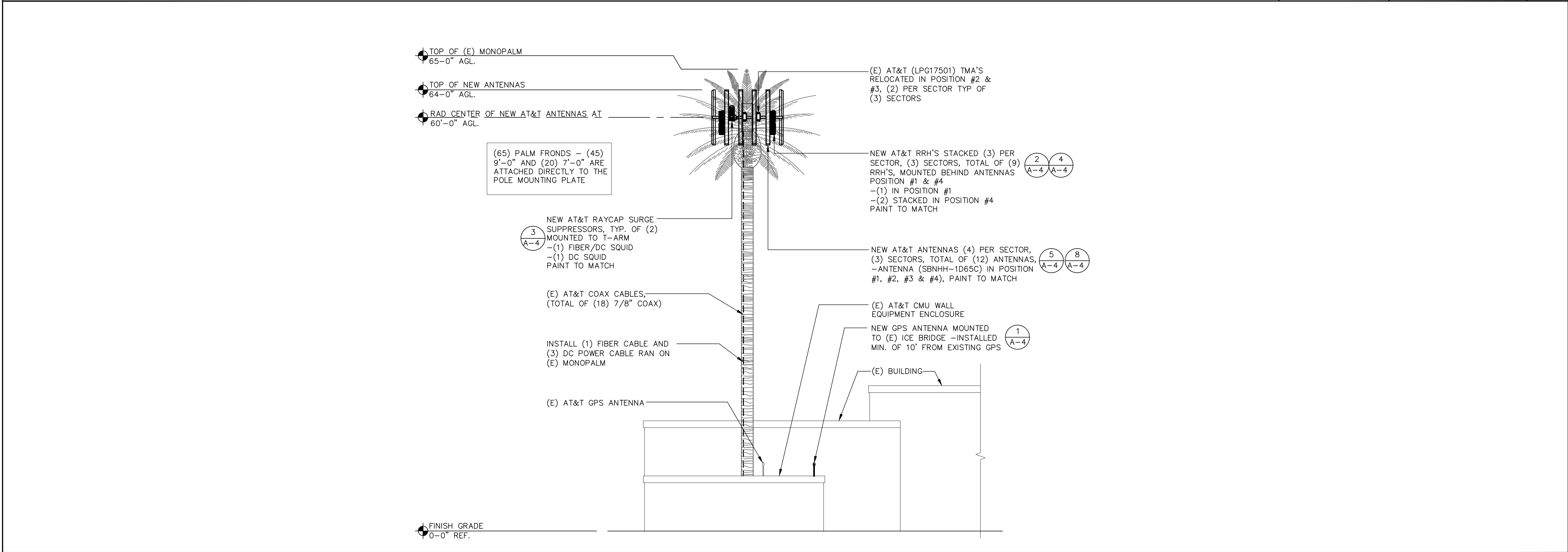
A-2

REV.:

3



NORTH ELEVATION — EXISTING



NORTH ELEVATION — NEW



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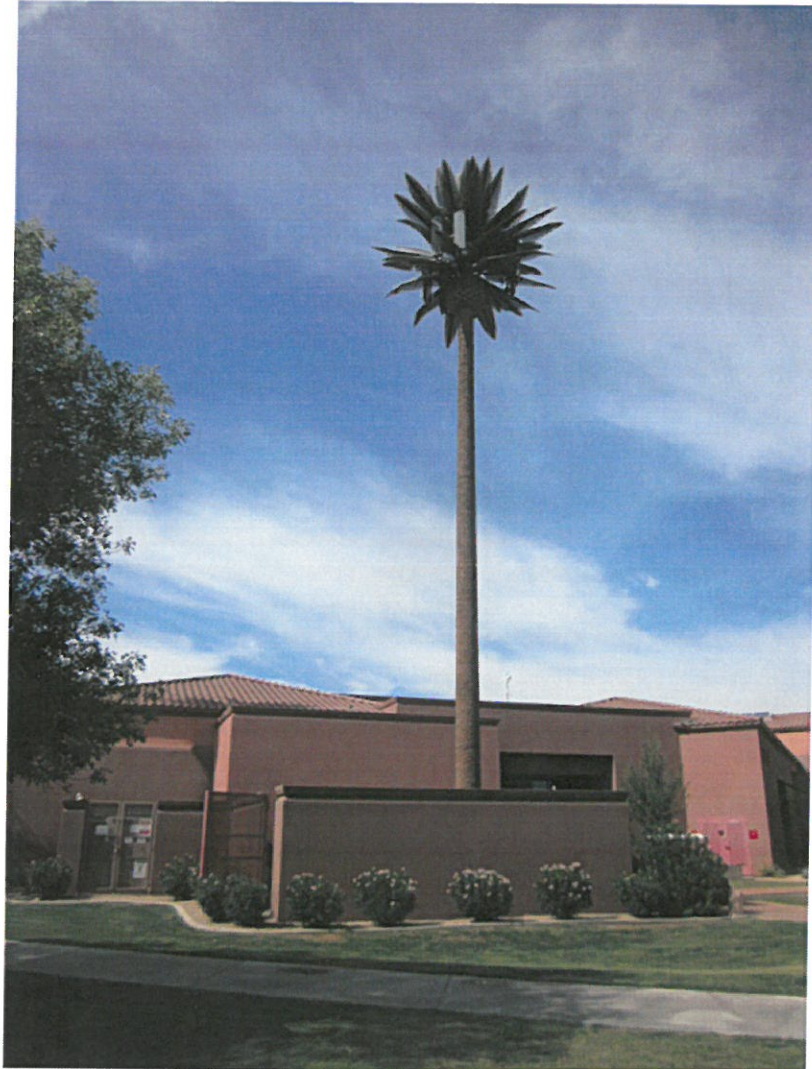
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SHEET TITLE:
**ELEVATIONS
EXISTING & NEW**

SHEET NUMBER: **A-3** REV.: **3**

AT&T LTE Project DESERT SPRINGS REMINGTON (P750)

19783 NORTH REMINGTON DRIVE , SURPRISE, AZ, 85374



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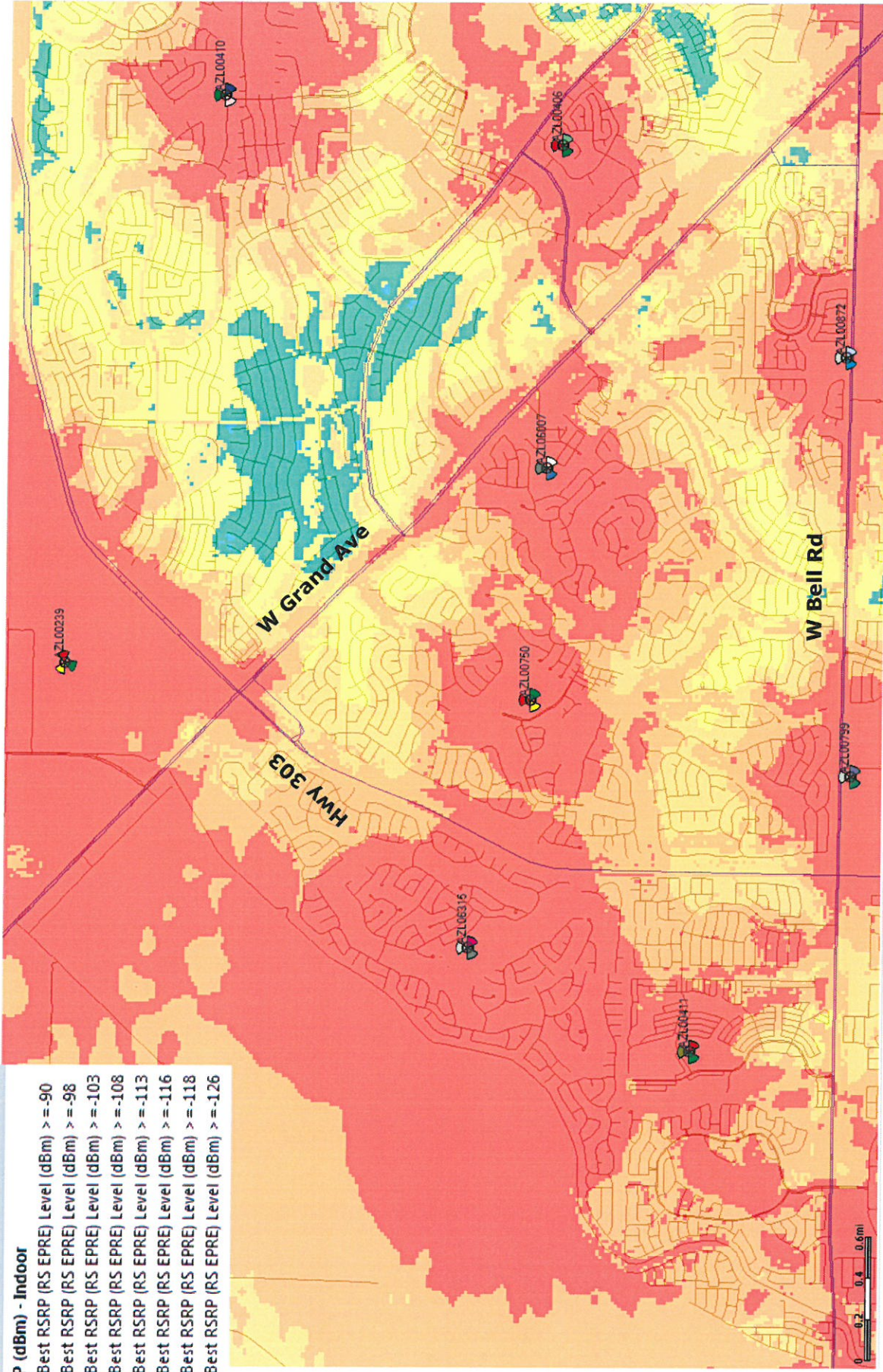


AT&T indoor signal strength (RSRP) with P750

Legend

RSRP (dBm) - Indoor

Best RSRP (RS EPRE) Level (dBm) >=-90
Best RSRP (RS EPRE) Level (dBm) >=-98
Best RSRP (RS EPRE) Level (dBm) >=-103
Best RSRP (RS EPRE) Level (dBm) >=-108
Best RSRP (RS EPRE) Level (dBm) >=-113
Best RSRP (RS EPRE) Level (dBm) >=-116
Best RSRP (RS EPRE) Level (dBm) >=-118
Best RSRP (RS EPRE) Level (dBm) >=-126

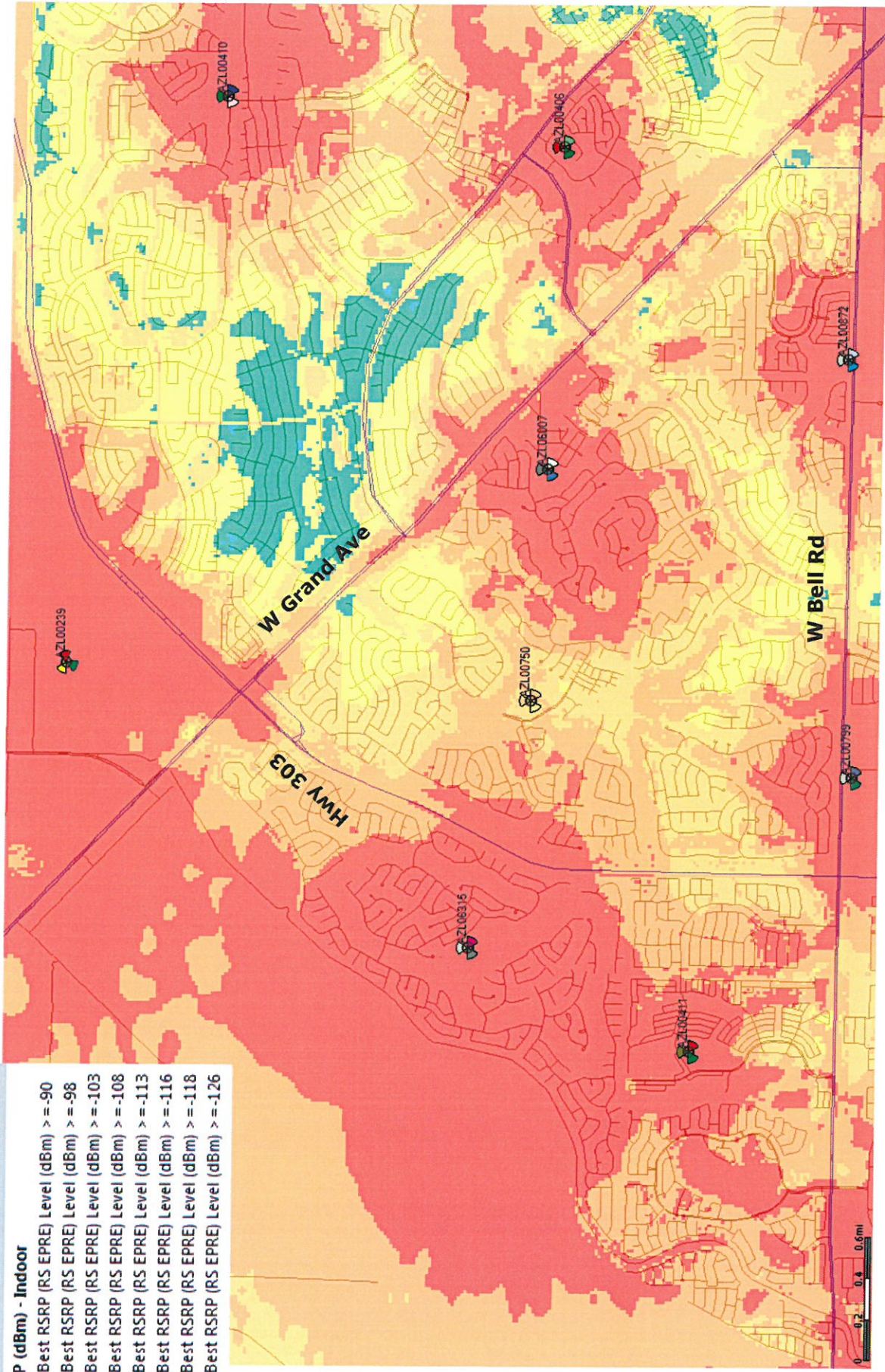


AT&T indoor signal strength (RSRP) without P750

Legend

RSRP (dBm) - Indoor

- Best RSRP (RS EPRE) Level (dBm) > = -90
- Best RSRP (RS EPRE) Level (dBm) > = -98
- Best RSRP (RS EPRE) Level (dBm) > = -103
- Best RSRP (RS EPRE) Level (dBm) > = -108
- Best RSRP (RS EPRE) Level (dBm) > = -113
- Best RSRP (RS EPRE) Level (dBm) > = -116
- Best RSRP (RS EPRE) Level (dBm) > = -118
- Best RSRP (RS EPRE) Level (dBm) > = -126





CITY OF SURPRISE
Planning and Zoning Commission

January 8, 2015 @ 6:00:00 PM

+ [Back](#) [Print](#)

Board Meeting Date:	January 8, 2015	Contact Person:	Eric Fitzer, Community Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	No Action		

Consent	Regular	Public Hearing	Report/Discussion
---------	---------	----------------	-------------------

Agenda Wording:

Discussion for future agenda items.

Motion:

Background:

Financial Impact Statement:

No Financial Impact

ATTACHMENTS:

[Click to download](#)

No Attachments Available

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):