



CITY OF SURPRISE
Planning and Zoning Commission Agenda
16000 N. Civic Center Plaza
Surprise, AZ 85374

Thursday, March 6, 2014 @ 6:00 PM
 COUNCIL CHAMBERS

* [Back](#) [Print](#)

CALL TO ORDER.

- A. Roll Call
- B. Pledge of Allegiance
- C. Current Events and Reports – Pursuant to A.R.S. §38-431.02(k) the chief administrator, presiding officer or a member of a public body may present a brief summary of current events without listing in the agenda the specific matters to be summarized, provided that 1) The summary is listed on the agenda; and 2) The public body does not propose, discuss, deliberate or take legal action at that meeting on any matter in the summary unless the specific matter is properly noticed for legal action.
- D. Staff Reports

Planning and Zoning Commission Agenda:

CALL TO THE PUBLIC:

INSTRUCTIONS: In order to address the Board\Commission, you will need to fill out a Call to the Public Form available at the front counter, and then turn it in to the Secretary before the meeting begins.

Note: A.R.S. 38-431.01(H) - During this time members of the public may address the Board\Commission on any item not on the agenda. At the conclusion of the open call, the Board\Commission may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

- E. Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Board\Commission. There will be no separate discussion on these items unless a board member or commissioner requests, in which event the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

CONSENT AGENDA:

REGULAR AGENDA ITEM - NON-PUBLIC HEARING:

ITEM #	DISTRICT #	ITEM DESCRIPTION	STAFF RECOMMENDATION/ PRESENTED BY
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- | | | | |
|----|-------------------|--|--|
| #1 | District Internal | <u>Consideration and action on the February 20, 2014 Planning and Zoning Commission minutes.</u> | Approve
Deb Perry,
Community &
Economic
Development |
| #2 | District 5 | <u>Consideration and action on case FS14-048, an extension of a site plan approval for Hope Community Church located at 16051 North Reems Road.</u> | Approve
Hobart Wingard,
Community &
Economic
Development |
| #3 | District 3 | <u>Consideration and action on Case FS13-545, approving a Preliminary Plat entitled The Retreat at Sycamore Farms Parcel 12, Phase 2 generally bounded by SR303 to the west, West Cholla Street to the north, and North 165th Drive to the east.</u> | Approve
Hobart Wingard,
Community &
Economic
Development |

REGULAR AGENDA ITEM - PUBLIC HEARING:

			STAFF RECOMMENDATION/
ITEM #	DISTRICT #	ITEM DESCRIPTION	PRESENTED BY
#4	District Internal	<u>Consideration and action on the funding recommendations for Public Service Activities for the Community Development Block Grant Program Year 2014-15.</u>	Approve Christina Ramirez, Community & Economic Development
#5	District Citywide	<u>Consideration and action on the 2013-2014 Community Development Block Grant Annual Action Plan funding recommendations.</u>	Approve Christina Ramirez, Community & Economic Development

OTHER BUSINESS:

- | | | | |
|----|-------------------|---|--|
| #6 | District Citywide | <u>Presentation regarding the Form Based Code Working Group update.</u> | No Action
Nichole
McCarty,
Community &
Economic
Development |
|----|-------------------|---|--|

ADJOURNMENT:

SHERRY ANN AGUILAR, CITY CLERK, CMC

POSTED: February 25, 2014 at 2:40 p.m.

SPECIAL NOTE: PERSONS WITH SPECIAL ACCESSIBILITY NEEDS, INCLUDING LARGE PRINT MATERIALS OR INTERPRETER, SHOULD CONTACT THE CITY CLERK'S OFFICE @ 623.222.1200 OR TTY 623.222.1002, BY NO LATER THAN 24 HOURS IN ADVANCE OF THE REGULAR SCHEDULED MEETING TIME.



CITY OF SURPRISE
Planning and Zoning Commission

March 6, 2014 @ 6:00:00 PM

Back Print

Board Meeting Date:	March 6, 2014	Contact Person:	Deb Perry, Community & Economic Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on the February 20, 2014 Planning and Zoning Commission minutes.

Motion:

I move to approve the February 20, 2014 Planning and Zoning Commission minutes.

Background:

Financial Impact Statement:

N/A

ATTACHMENTS:

Click to download

☐ [Minutes](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	White Board	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

CITY OF SURPRISE

PLANNING AND ZONING COMMISSION

**16000 North Civic Center Plaza
Surprise, AZ 85374**

February 20, 2014

MEETING MINUTES

CALL TO ORDER

Chair Jan Blair called the Planning and Zoning Commission Meeting to order at 6 p.m. at Surprise City Hall, 16000 North Civic Center Plaza, Surprise, Arizona 85374, on Thursday, February 20, 2014.

ROLL CALL

In attendance with Chair Blair were Vice Chair Steve Somers and Commissioners Matthew Bieniek, Jerry Hoyler, Ken Chapman, and Peter Pervi. Commissioner Dennis Smith was absent.

PLEDGE OF ALLEGIANCE

CURRENT EVENTS REPORT

STAFF REPORT

Assistant Director Chris Boyd stated that revised SUDC is in the public comment period. We expect to bring it back to the Commission in June.

CALL TO THE PUBLIC

Chair Blair called to the public to discuss any issues not noted on the agenda.

Jim Barton, Phoenix resident, spoke briefly regarding signage and canopies in the auto mall area and the requirement of permits.

Hearing no further comments, Chair Blair closed the call to the public.

CONSENT AGENDA

All items listed with an asterisk (*) are considered to be routine by the Planning and Zoning Commission and were approved by one motion. There was no separate discussion of these items during this meeting.

REGULAR AGENDA ITEMS NOT REQUIRING A PUBLIC HEARING

- **Item 1: Consideration and Action – Planning and Zoning Commission Minutes for January 9, 2014**

Commissioner Chapman made a motion to approve the **Planning and Zoning Commission Minutes for January 9, 2014**. Commissioner Bieniek seconded the motion. The motion passed with a vote of 5 ayes, 1 abstain (Hoyler) and 1 absent (Smith).

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING

- **Item 2: Discussion Only - CDBG Public Service Application Presentation**

Neighborhood Services Supervisor Christina Ramirez gave an overview of the program, the applicants, and the requirements to qualify.

Public Service Application presentations were given by the following:

- John Kozyra - St. Mary's Food Bank
- Mark Holleran - CASS
- Darrel Christianson – ABIL
- Joanne Thomson – Benevilla
- Jeremy Sahd – Paradise Honors
- Mandy Siewertsen and Amy Gerow – Gotta Run

Chair Blair opened the Call to the Public. Hearing no comments, Chair Blair closed the call to the public.

OTHER BUSINESS

ADJOURNMENT

Hearing no further business, Chair Blair adjourned the Planning and Zoning Commission meeting at 7:08 p.m.

STAFF PRESENT:

Community Economic Development Assistant Director Chris Boyd, Deputy City Attorney Donna Bronski, Neighborhood Services Supervisor Christina Ramirez, Neighborhood Services Coordinator Alicia Rubio, and Planning and Zoning Commission Secretary Deb Perry.

COUNCIL MEMBERS PRESENT: None

Chris Boyd
Assistant Director

Jan Blair, Chair
Planning and Zoning Commission



CITY OF SURPRISE
Planning and Zoning Commission

March 6, 2014 @ 6:00:00 PM

Back Print

Board Meeting Date:	March 6, 2014	Contact Person:	Hobart Wingard, Community & Economic Development
Submitting Department:	CD Boards and Commissions	District:	5
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on case FS14-048, an extension of a site plan approval for Hope Community Church located at 16051 North Reems Road.

Motion:

I move to recommend to Council that it approve the site plan extension for Hope Community Church, case FS14-048, until March 6, 2015.

Background:

The applicant is requesting an extension of a previously approved worship facility site plan until March 6, 2015.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

ATTACHMENTS:

Click to download

- ☐ [Staff Report](#)
- ☐ [Vicinity Map](#)
- ☐ [Site Plan](#)
- ☐ [Elevations](#)
- ☐ [Landscape Plan](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):

Hobart Wingard, Planner, Community & Economic Development



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

Date: March 6, 2014

To: Planning and Zoning Commission

From: Jeffrey J. Mihelich, Assistant City Manager
Hobart Wingard, Planner
hobart.wingard@surpriseaz.gov 623-222-3156

Re: FS14-048 – Site Plan Extension for Hope Community Church

Application Summary

The applicant is requesting a one (1) year extension for a site plan for the first phase of an 8,750-square-foot worship facility.

Location

The subject parcel is located at 16051 North Reems Road.

History

- On June 20, 1984 the subject property was annexed into the City of Surprise.
- On February 7, 2013, the Planning and Zoning Commission recommended for approval the Hope Community Church site plan.
- On February 12, 2013, the Mayor and City Council approved a final plat for Hope Community Church.

Economic Impact

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

Findings of Fact

1. Staff finds that the proposed site plan complies with the Surprise Municipal Code.
2. Staff finds that the proposed site plan complies with the Surprise General Plan.

Recommendation

Staff recommends approval of the Hope Community Church site plan extension to March 6, 2015.

Attachments

Vicinity map, site plan, landscape plan, and elevations.

LOCATION MAP – FS14-048



Bell Road

Reems Road

The
Orchards

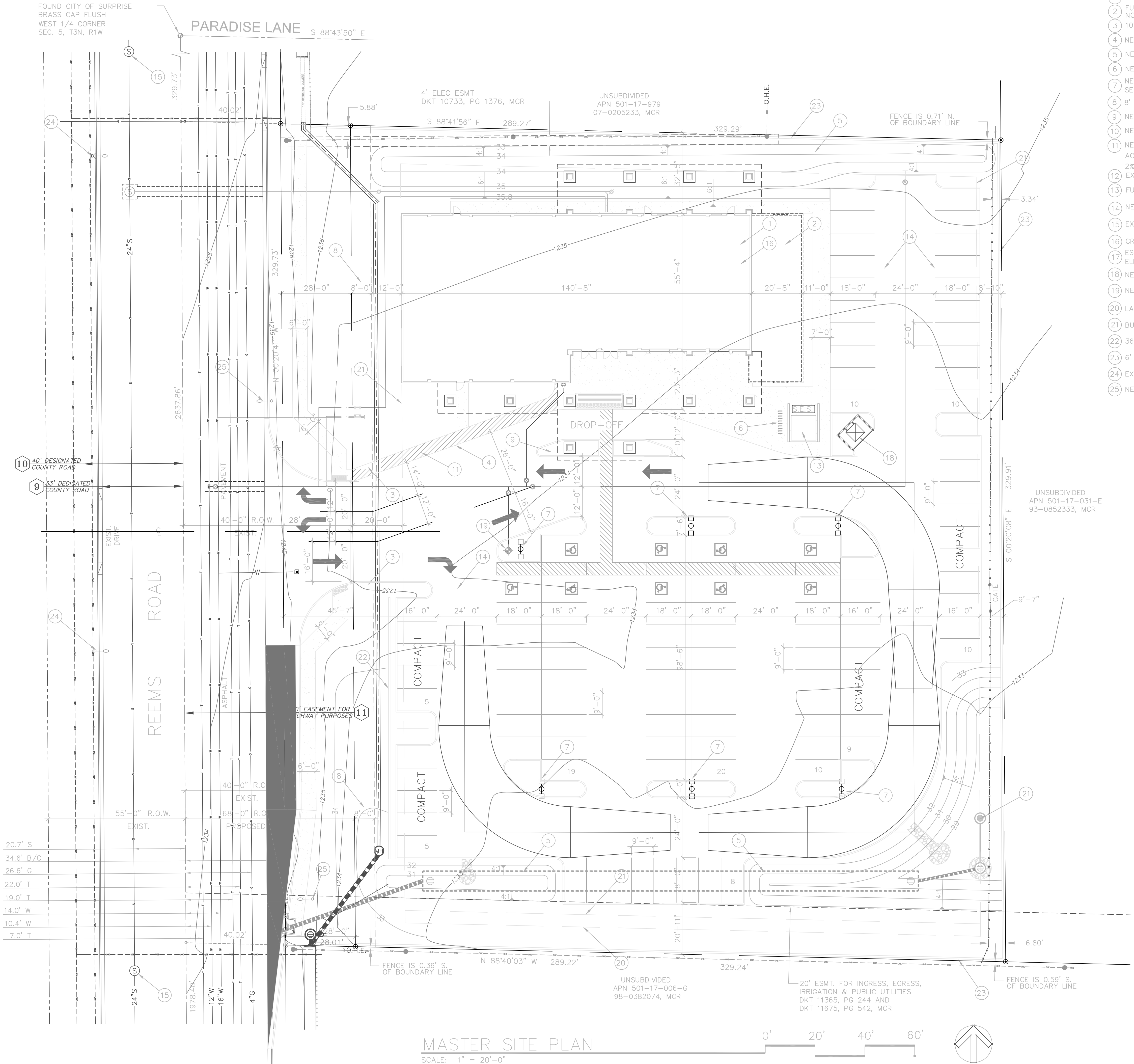
Site

Mountain
Vista Ranch

Bullard Avenue

City
Hall

Greenway Road



KEYNOTES:

- 1 PHASE I - MULTI-PURPOSE BUILDING
- 2 FUTURE PHASED CONSTRUCTION - NO TIMETABLE SET AT THIS TIME
- 3 10' X 20' VISIBILITY TRIANGLE
- 4 NEW 5' SIDEWALK
- 5 NEW RETENTION BASIN
- 6 NEW BIKE RACK - SEE DETAIL ON SHEET A-2
- 7 NEW PARKING LOT LIGHT - SEE ELECTRICAL PLANS
- 8 8' P.U.E.
- 9 NEW LANDSCAPE ISLAND
- 10 NEW D.G. GROUND COVER
- 11 NEW ACCESS FROM PUBLIC WAY ACCESSIBLE ROUTE - 5% MAX. SLOPE - 2% MAX. INCREASE SLOPE
- 12 EXIST. POWER TRANSFORMER
- 13 FUTURE POWER TRANSFORMER
- 14 NEW ASPHALT PARKING LOT
- 15 EXIST. SEWER MANHOLE - FIELD VERIFY
- 16 CROSS-HATCHED AREAS ARE THIS PROJECT
- 17 ESTIMATED LOCATION OF UNDERGROUND ELECTRICAL LINES - SEE ELECTRICAL PLANS
- 18 NEW TRASH ENCLOSURE
- 19 NEW FIRE HYDRANT
- 20 LANDSCAPE SETBACK LINE
- 21 BUILDING SETBACK LINE
- 22 36" HIGH C.M.U. SCREEN WALL
- 23 6" HIGH C.M.U. SCREEN WALL
- 24 EXIST. STREET LIGHT
- 25 NEW STREET LIGHT

PROJECT DATA

CODES :	2006 IBC	
	2006 IRC	
	2006 IMC	
	2006 IFCC	
	2006 IPC	
	2005 NEC	
	2006 IFC AND SURPRISE AMENDMENTS	
	2006 IECC	
	ORDINANCE # 07-08 - LOCAL AMENDMENTS	
	SURPRISE MUNICIPAL CODE (SMC)	
	ENGINEERING DEVELOPMENT STANDARDS	
	SURPRISE FIRE DEPARTMENT ACCESS AND GUIDELINE BOOK	
NFPA	AASHTO	
FIRE ZONE :	N.A.	
OCCUPANCY :	A-3	
SITE AREA :		
GROSS:	108,553 S.F.	2.42 ACRES
NET:	95,363 S.F.	2.19 ACRES
LANDSCAPE AREA:	19,075 S.F. REQUIRED (20%)	
	31,771 S.F. PROVIDED (33%)	
CONSTRUCTION TYPE :		
WORSHIP BLDG. = TYPE V-A - W/A.F.E.S. PER N.F.P.A # 13		
(AFES USED TO SUBSTITUTE FOR 1 HR. - TYP.)		
BUILDING AREA :	(FOOTPRINT)	8,644.9 S.F. PHASE I
		1,419.4 S.F. PHASE II
		10,064.3 S.F. PROPOSED
LOT COVERAGE:	10,065/95,363 =	45% ALLOWED
		10.51% ACTUAL
BUILDING AREA BREAKDOWN:		
WORSHIP BUILDING		10,064.3 S.F.
A-3/ASSEMBLY BASE AREA =		3,728.7 S.F.
CANOPY AREA =		13,793 S.F.
EMERGENCY LIGHTING:	YES	
FIRE ALARMS:	YES	
BUILDING HEIGHT:	31'-0"	
PARKING CALCULATIONS (PHASE I):		
268/4 =	67 SPACES REQUIRED	
	67 FULL SIZE SPACES PROVIDED	
	10 ACCESSIBLE SPACES PROVIDED	
	29 COMPACT SPACES PROVIDED	
	106 TOTAL SPACES PROVIDED	
BICYCLE PARKING: 1/15 VEH. SPACES = 7 REQUIRED		
8 SPACES PROVIDED		

PROJECT DEVELOPER:

HOPE COMMUNITY CHURCH
16051 W. REEMS ROAD
SURPRISE, ARIZONA 85374
PASTOR BRIAN SHAW
602-708-1616

ARCHITECT:

KLEIN & ASSOCIATES, INC.
14817 N. 47TH PLACE
PHOENIX, ARIZONA 85032
JAMES E. KLEIN
602-404-4027

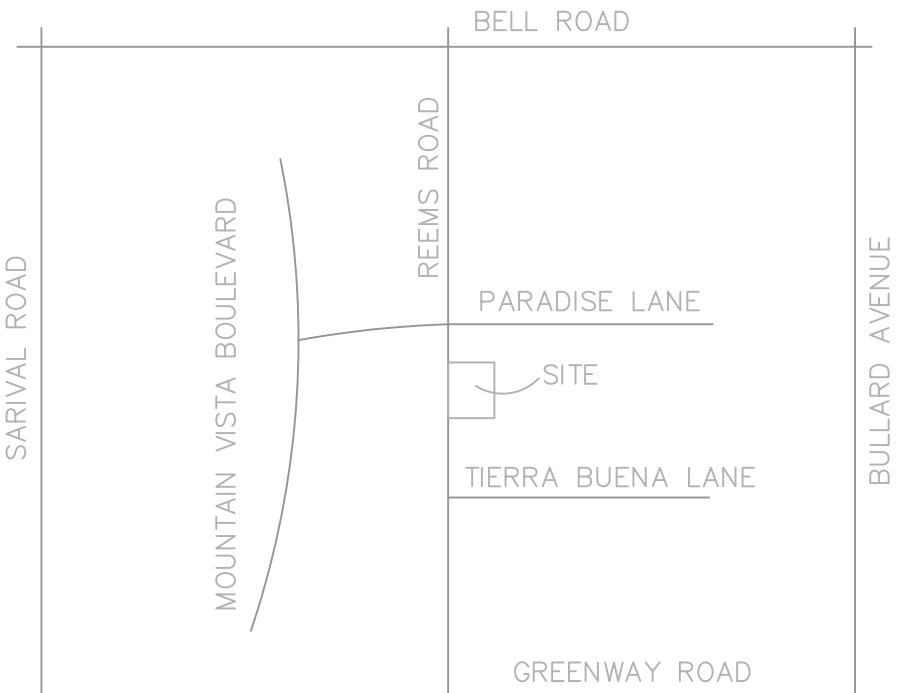
GENERAL NOTE:

- 1. ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT
- 2. SIGNS REQUIRE A SEPARATE PERMIT
- 3. ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW
- 4. PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION
- 5. TREES IN PAVED AREAS ARE TO HAVE DEEP ROOT BARRIERS
- 6. ALL PLANT MATERIAL SIZES ARE TO BE CONSISTENT WITH ANA STANDARDS
- 7. ALL PLANT MATERIAL LOCATED WITHIN AASHTO VISIBILITY TRIANGLES ARE TO BE MAINTAINED NO HIGHER THAN 2 FEET HIGH, AND HANG NO LOWER THAN 7 FEET FROM THE GROUND ELEVATION
- 8. ALL BACKFLOW PREVENTERS, ETC. MUST BE ENCLOSED IN A LOCKING PROTECTIVE CAGE

PARCEL NUMBER

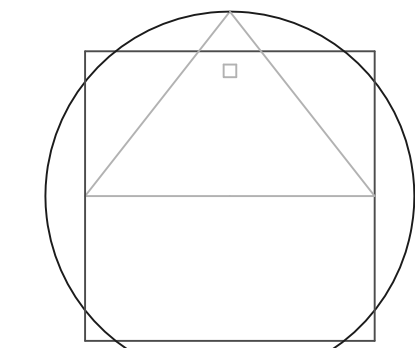
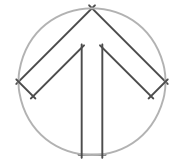
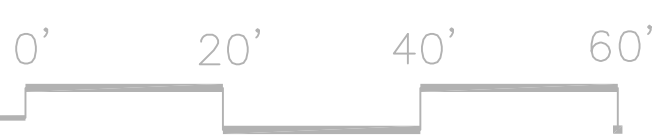
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VICINITY MAP



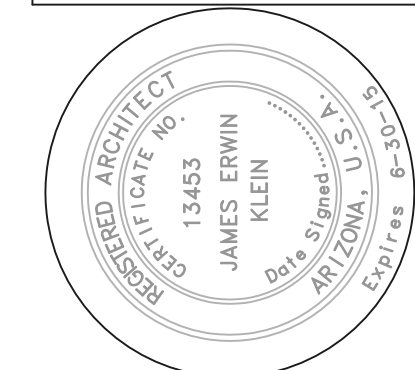
MASTER SITE PLAN

SCALE: 1" = 20'-0"

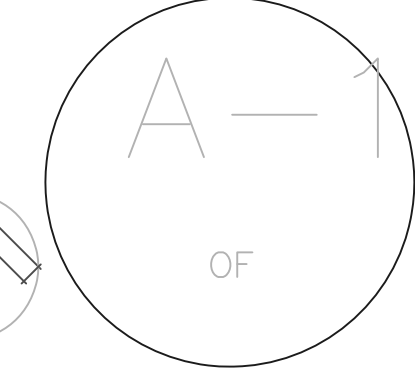


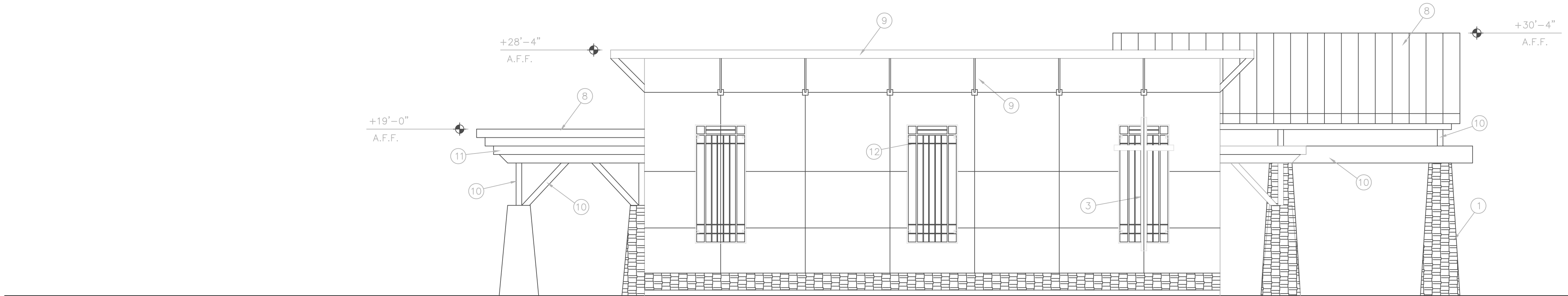
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ARCHITECTURE & PLANNING
NCARB
14817 N. 47TH PLACE
PHOENIX, ARIZONA 85032
PHONE (602) 404-4027 FAX (602) 404-9633

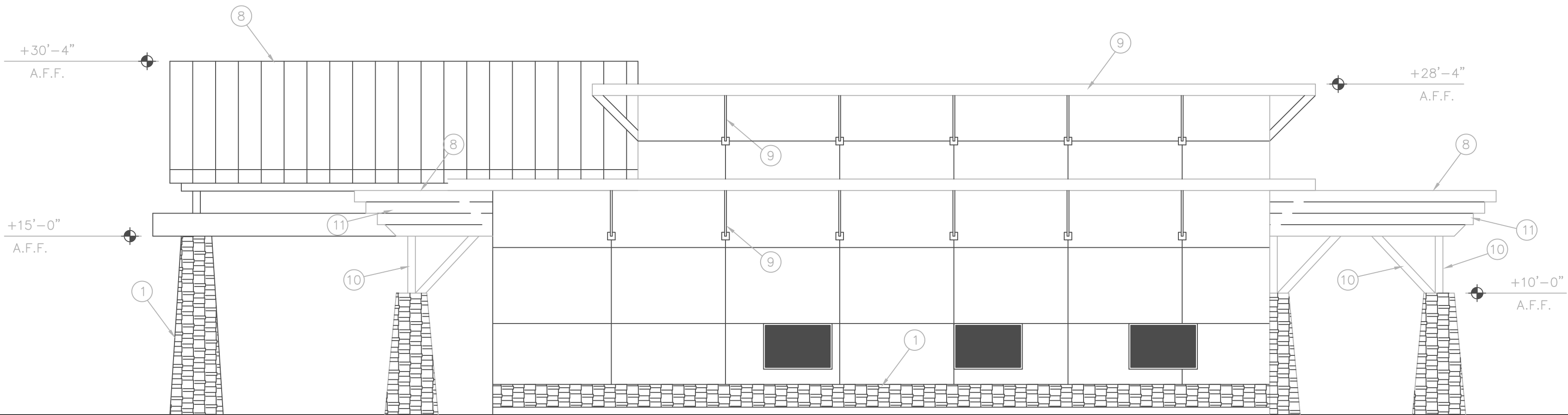


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DATE:	09-13-09
DR'N BY:	J.E.K.
CK'D BY:	J.E.K.
REVISIONS	

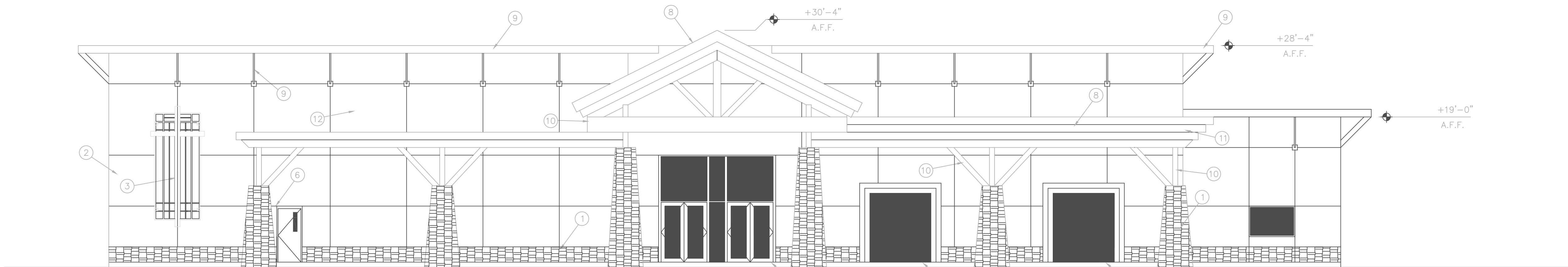




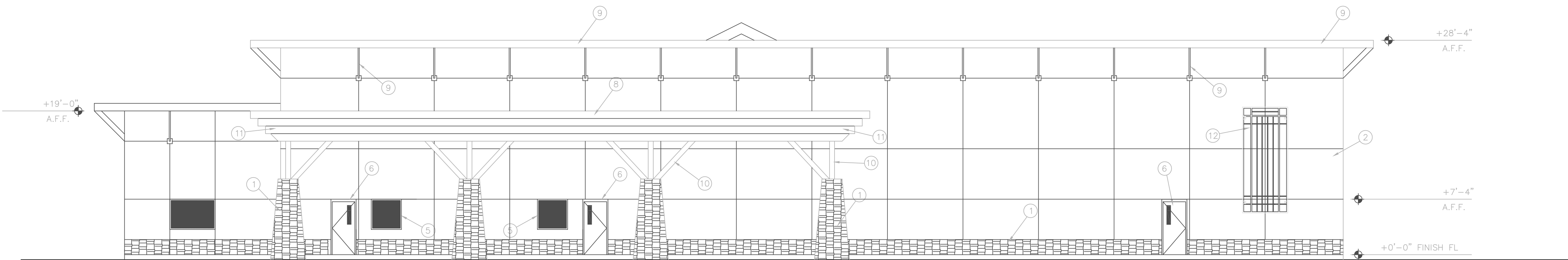
WEST ELEVATION



EAST ELEVATION



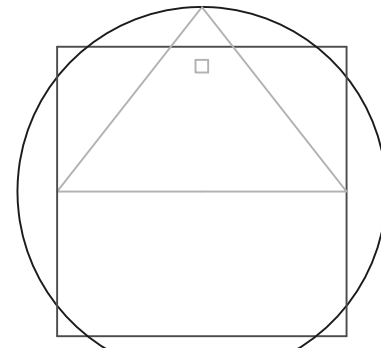
SOUTH ELEVATION



NORTH ELEVATION

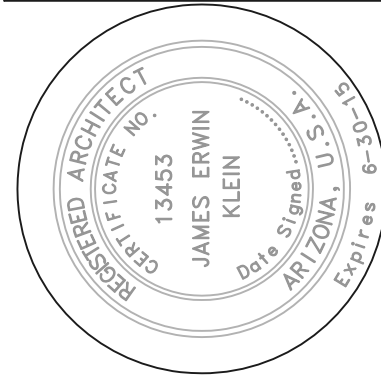
KEYNOTES:

- 1 IMPERIAL STACK STONE
COLOR - PIZARA
VENEER STONE
- 2 WESTERN ONE-COAT STUCCO OVER
STANDARD 8816 CMU
COLOR - CLIFF'S VIEW - DEC720 - LRV 54
DUNN EDWARDS
- 3 8" SQ. MTL. TUBE CROSS
COLOR - COPPER - POWDER COAT
- 4 ALUMINUM AND GLASS STOREFRONT
BRONZE - UC-52179XL / VA4-18 GLASS
- 5 4040 WINDOW IN H.M. FRAME - TYP.
COLOR - ROSEWOOD - DEC706 - LRV 17
DUNN EDWARDS
- 6 3070 H.M. DOOR IN H.M. FRAME - TYP.
COLOR - ROSEWOOD - DEC706 - LRV 17
DUNN EDWARDS
- 7 9080 GARAGE DOOR - TYP.
COLOR - ROSEWOOD - DEC706 - LRV 17
DUNN EDWARDS
- 8 STANDING SEAM METAL ROOFING
WEATHERED COPPER - CUSTOM-BILT METALS
OR APPROVED EQUAL
- 9 DECORATIVE METAL FRAME/FASCIA
COLOR - WEATHERED BROWN - DEC758 - LRV 8
DUNN EDWARDS
- 10 GLU-LAM BEAMS
COLOR - CALIFORNIA RUSTIC - DP-351
BEHR COATINGS
- 11 STUCCO SOFFIT/CANOPY CEILING
COLOR - LIGHTHOUSE - DEW385 - LRV 83
DUNN EDWARDS
- 12 METAL TRELLIS ATTACHED TO WALL -
TYPICAL AS SHOWN
COLOR - ROSEWOOD - DEC706 - LRV 17
DUNN EDWARDS



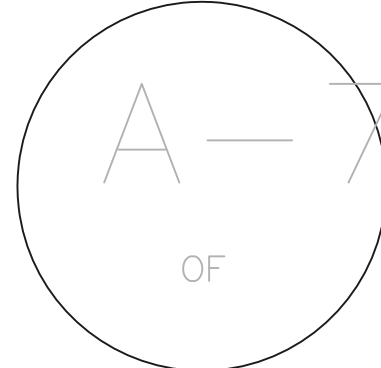
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HOPE COMMUNITY CHURCH
16051 N. REEMS ROAD
SURPRISE, ARIZONA 85374
1/8" SCALE BUILDING ELEVATIONS

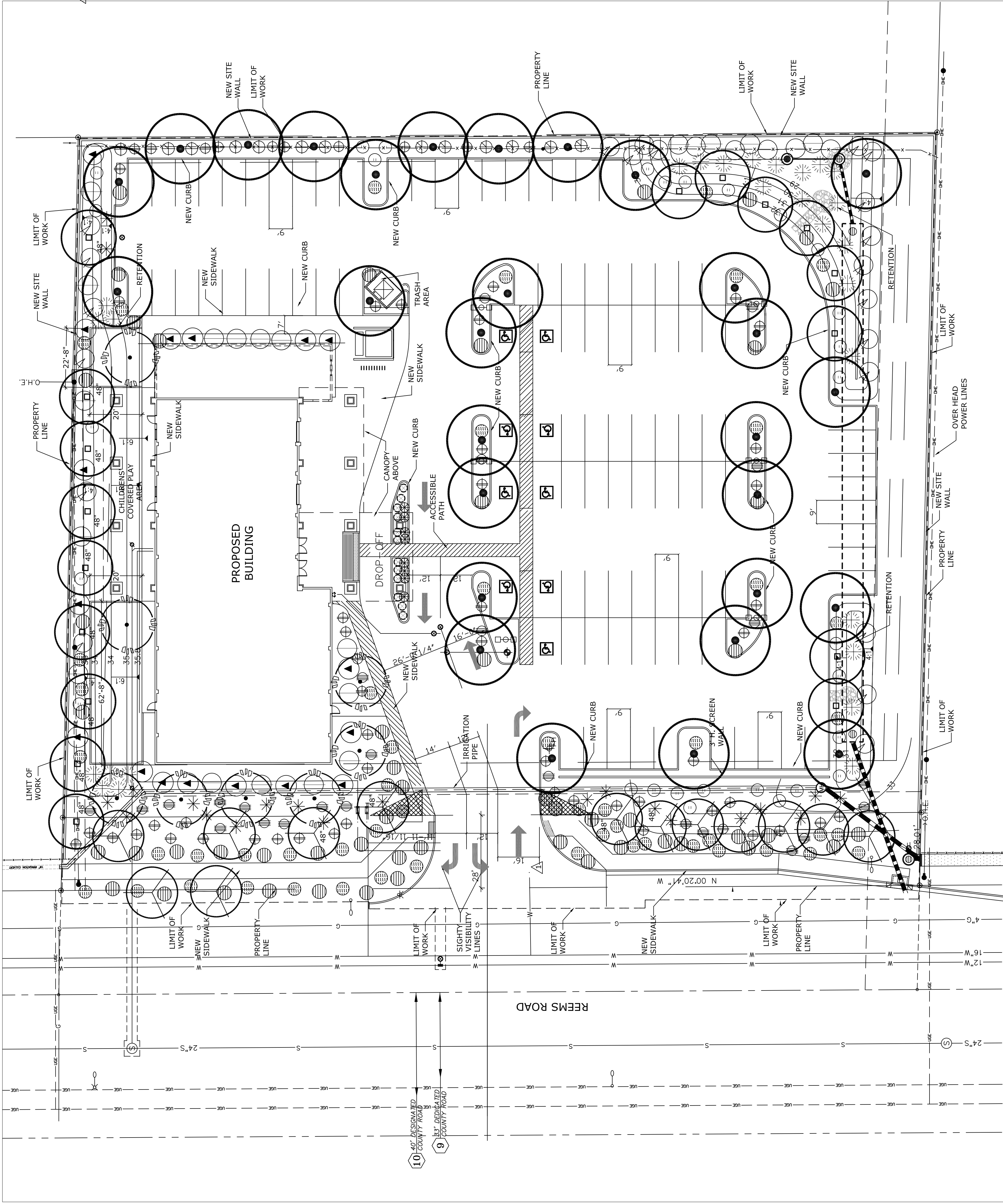
JOB NO.	20090901
DATE:	09-13-09
DR'N BY:	J.E.K.
CK'D BY:	J.E.K.
REVISIONS	



BUILDING ELEVATIONS

SCALE: 1" = 8'-0"





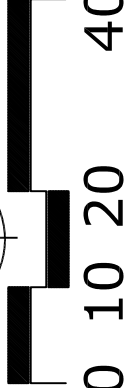
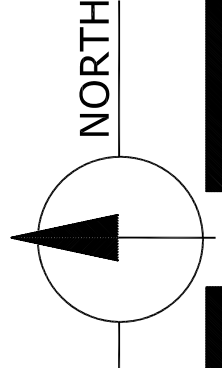
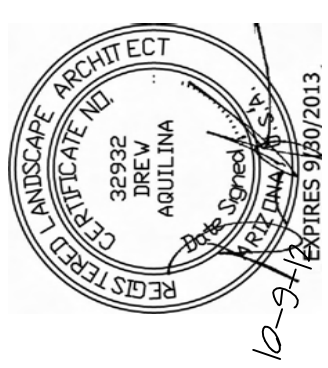
LANDSCAPE PLAN

SCALE 1" = 20'

JOB #	11-105
DATE	8-22-11
DRAWN	DA
CHECKED	DA
1	REVISION 8-28-12
2	REVISION 10-09-12
3	

LAND.

L2.5



HOPE COMMUNITY CHURCH

16051 N. REEMS ROAD
SURPRISE ARIZONA 85374

PLANT LEGEND		TREES		NAME		CAL./QTY	
	CHITPAU	TASHKINENSIS	24" BOX/8				
	CHITPAU	PROSOPIS CHILENSIS HYBRID	48" BOX/9				
	THORNLESS MESQUITE		36" BOX/8				
	ULMUS PARVIFOLIA		24" BOX/12				
	EVERGREEN ELM		36" BOX/3				
	ACACIA SALICINA		48" BOX/3				
	WILLOW ACOCOA		36" BOX/3				
SHRUBS							
	CAESALPINIA PULCHERIMA		5 GAL./21				
	RED BIRD OF PARADISE		5 GAL./29				
	CALLIANDRA CALIFORNICA		5 GAL./8				
	BANJA RED PAINT DUSTER		5 GAL./25				
	DIPTERIS VEGETA		5 GAL./21				
	FORNIPHILIA M. "VALENTINE"		5 GAL./59				
	VALERIANEA BUSH		5 GAL./27				
	HESPERALOE PAVIFLORA		5 GAL./13				
	RED YUCCA		5 GAL./12				
	LEUCOPHYLLUM LAEVIGATUM		5 GAL./26				
	CHITPAUJAN SAGE		5 GAL./15				
	MUEHLENBERGIA RIGENS		5 GAL./52				
	NERIUM OLEANDER		1 GAL./51				
	PETITE PINK OLEANDER		1 GAL./51				
	BRITANNICA "KATIE"		1 GAL./51				
	RUSSIA						
	TECOMA STANS						
	ORANGE JUBILEE						
	YELLOW BELLS						
GROUND COVERS							
	LANTANA NEW GOLD*						
	NEW GOLD LANTANA						
	PAVLOVA						
	PURPLE LANTANA						
MATERIALS							
	2" DEPTH, 5/8" SCREENED PALOMINO GOLD DECOMPOSED GRANITE IN ALL PLANTING AREAS.						
	SOD- GNI OR APPROVED EQUAL						
							1.630 S.F.



CITY OF SURPRISE
Planning and Zoning Commission

March 6, 2014 @ 6:00:00 PM

Back Print

Board Meeting Date:	March 6, 2014	Contact Person:	Hobart Wingard, Community & Economic Development
Submitting Department:	CD Boards and Commissions	District:	3
Staff Recommendations:	Approve		

Consent	Regular	x	Public Hearing	Report/Discussion
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Agenda Wording:

Consideration and action on Case FS13-545, approving a Preliminary Plat entitled The Retreat at Sycamore Farms Parcel 12, Phase 2 generally bounded by SR303 to the west, West Cholla Street to the north, and North 165th Drive to the east.

Motion:

I move to recommend approval to the City Council of FS13-545, a Preliminary Plat for The Retreat at Sycamore Farms Parcel 12, Phase 2 and to adopt staffs findings.

Background:

The Retreat at Sycamore Farms Parcel 12, Phase 2 is a 16.6-acre vacant parcel bounded by SR303 to the west, West Cholla Street to the north, North 165th Drive to the east, and an existing multifamily development to the south known as Wyngate. The proposal is to plat 69 medium density single-family residential lots for a density of 4.17 dwelling units per acre.

Financial Impact Statement:

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

ATTACHMENTS:

Click to download

- ☐ [Staff Report](#)
- ☐ [Vicinity Map](#)
- ☐ [Preliminary Plat](#)
- ☐ [Home Product](#)
- ☐ [Landscape Plan](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):

Hobart Wingard, Planner, Community & Economic Development



COMMUNITY AND ECONOMIC DEVELOPMENT

Date: March 6, 2014

To: Planning and Zoning Commission

From: Jeffrey J. Mihelich, Assistant City Manager
Hobart Wingard, Planner
hobart.wingard@surpriseaz.gov 623-222-3156

Re: FS13-545, the Retreat at Sycamore Farms Parcel 12, Phase 2- Preliminary Plat

Application Summary

The applicant is requesting an approval for a Preliminary Plat entitled the Retreat at Sycamore Farms Parcel 12, Phase 2. The proposed plat consists of 69 medium density single-family residential lots on a total of approximately 16.6 acres.

Location

The Retreat at Sycamore Farms Parcel 12, Phase 2 is a 16.6-acre vacant parcel bounded by SR303 to the west, West Cholla Street to the north, North 165th Drive to the east, and an existing multifamily development to the south known as Wyngate. The proposed residential development is located within the Sycamore Farms Planned Area Development (PAD).

History

- The subject project area was annexed into the city on July 22, 2004.
- On July 22, 2004, the Mayor and City Council approved the Sycamore Farms PAD.
- On July 13, 2006, the Mayor and City Council approved a map of dedication for a medium density project at the same location.

Project Summary

The Retreat at Sycamore Farms Parcel 12, Phase 2 is to be located on approximately 16.6 acres of medium density residential land within the Sycamore Farms PAD. The medium density residential designation within the PAD has a maximum density of 8 dwelling units per acre. A previous design for the entire Parcel 12 proposed a condominium complex with a density of 7.9 dwelling units per acre. This preliminary plat proposes 69 single family units with a density of 4.2 dwelling units per acre.

The type of housing proposed is a conventional single family detached home product. The typical lot will be approximately 5,175 square feet in area with dimensions measuring 45 feet wide with a depth of 115 feet.

Students from this development will be within the Dysart School District. The school district and the PAD developer, Taylor Trust Farms, LLC, have entered an agreement to make a school site donation and cash payments to the district for each dwelling unit constructed in Sycamore Farms.

Open space will occupy approximately 4 acres of the 16.6 acre development. Primarily landscaping, the open space will include a centrally located ramada and barbeque facilities.

Economic Impact

All activity related to ongoing development of the City of Surprise has an economic and fiscal impact on the city and the region.

Findings of Fact

1. Staff finds that the proposed preliminary plat complies with the Surprise General Plan.
2. Staff finds that the proposed preliminary plat complies with Section 122-116 of the Surprise Municipal Code.
3. Staff finds that the proposed preliminary plat complies with the Sycamore Farms PAD.

Recommendation

Staff recommends approval of the project.

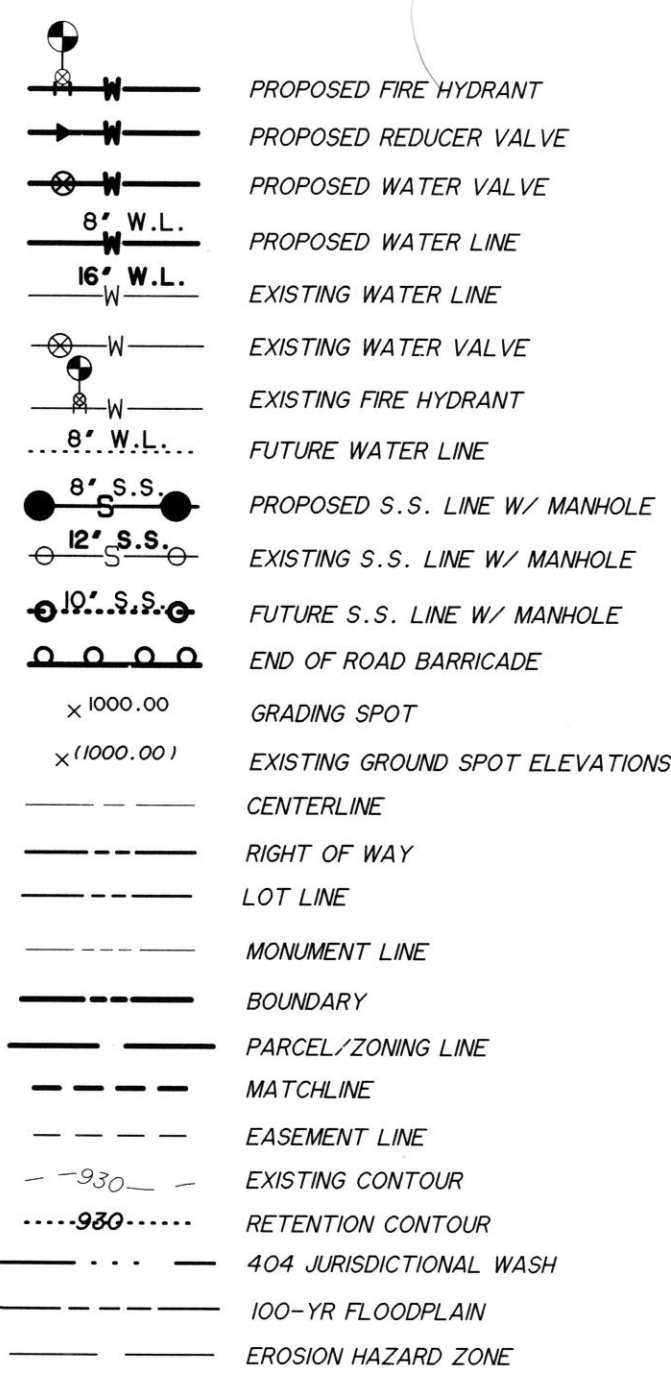
Attachments

Vicinity map, preliminary plat, preliminary landscape plans, and proposed home product.

VICINITY MAP – FS13-545



LEGEND



ABBREVIATIONS

EX	EXISTING
PROP	PROPOSED
B-B	BACK TO BACK
F-F	FACE TO FACE
TP	TOP OF PAVEMENT
TC	TOP OF CURB
G	GUTTER
LF	LINEAR FEET
ROW	RIGHT OF WAY
PUE	PUBLIC UTILITY EASEMENT
HP	HIGH POINT
LP	LOW POINT
T/P	TOP OF PIPE
BW	BOTTOM OF WALL
TW	TOP OF WALL
ER ACC	EMERGENCY ACCESS
SVT	SIGHT VISIBILITY TRIANGLE
B.L.	BUILDING SETBACK LINE
EX.	EXISTING
L.S. TRACT	LANDSCAPE TRACT
P.U.E.	PUBLIC UTILITY EASEMENT
W.E.	WALL EASEMENT
W.R.E.	WALL RESTRICTION EASEMENT
V.N.A.E.	VEHICULAR NON-ACCESS EASEMENT
T.C.B.M.	TEMPORARY CONSTRUCTION & MAINTENANCE
M.U.T.ESMT.	MULTI-USE TRAIL EASEMENT
R.O.W.	RIGHT-OF-WAY
B/C	BACK OF CURB
WTR. E.	WATER EASEMENT
S.S. E.	SANITARY SEWER EASEMENT
D.E.	DRAINAGE EASEMENT
PROP.	PROPOSED
R	RADIUS
S/W	SIDEWALK

LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, situated in a portion of the East half of Section 24, Township 3 North, Range 2 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, and being more completely described as follows, to-wit:

COMMENCING at a found Maricopa County Department of Transportation brass cap in handhole for the North Quarter corner of said Section 24, from which a found Arizona Department of Transportation brass cap in handhole for the South Quarter corner of said Section 24 bears South 00 deg. 21 min. 43 sec. West - 5278.69 feet,

THENCE South 00 deg. 21 min. 43 sec. West along the North - South mid-section line of said Section 24, a distance of 2187.87 feet,

THENCE South 89 deg. 39 min. 13 sec. East departing said mid-section line, a distance of 201.19 feet to the East right-of-way line of Bob Stump Memorial Parkway recorded in Document No. 2012-0499660, MCR, and in the North line of the Map of Dedication of the Retreat at Sycamore Farms - Phase 2 recorded in Book 860 of maps, Page 35, MCR, said point being the TRUE POINT OF BEGINNING,

THENCE in an easterly direction departing said East right-of-way line and continue along the North line of said Sycamore Farms - Phase 2 the following five (5) courses,

South 89 deg. 39 min. 13 sec. East, a distance of 388.72 feet to a Point of Curvature of a non-tangent circular curve to the right, having a radius of 281.09 feet, a central angle of 28 deg. 00 min. 10 sec., and being subtended by a chord which bears South 75 deg. 44 min. 13 sec. East - 136.02 feet,

Continue in a southeasterly direction along said curve to the right, a distance of 137.38 feet,

South 62 deg. 56 min. 18 sec. East non-tangent to said curve, a distance of 129.60 feet to a Point of Curvature of a circular curve to the left, having a radius of 408.00 feet, a central angle of 17 deg. 37 min. 11 sec., and being subtended by a chord which bears South 71 deg. 44 min. 53 sec. East - 124.98 feet,

Continue in a southeasterly direction along said curve to the left, a distance of 125.47 feet,

South 80 deg. 33 min. 29 sec. East tangent to said curve, a distance of 118.87 feet to the West right-of-way line of North 165th Drive as shown on said Map of Dedication of the Retreat at Sycamore Farms - Phase 2, said point being a Point of Curvature of a non-tangent circular curve to the right, having a radius of 15.00 feet, a central angle of 27 deg. 43 min. 35 sec., and being subtended by a chord which bears South 04 deg. 30 min. 46 sec. East - 7.19 feet,

THENCE in a southerly direction departing said North line and continuing along said West right-of-way line the following four (4) courses,

Continue in a southerly direction along said curve to the right, a distance of 7.26 feet to a Point of Curvature of a compound circular curve to the right, having a radius of 870.00 feet, a central angle of 7 deg. 55 min. 11 sec., and being subtended by a chord which bears South 13 deg. 18 min. 37 sec. West - 120.16 feet,

Continue in a southerly direction along said curve to the right, a distance of 120.25 feet,

South 17 deg. 16 min. 12 sec. West tangent to said curve and being 35.00 feet West of and parallel to the centerline of said North 165th Drive, said centerline being monumented by a found City of Surprise brass cap flush (Basis of Bearings), a distance of 824.40 feet to a Point of Curvature of a non-tangent circular curve to the left, having a radius of 430.00 feet, a central angle of 1 deg. 16 min. 04 sec., and being subtended by a chord which bears South 16 deg. 38 min. 18 sec. West - 9.52 feet,

Continue in a southerly direction along said curve to the left, a distance of 9.52 feet to the South line of said Sycamore Farms - Phase 2,

THENCE North 73 deg. 59 min. 52 sec. West departing said West right-of-way line and continuing along said South line, a distance of 659.00 feet to the East right-of-way line of said Bob Stump Memorial Parkway,

THENCE in a westerly direction departing said South line and continuing along the East right-of-way line of said Bob Stump Memorial Parkway the following five (5) courses,

..North 00 deg. 23 min. 43 sec. East, a distance of 5.63 feet,

..North 45 deg. 18 min. 37 sec. East, a distance of 59.44 feet,

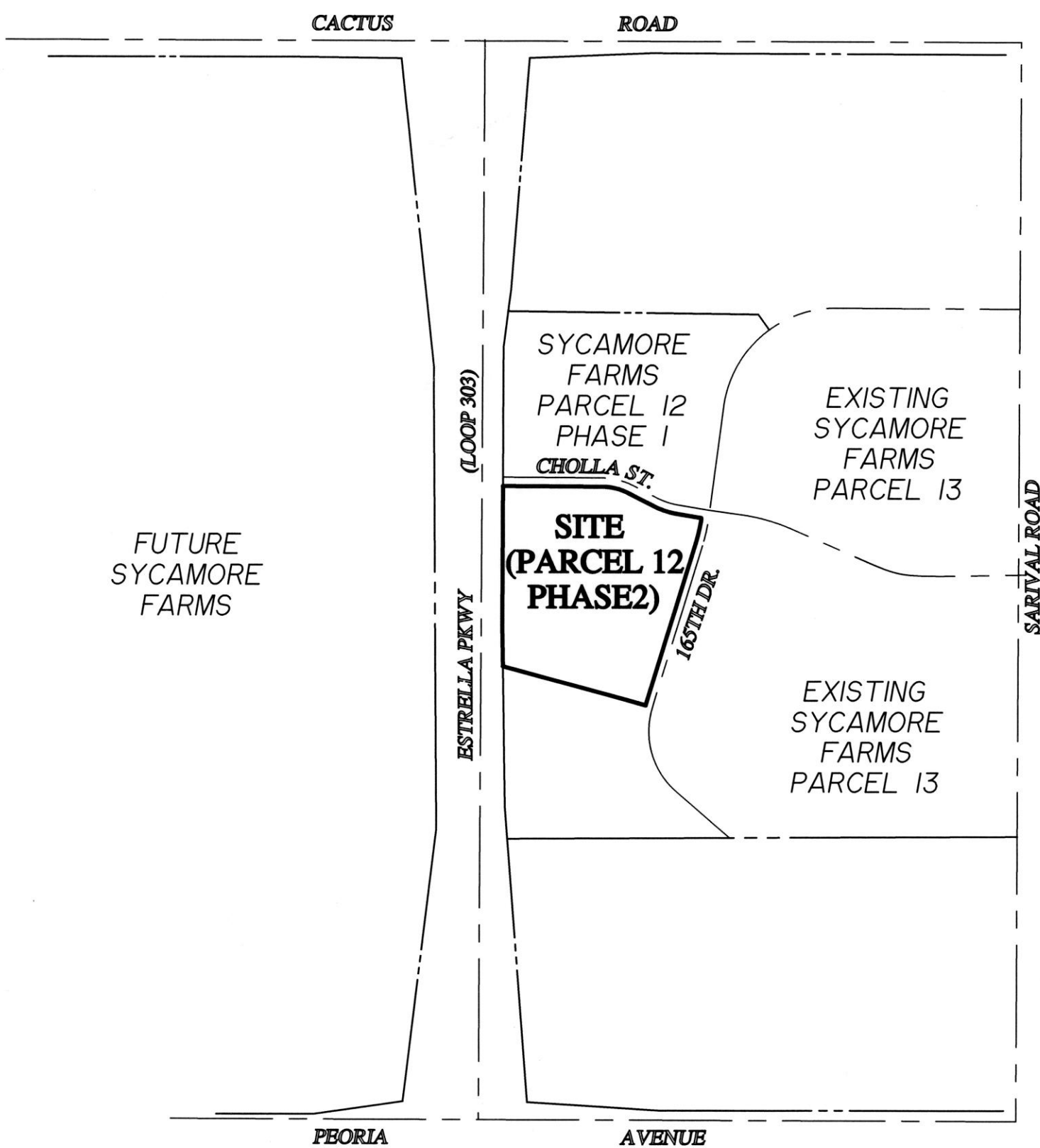
..North 00 deg. 23 min. 43 sec. East, a distance of 215.49 feet,

..North 89 deg. 41 min. 48 sec. West, a distance of 12.00 feet,

..North 00 deg. 23 min. 43 sec. East, a distance of 629.28 feet to the POINT OF BEGINNING, containing 723,944 square feet or 16.619 acres of land.

PRELIMINARY PLAT FOR THE RETREAT AT SYCAMORE FARMS PARCEL 12, PHASE 2

CITY OF SURPRISE, MARICOPA COUNTY,
ARIZONA
DECEMBER, 2013



LOCATION MAP

BASIS OF BEARINGS

S17°16'12"W ALONG THE MONUMENT LINE OF 165TH DRIVE AS SHOWN ON THE PRELIMINARY PLAT CONTAINED HEREIN.

BENCHMARK

CITY OF SURPRISE BENCHMARK #80 CHISELED SQUARE ON THE NORTH CORNER OF A CONCRETE BASE FOR STEEL POWER POLE, AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CACTUS ROAD AND SARIVAL AVENUE.

ELEVATION= 1199.17 FEET (NAVD 88)

TOPOGRAPHY ORIGINATION

2013 AERIAL TOPOGRAPHY PERFORMED BY ARIZONA SURVEYING AND MAPPING.

UTILITY SERVICES

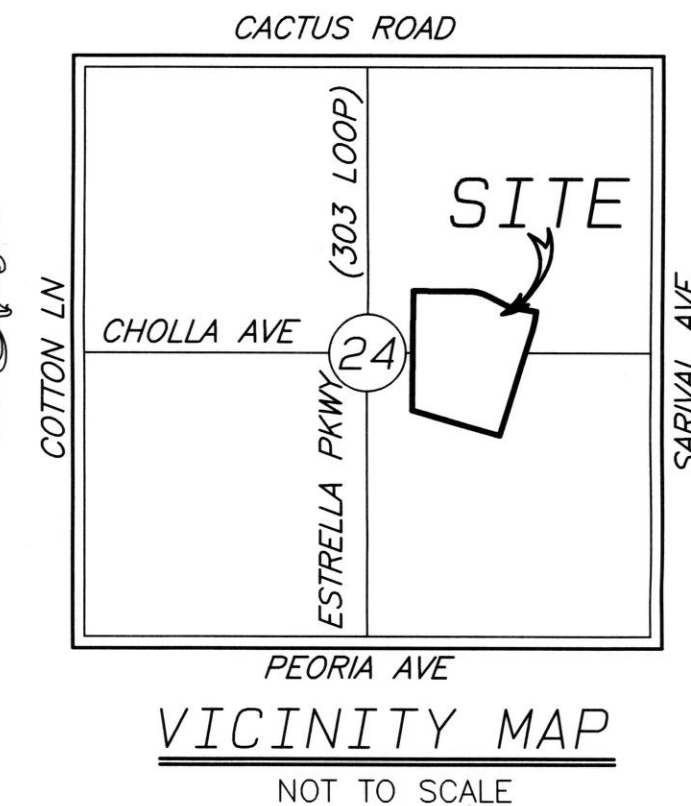
SEWER	CITY OF SURPRISE
WATER	EPCOR
ELECTRICITY	A.P.S.
COMMUNICATIONS	CENTURY LINK
COMMUNICATIONS	COX / QWEST COMMUNICATIONS
GAS	SOUTHWEST GAS
POLICE	CITY OF SURPRISE
FIRE	CITY OF SURPRISE
SOLID WASTE	CITY OF SURPRISE

NOTES:

1) THE PROPERTY OWNER(S) AND/OR HOA SHALL MAINTAIN THE LANDSCAPING WITHIN THE ADJACENT ROADWAY TRACTS, AND IN ALL RETENTION AND OPEN SPACE AREAS AND/OR TRACTS.

2) SEWER SHALL BE MAINTAINED BY THE CITY OF SURPRISE.

3) WATER SHALL BE MAINTAINED BY EPCOR.



SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	PRELIMINARY PLAT

GOODWIN
MARSHALL
CIVIL ENGINEERS - PLANNERS - SURVEYORS

6909 W. Ray Road #15
Chandler, Arizona 85226
(602) 218-7285
Contact: Warren C. Russell, P.E.



EXPIRES 09/30/15

PRELIMINARY PLAT FOR THE RETREAT AT SYCAMORE FARMS PARCEL 12, PHASE 2

JOB NO.:	10569A	DESIGN:	WCK	REVIEW:	WCK	SHEET:	1 OF 2
DATE:	DECEMBER 2013	DRAFT:	WCK				

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morrison
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DEVELOPER:

taylor
morrison

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9000 E. PIMA CENTER PARKWAY SUITE 350
SCOTTSDALE, AZ 85258
TEL 480 344 7000
FAX 480 344 7001
CONTACT: JEFF DEASON

PREPARED BY:

GOODWIN
AND
MARSHALL
INC.

CIVIL ENGINEERS - PLANNERS - SURVEYORS

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OUTSIDE MARICOPA COUNTY

THE RETREAT AT SYCAMORE FARMS PARCEL 12, PHASE 2 LAND USE SUMMARY	
ZONING DESIGNATION	PAD/MDR
45' X 115' LOTS	69
TOTAL LOTS	69
GROSS DENSITY	4.15 Lots/Acre
LOT ACREAGE	8.61 Ac.
PUBLIC STREETS	3.97 Ac.
OPEN SPACE ACREAGE	4.04 Ac.
TOTAL ACREAGE	16.62 Ac.

THE RETREAT AT SYCAMORE FARMS, PARCEL 12, PHASE 2 TRACT TABLE			
TRACT NAME	AREA (ac.)	USE	OWNER
TRACT A	0.22	LANDSCAPE	HOA
TRACT B	0.95	LANDSCAPE / DRAINAGE	HOA
TRACT C	0.05	LANDSCAPE	HOA
TRACT D	0.08	LANDSCAPE	HOA
TRACT E	0.46	LANDSCAPE / AMENITY	HOA
TRACT F	0.06	LANDSCAPE	HOA
TRACT G	1.91	LANDSCAPE/DRAINAGE/FIRE ACCESS	HOA
TRACT H	0.31	LANDSCAPE / DRAINAGE	HOA

HOA= THE RETREAT AT SYCAMORE FARMS, PARCEL 12, PHASE 2 HOME OWNERS ASSOCIATION

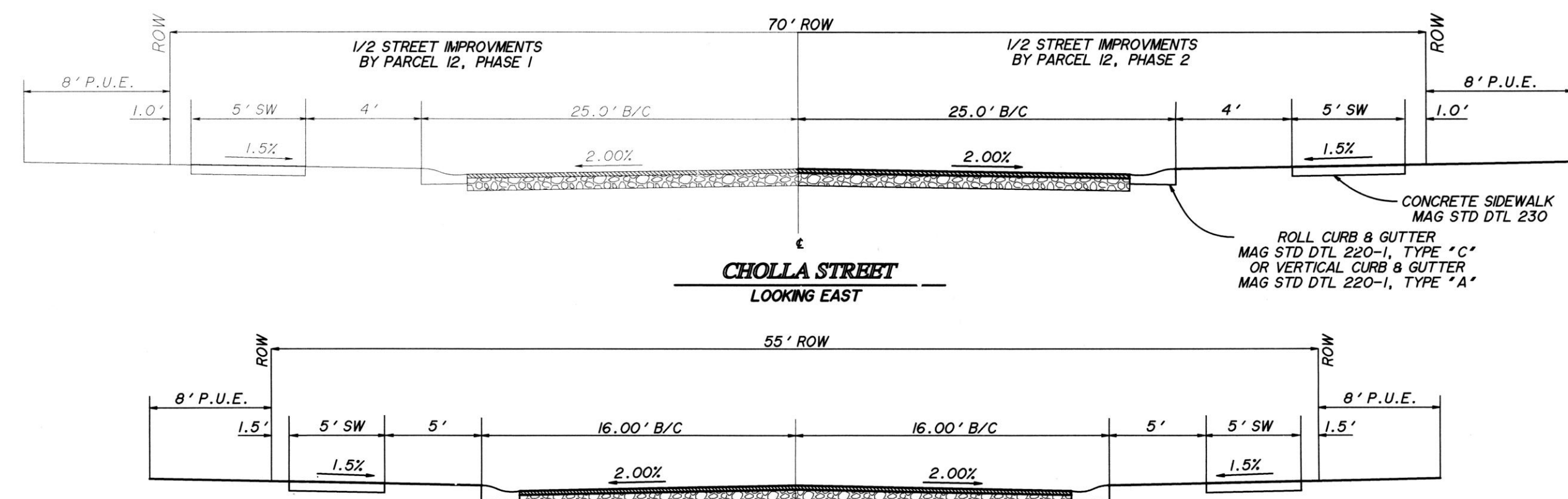
THE RETREAT AT SYCAMORE FARMS PARCEL 12, PHASE 2 LOT TABLE

LOT NUMBER	SQUARE FEET	TYPICAL LOT WIDTH	LOT NUMBER	SQUARE FEET	TYPICAL LOT WIDTH	LOT NUMBER	SQUARE FEET	TYPICAL LOT WIDTH	LOT NUMBER	SQUARE FEET	TYPICAL LOT WIDTH	LOT NUMBER	SQUARE FEET	TYPICAL LOT WIDTH
1	6,046	45.0'	15	5,175	45.0'	29	5,175	45.0'	43	5,175	45.0'	57	5,326	45.0'
2	5,243	45.0'	16	5,175	45.0'	30	5,701	45.0'	44	5,175	45.0'	58	5,168	45.0'
3	5,702	45.0'	17	5,310	45.0'	31	5,243	45.0'	45	5,175	45.0'	59	5,890	51.3'
4	5,557	45.0'	18	5,310	45.0'	32	8,341	45.0'	46	5,175	45.0'	60	5,898	51.3'
5	5,175	45.0'	19	5,310	45.0'	33	5,125	45.0'	47	5,175	45.0'	61	7,021	50.9'
6	5,175	45.0'	20	5,670	45.0'	34	5,175	45.0'	48	5,273	45.0'	62	6,532	49.3'
7	5,227	45.0'	21	6,128	45.0'	35	5,175	45.0'	49	5,175	45.0'	63	5,898	51.3'
8	5,512	45.0'	22	5,883	45.0'	36	5,175	45.0'	50	5,175	45.0'	64	5,175	45.0'
9	5,036	45.0'	23	5,743	45.0'	37	5,175	45.0'	51	5,175	45.0'	65	5,175	45.0'
10	6,648	45.0'	24	5,319	45.0'	38	5,175	45.0'	52	5,175	45.0'	66	5,175	45.0'
11	5,325	45.0'	25	5,177	45.0'	39	5,156	45.0'	53	5,175	45.0'	67	5,175	45.0'
12	5,136	45.0'	26	5,175	45.0'	40	5,478	45.0'	54	5,175	45.0'	68	5,175	45.0'
13	5,385	45.0'	27	5,175	45.0'	41	5,174	45.0'	55	5,839	45.0'	69	5,266	45.0'
14	5,175	45.0'	28	5,175	45.0'	42	5,175	45.0'	56	5,784	45.0'			

RESIDENTIAL DEVELOPMENT STANDARDS

DISTRICT	MINIMUM LOT SIZE		BUILDING HEIGHT	MINIMUM YARD SETBACKS				DISTANCE BETWEEN BUILDINGS (5)	MAXIMUM COVERAGE
	AREA	WIDTH		FRONT (1)	SIDE (2)	STREET (3)	REAR (4)		
MDR	2,600	30	36	20	3	10	10	6	PER SETBACKS

- (1) - 12' for Living Area or Side Load Garage - 20' for Front Load Garage. In no case shall the face of the garage be less than 20' from back of sidewalk.
- (2) - Setback includes adjacent common area landscape tract, but in no case shall be less than 5 feet from property line.
- (3) - 10' for living and 5' for enclosed Patio Cover. Fireplaces, bay windows, or entertainment pop-outs may encroach 3' into the rear setback.



LINE TABLE

LINE	BEARING	DISTANCE
L1	N00°23'43"E	5.63'
L2	N89°41'48"W	12.00'

CURVE TABLE

CURVE	RADIUS	ARC	DELTA	CHORD BEARING	CHORD
C1	281.08'	137.38'	28°00'00"	S75°44'19"E	136.02'
C2	408.00'	126.47'	17°37'11"	S71°44'53"E	124.98'
C3	15.00'	7.26'	27°43'35"	S04°30'46"E	7.19'
C4	870.00'	120.25'	7°55'11"	S13°18'37"W	120.18'
C5	430.00'	9.52'	1°46'04"	S16°38'18"W	9.52'

CITY OF SURPRISE BENCH MARK

CITY OF SURPRISE BENCHMARK #80
CHASED SQUARE ON THE NORTH CORNER
OF A CONCRETE BASE FOR STEEL POWER POLE,
AT THE SOUTHWEST CORNER OF THE
INTERSECTION OF CACTUS ROAD AND SARIVALE AVENUE.
ELEVATION= 1199.17 FEET (NAVD 88)

THE RETREAT AT SYCAMORE FARMS PARCEL 12, PHASE 2

CITY OF SURPRISE
MARICOPA COUNTY, ARIZONA

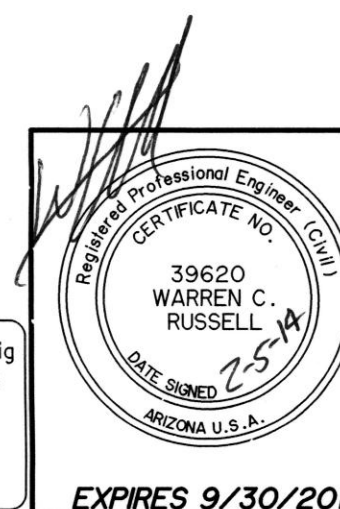
PRELIMINARY PLAT

GOODWIN &
MARSHALL

CIVIL ENGINEERS-PLANNERS-SURVEYORS

Job No. : 10569A Design : WCR
Date : DECEMBER 2013 Draft : WCR
Scale : AS SHOWN Review : WCR

SHEET: 2 of 2

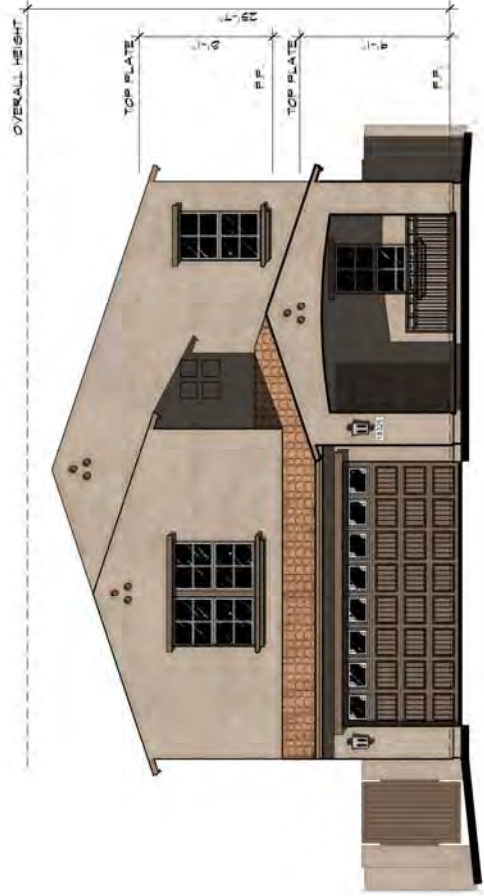


NOTES:

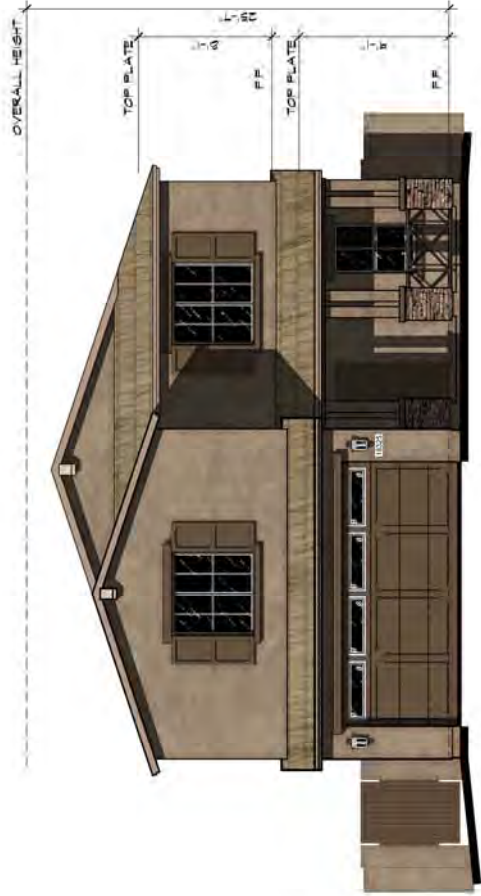
- ALL DIMENSIONS SHOWN ARE PRELIMINARY IN NATURE AND ARE SUBJECT TO CHANGE AS PART OF FINAL PLATTING.
- ALL AMENITIES, GRADING, DRAINAGE, AND UTILITIES ARE PRELIMINARY IN NATURE AND ARE SUBJECT TO CHANGE AS PART OF FINAL PLATTING.
- SIDEWALKS ARE SHOWN SCHEMATICALLY AND ARE NOT INTENDED TO SHOW ADA RAMPS. RAMPS SHALL SHOWN AS PART OF THE FINAL CONSTRUCTION DOCUMENTS.

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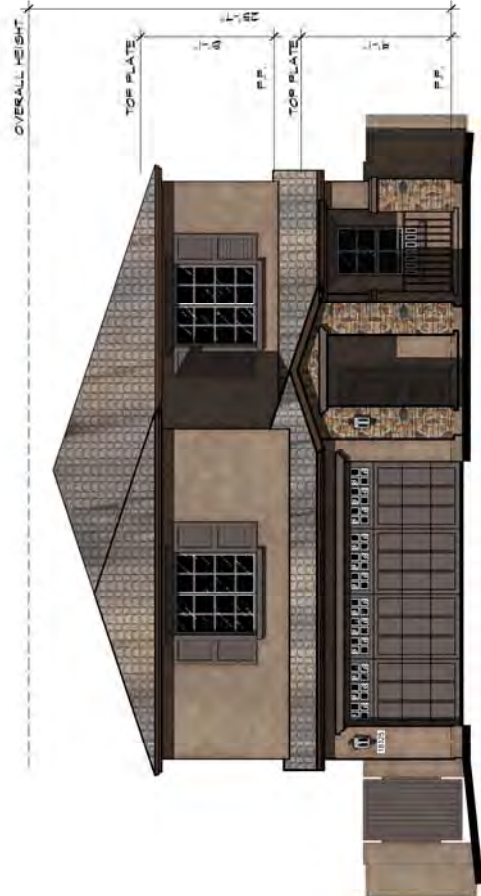
EXPIRES 9/30/2015



ELEVATION 'A' (SPANISH COLONIAL)
3/16" = 1'-0"



ELEVATION 'B' (RANCH)
3/16" = 1'-0"

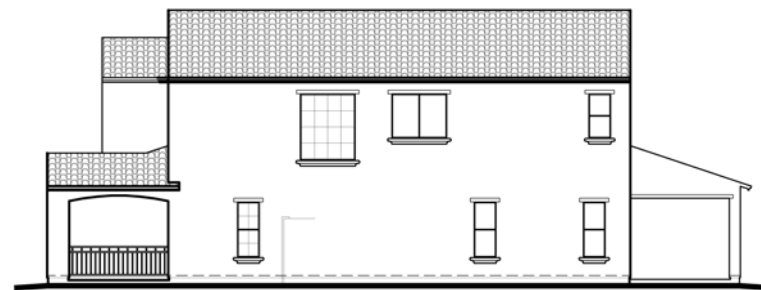


ELEVATION 'C' (TUSCAN)
3/16" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"



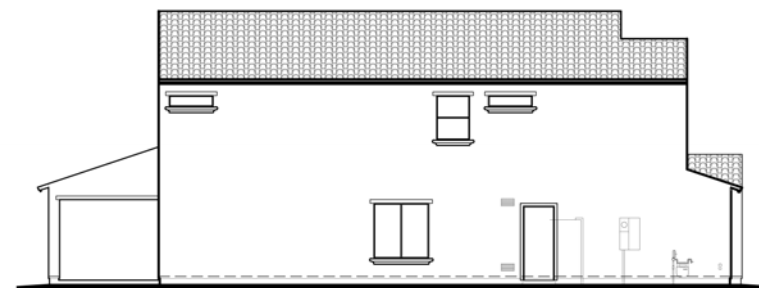
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

TAYLOR MORRISON LAS BRISAS 3500 SERIES
3516 - ELEVATION A (SPANISH)

DATE: 10/22/2013

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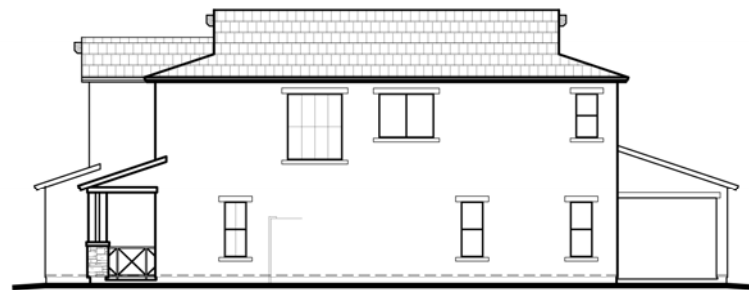


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FRONT ELEVATION

1/4" = 1'-0"



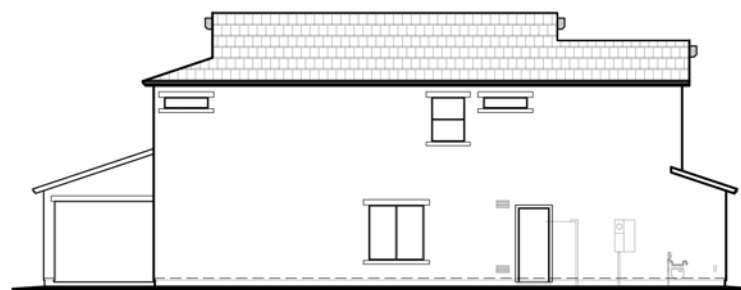
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

TAYLOR MORRISON LAS BRISAS 3500 SERIES
3516 - ELEVATION B (RANCH)

DATE: 10/22/2013

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FRONT ELEVATION

1/4" = 1'-0"



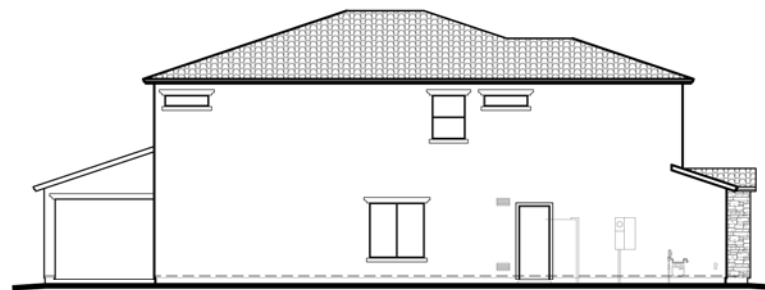
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

TAYLOR MORRISON LAS BRISAS 3500 SERIES
3516 - ELEVATION C (TUSCAN)

DATE: 10/22/2013

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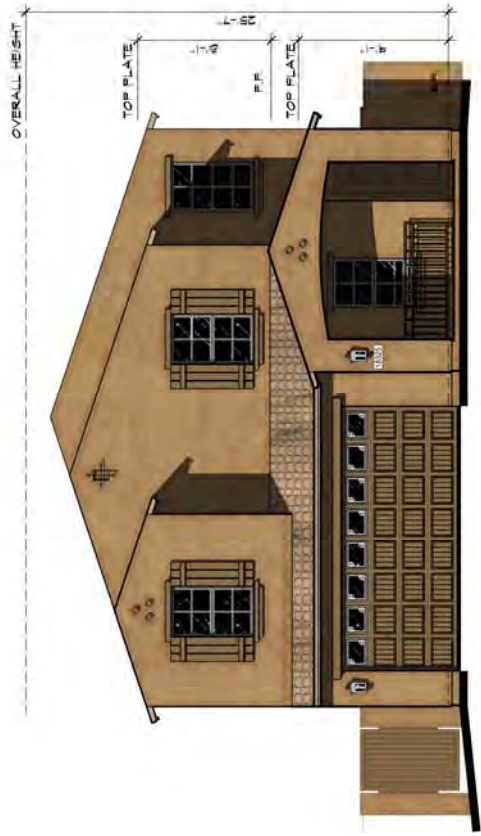
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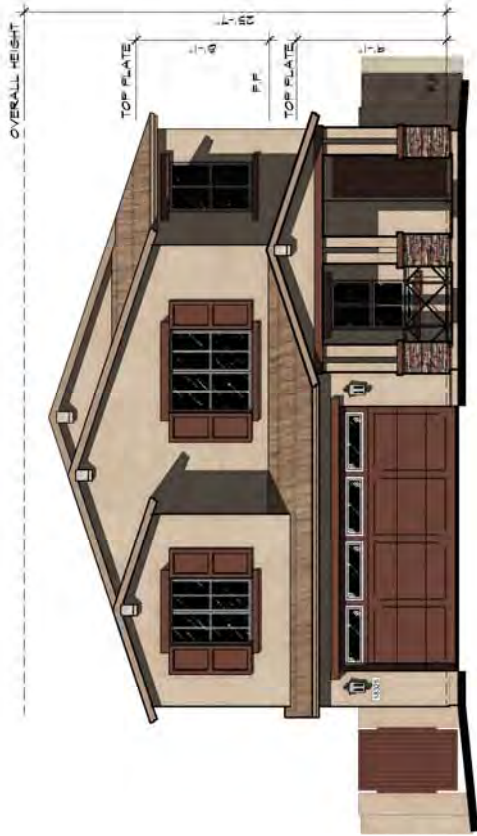
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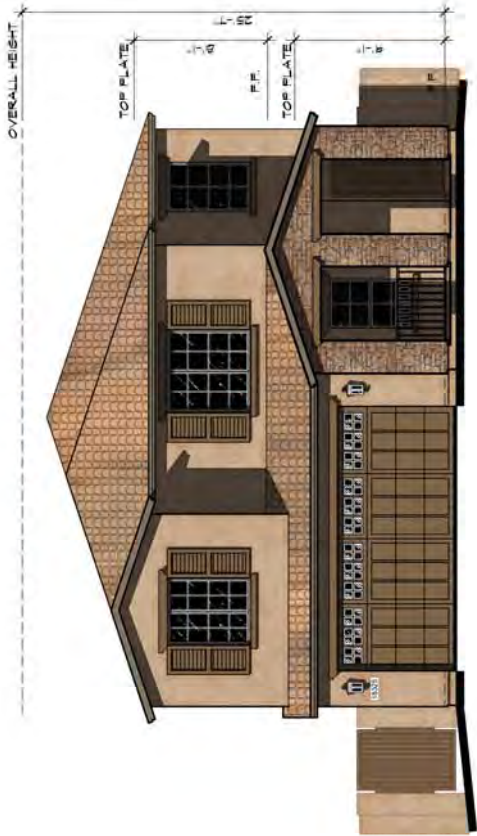
ELEVATION 'A' (SPANISH COLONIAL)

5/16" = 1'-0"



ELEVATION 'B' (RANCH)

5/16" = 1'-0"

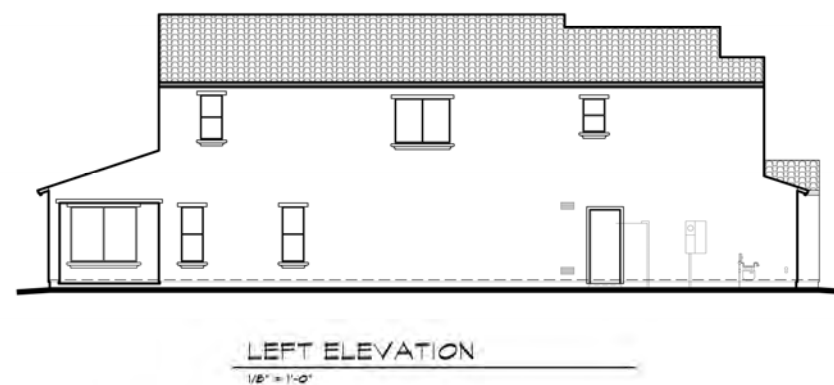
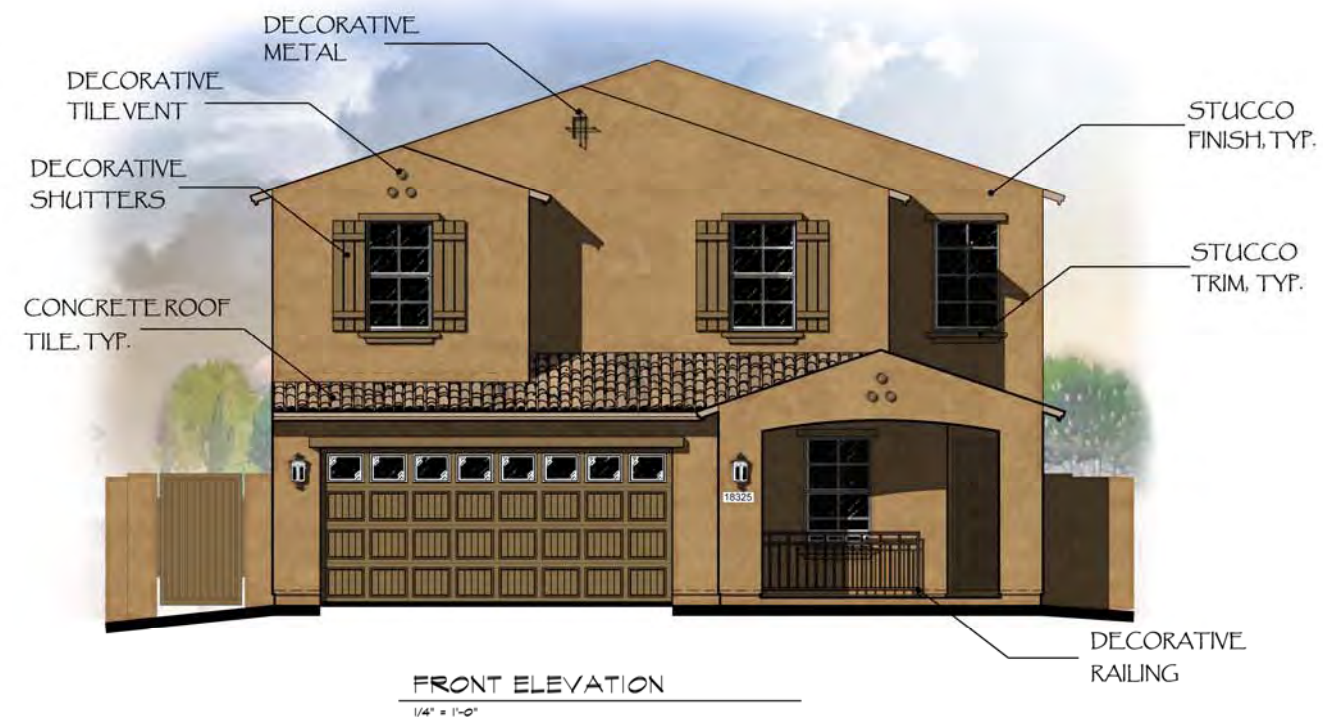


ELEVATION 'C' (TUSCAN)

5/16" = 1'-0"

TAYLOR MORRISON LAS BRISAS 3500 SERIES
PLAN 3526 ELEVATIONS

DATE: 10/22/2013



TAYLOR MORRISON 3500 SERIES
3526 - ELEVATION A

DATE: 10/22/2013

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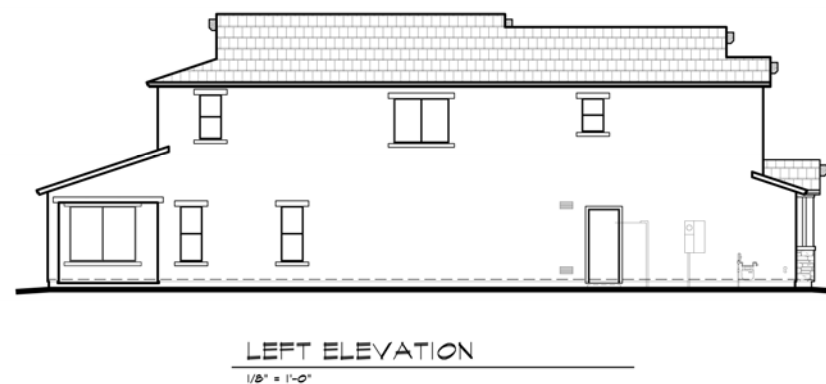
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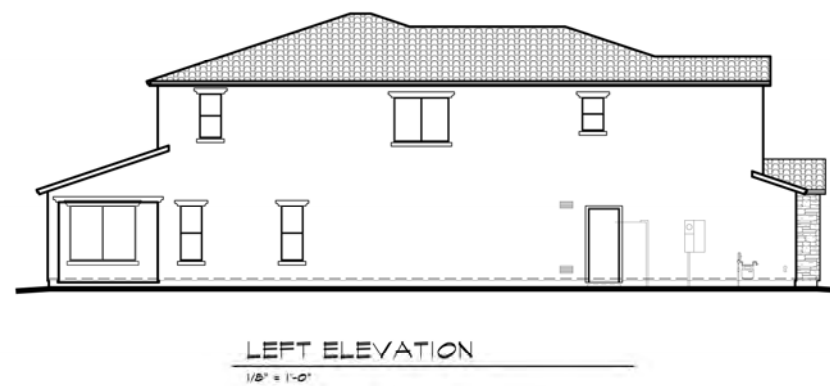
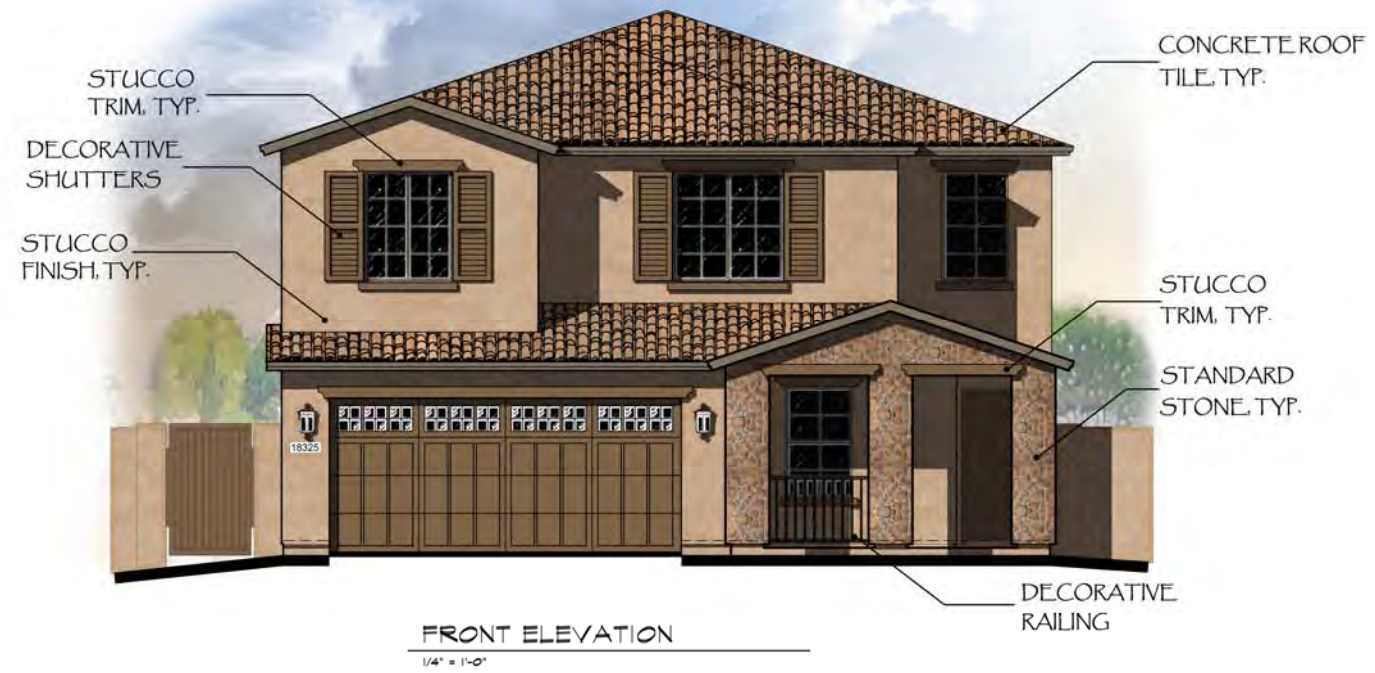
TAYLOR MORRISON 3500 SERIES
3526 - ELEVATION B

DATE: 10/22/2013

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morrison
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"Where Quality Design Leads To Lower Cost"



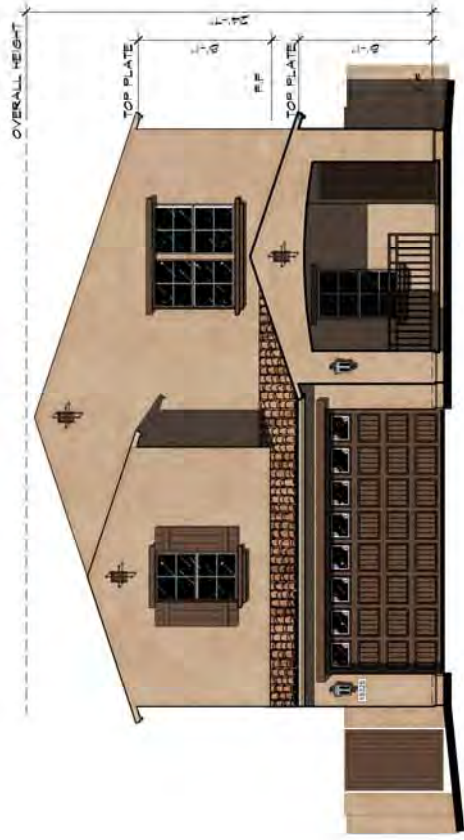
TAYLOR MORRISON 3500 SERIES
3526 - ELEVATION C

DATE: 10/22/2013

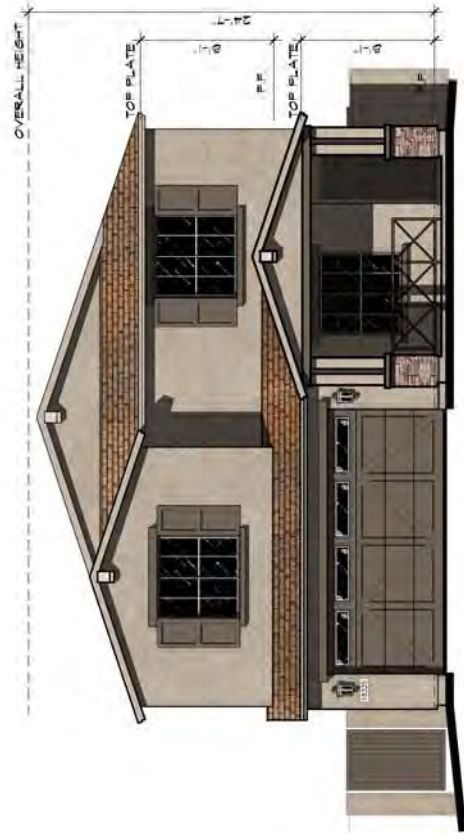
taylor
morrison
Homes Inspired by You



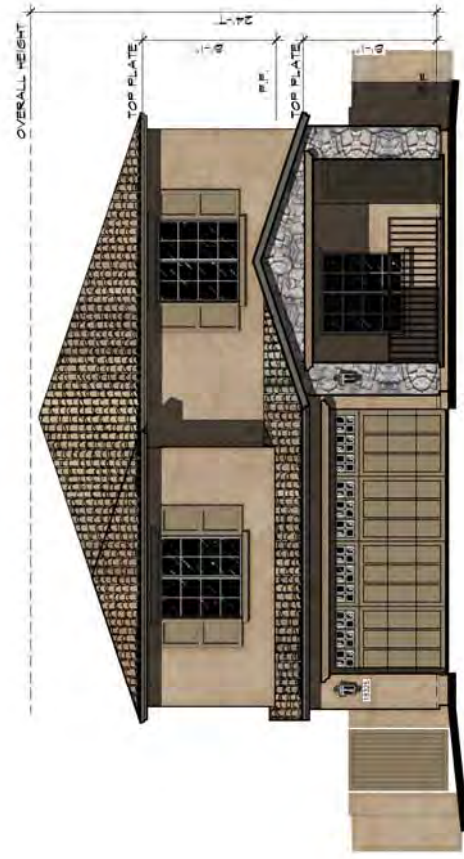
FELTEN GROUP
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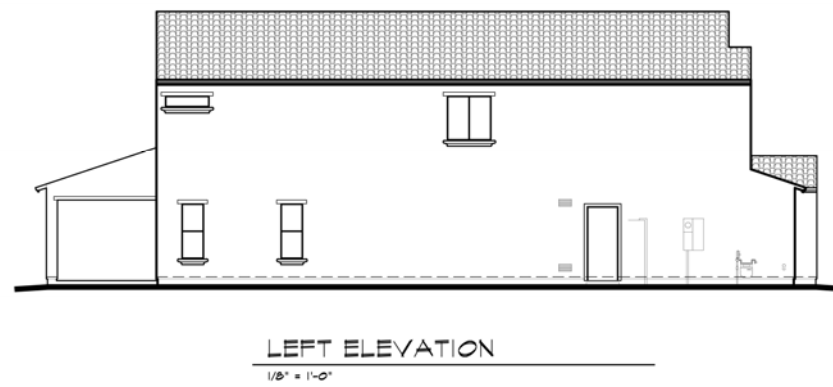
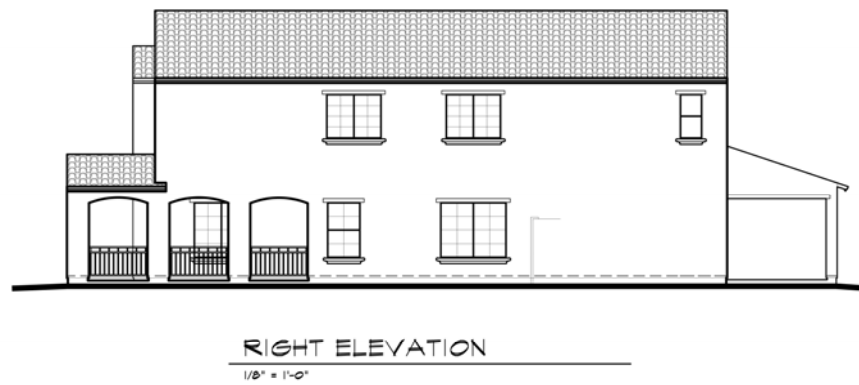
ELEVATION 'A' (SPANISH)
5/16" = 1'-0"



ELEVATION 'B' (RANCH)
5/16" = 1'-0"



ELEVATION 'C' (TUSCAN)
5/16" = 1'-0"



DATE: 10/22/2013

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Homes Inspired by You

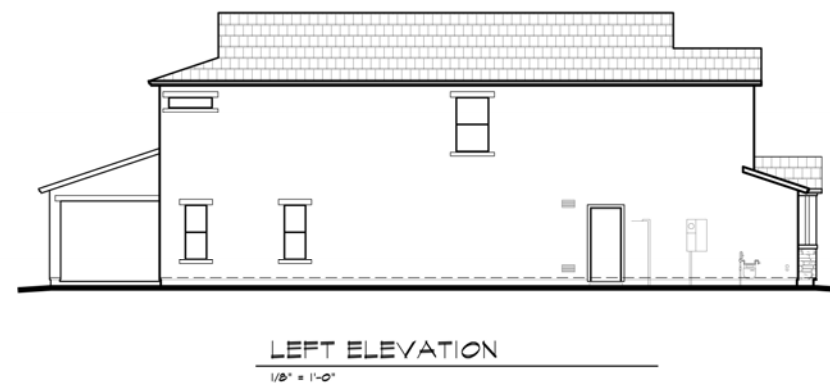
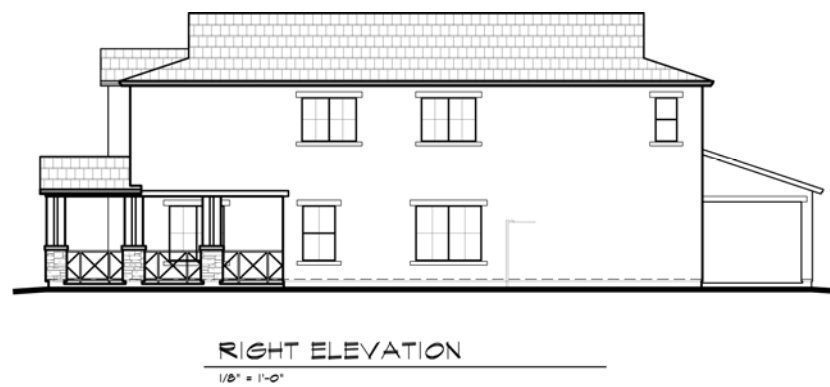


TAYLOR MORRISON LAS BRISAS 3500 SERIES
3536 - ELEVATION A (SPANISH)

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TAYLOR MORRISON LAS BRISAS 3500 SERIES
3536 - ELEVATION B (RANCH)

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FRONT ELEVATION

1/4" = 1'-0"



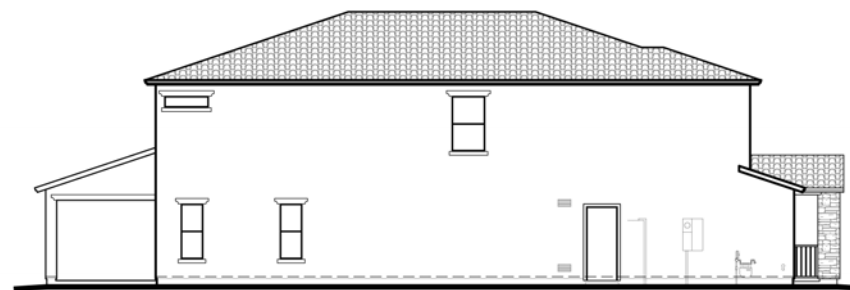
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

TAYLOR MORRISON LAS BRISAS 3500 SERIES
3536 - ELEVATION C (TUSCAN)

DATE: 10/22/2013

taylor
morrison

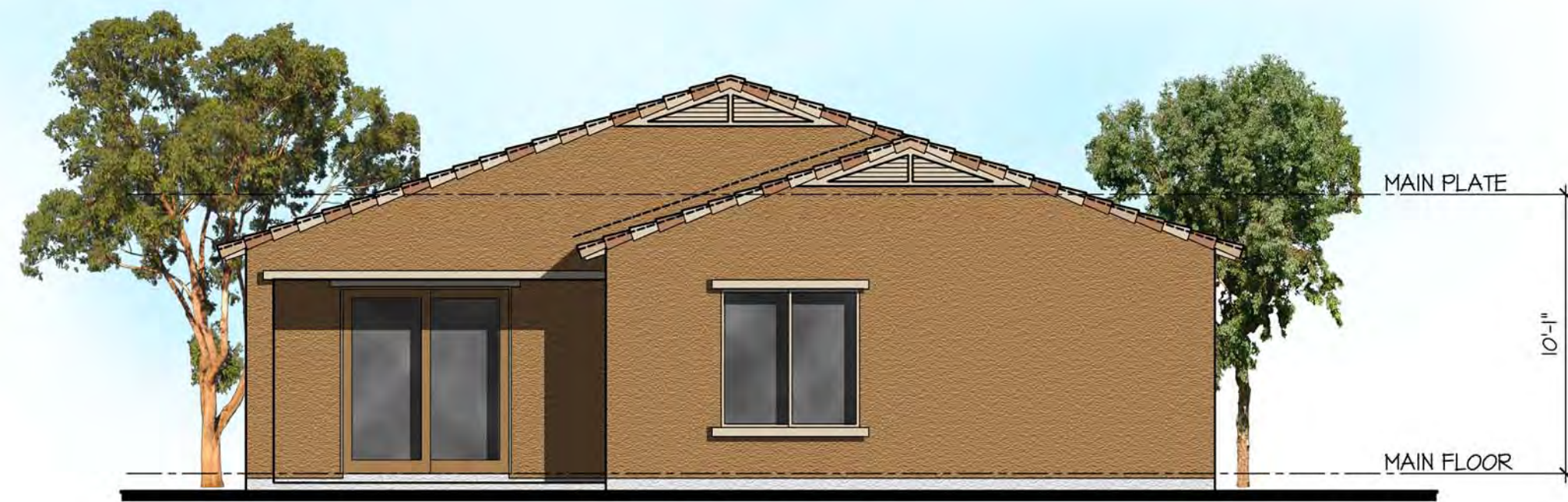
Homes Inspired by You



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Rear Elevation

scale: 3/16" = 1'-0"



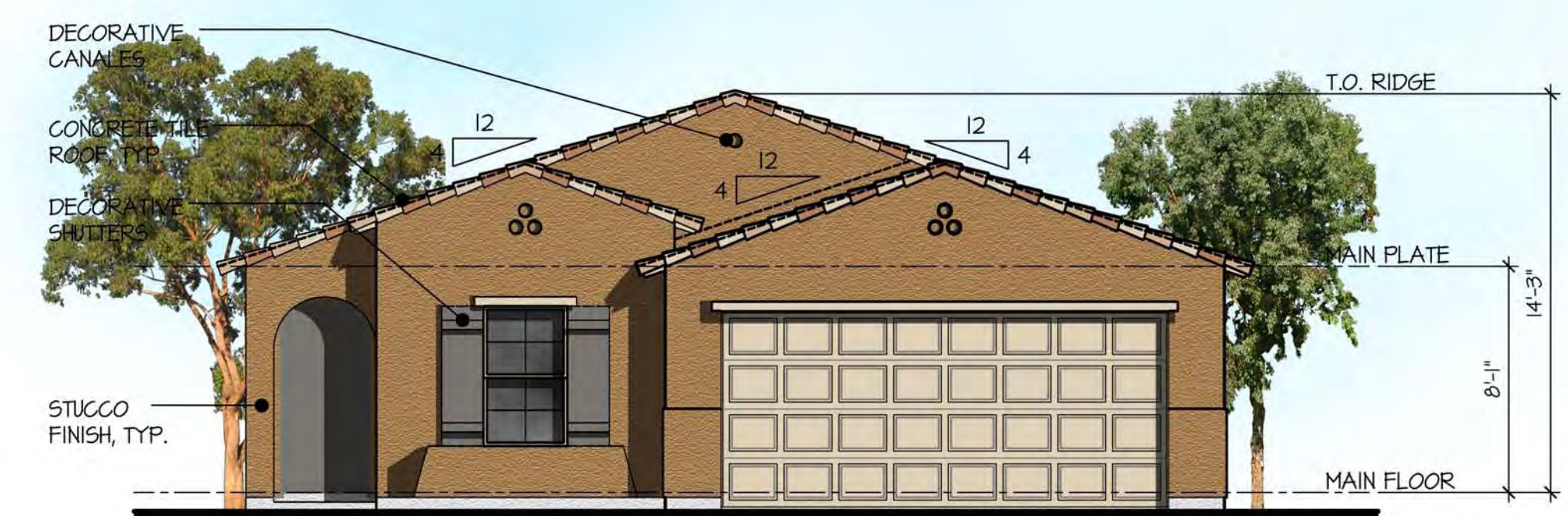
Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

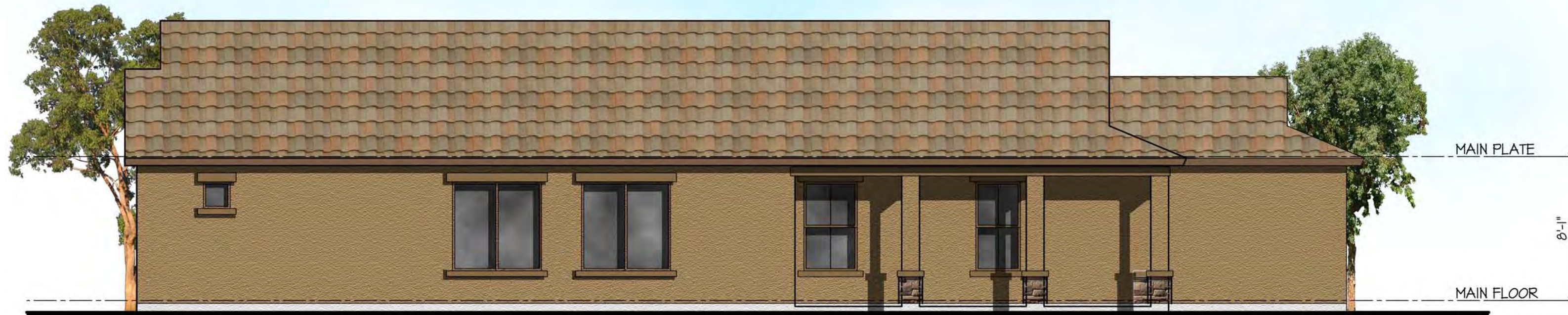
3513 - Spanish



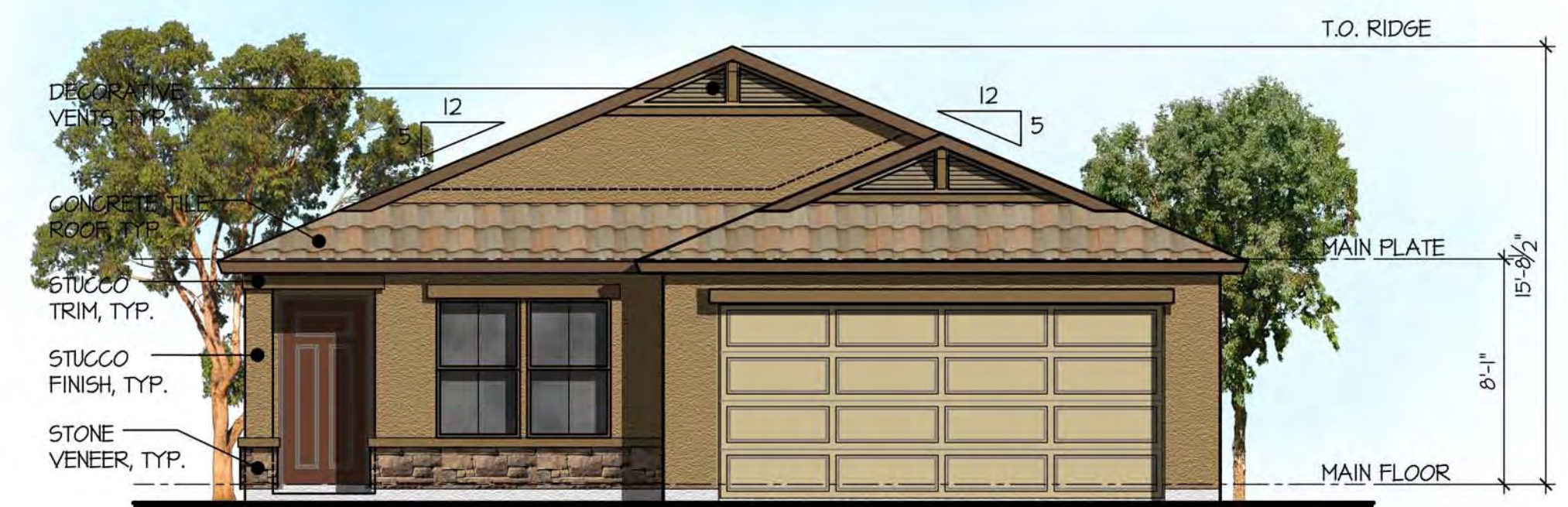
Rear Elevation
scale: 3/16" = 1'-0"



Right Side Elevation
scale: 3/16" = 1'-0"



Left Side Elevation
scale: 3/16" = 1'-0"



Front Elevation
scale: 3/16" = 1'-0"

3513 - Ranch



Rear Elevation

scale: 3/16" = 1'-0"



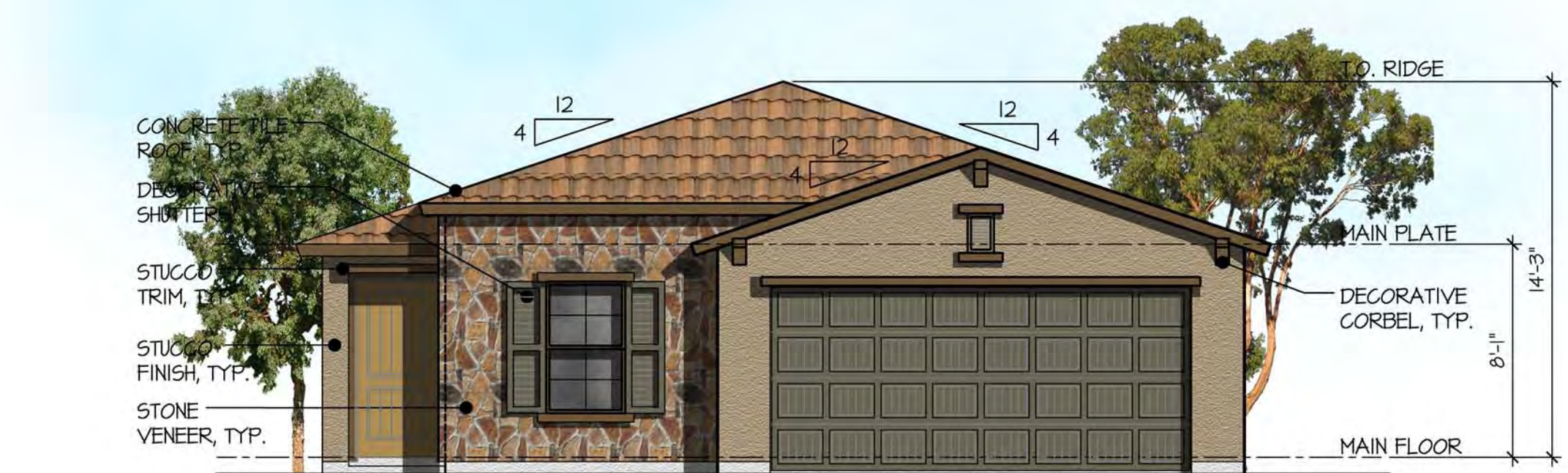
Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

3513 - Tuscan



Rear Elevation

scale: 3/16" = 1'-0"



Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

3514 - Spanish



Rear Elevation

scale: 3/16" = 1'-0"



Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

3514 - Ranch



Rear Elevation

scale: 3/16" = 1'-0"



Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

3514 - Tuscan



Rear Elevation

scale: 3/16" = 1'-0"



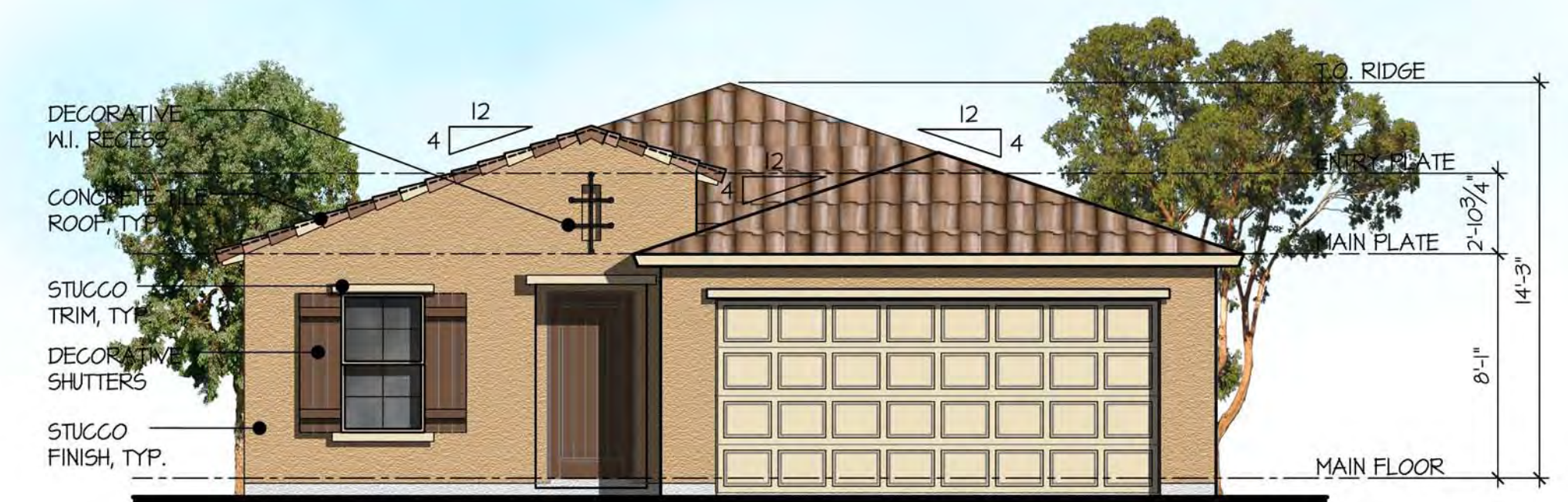
Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

3523 - Spanish



Rear Elevation

scale: 3/16" = 1'-0"



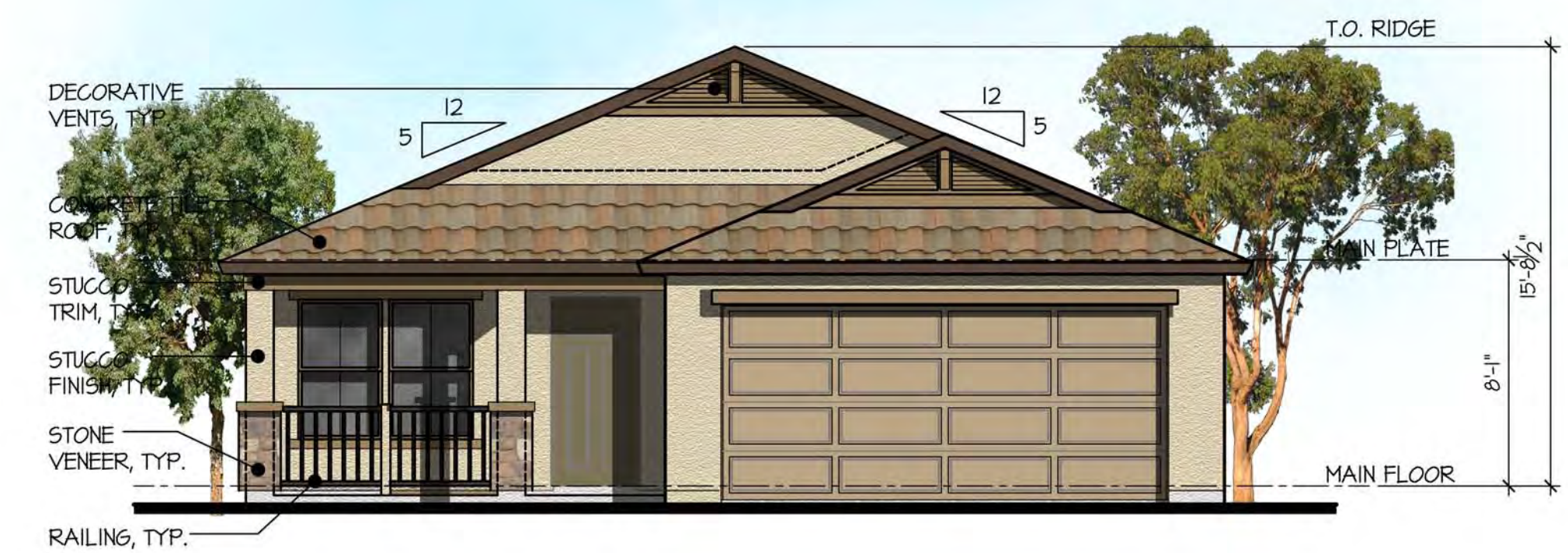
Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

3523 - Ranch



Rear Elevation

scale: 3/16" = 1'-0"



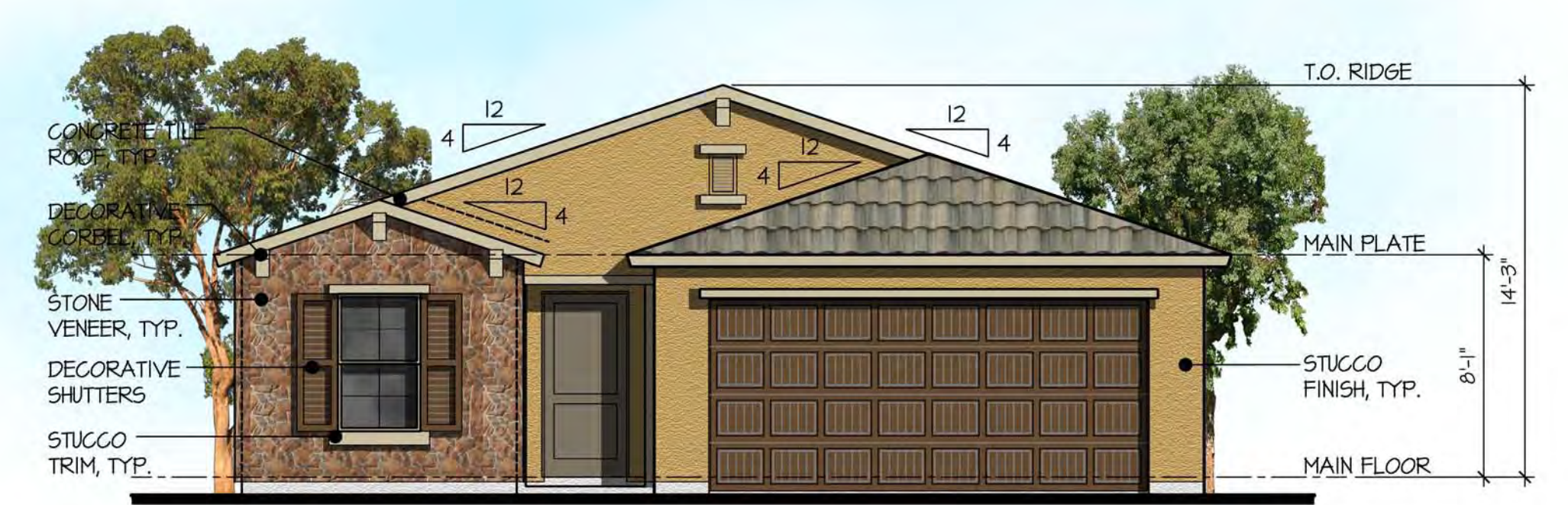
Right Side Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

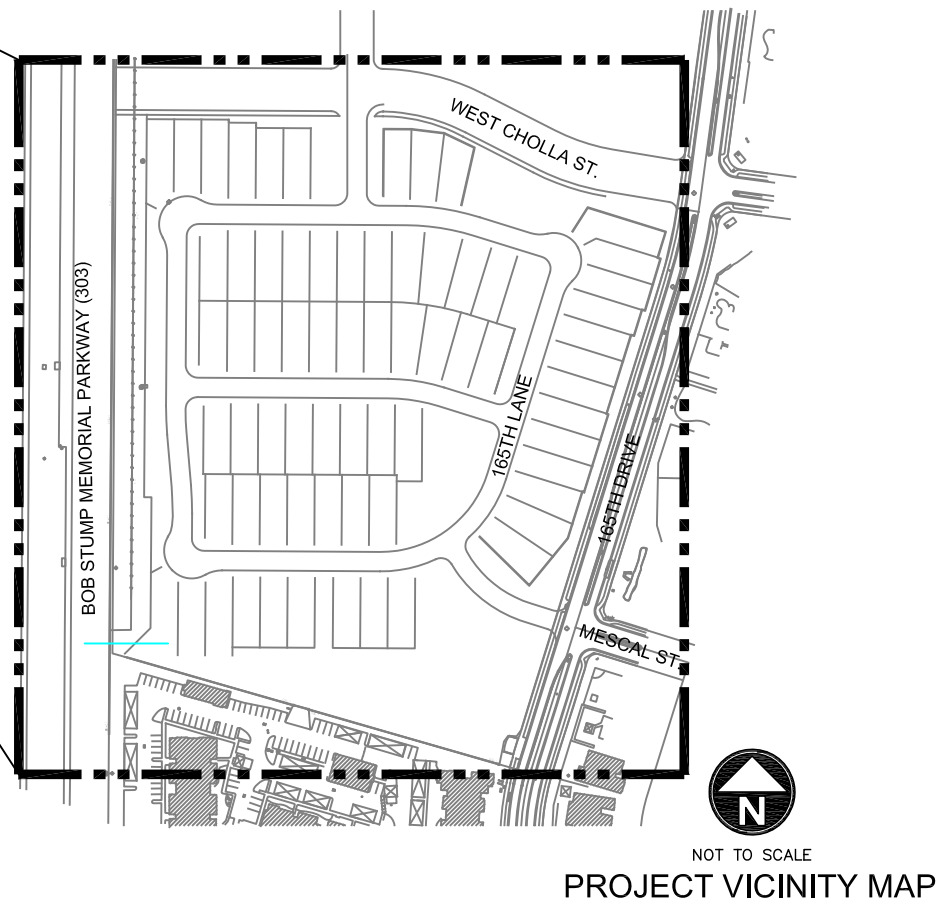
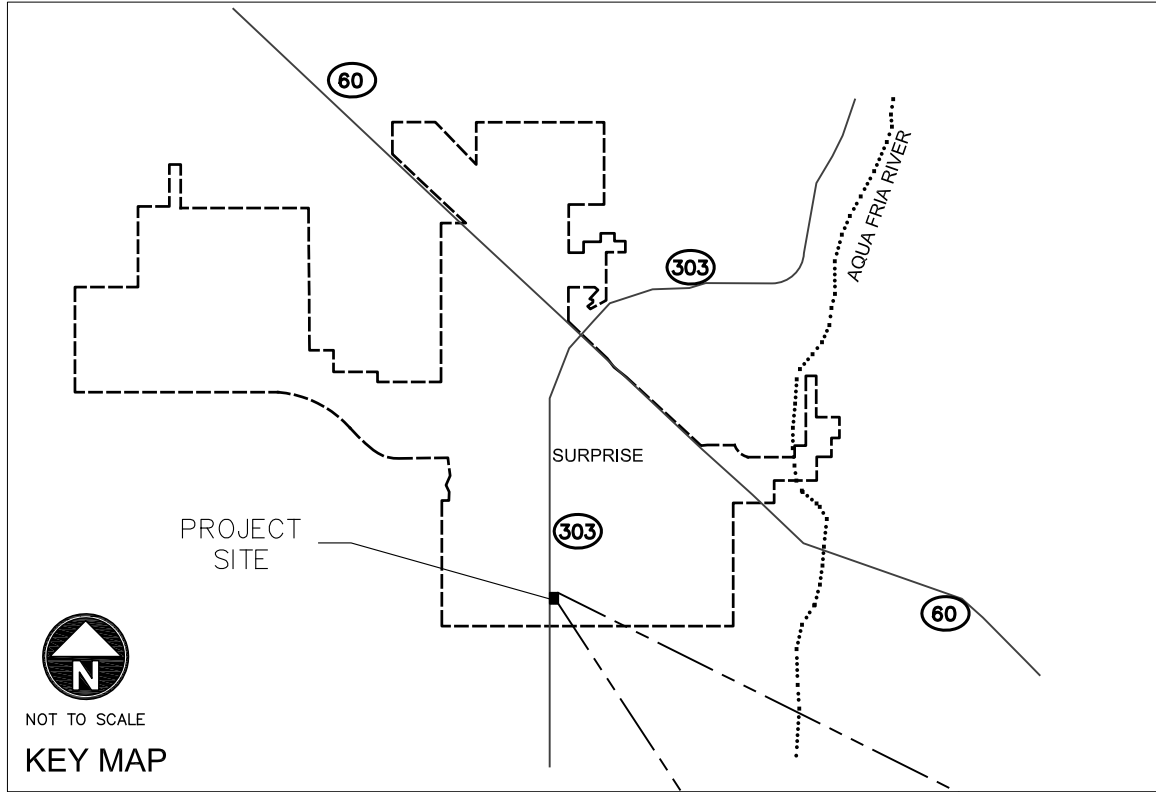
3523 - Tuscan

THE RETREAT AT SYCAMORE FARMS

Preliminary Plat for Parcel 12, Phase 2

City of Surprise - General Notes:

1. ALL CONSTRUCTION MUST CONFORM TO MARICOPA ASSOCIATION OF GOVERNMENT (MAG) SPECIFICATIONS AND DETAILS AND LATEST REVISIONS UNLESS OTHERWISE STATED ON PLANS.
2. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND THEY WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL OVERHEAD AND UNDERGROUND UTILITY LOCATIONS WHERE CONSTRUCTION OCCURS. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT ALL UTILITIES ARE AVOIDED. UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND NOT FOR CONSTRUCTION PURPOSES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AND OR REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT BLUE STAKE LAWS. CALL BLUE STAKE FOR FIELD LOCATION AT (602) 263-1100.
4. THE CITY OF SURPRISE ENGINEERING SERVICES OF PUBLIC WORKS SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK AT 623-222-6150.
5. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION OR VARIANCE FROM THESE PLANS. ANY VARIATION FROM THESE PLANS SHALL BE PROPOSED AND RESUBMITTED FOR REVIEW AND APPROVAL.
6. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
7. ANY INSPECTION BY THE CITY, COUNTY, OR THE ENGINEER, SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
8. THE CONTRACTOR IS TO LOCATE ALL EXISTING LANDSCAPING, LANDSCAPING IRRIGATION LINES, PROPERTY MONUMENTS, FENCING OR SURFACE FEATURES PRIOR TO CONSTRUCTION. ANYTHING DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
9. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
10. ALL CONSTRUCTION WATER USED WITHIN THE CITY OF SURPRISE WATER SERVICE AREA REQUIRES APPROVAL BY THE CITY OF SURPRISE PUBLIC WORKS DEPARTMENT AND MAY BE SUBJECT TO VOLUME AND TIME RESTRICTIONS. PLEASE SEE THE CITY OF SURPRISE CONSTRUCTION WATER GUIDELINES FOR ADDITIONAL INFORMATION. THE GUIDELINES CAN BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT AT 623-222-7000.
11. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPECIFICATION 401, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE "TEMPORARY WORK ZONE TRAFFIC MANAGEMENT POLICY" (LATEST EDITION).
12. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK, THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED OR DAMAGED DURING THE COURSE OF CONSTRUCTION.
13. EMERGENCY VEHICLE ACCESS (E.V.A.) MUST BE PROVIDED BY THE DEVELOPER/CONTRACTOR THROUGHOUT THE PROJECT SITE. E.V.A. ROADS AND SIGNAGE SHALL BE MAINTAINED BY THE DEVELOPER/CONTRACTOR AT ALL TIMES. SIGNAGE SHALL BE POSTED AT THE POINT OF ENTRY TO THE SITE AND AT ALL LOCATIONS WHERE A CHANGE IN DIRECTION OCCURS.
14. THE PLANS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT'S ACCESSIBILITY GUIDELINES, AS PUBLISHED IN THE FEDERAL REGISTER ON SEPTEMBER 15, 2010.



Developer:

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SCOTTSDALE, ARIZONA 85258
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801.505.8090

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GOODWIN AND MARSHALL, INC
WARREN RUSSELL
6909 WEST RAY ROAD, SUITE 15
CHANDLER, ARIZONA 85226
602.218.7285

Sheet Index:

Hardscape	SHEET H1.0	OVERALL WALL, WALK & AMENITY PLAN
	SHEET H1.1	WALL, WALK & AMENITY DETAILS
Landscape	SHEET L1.0	OVERALL LANDSCAPE PLAN
	SHEET L1.1	LANDSCAPE PLAN
	SHEET L1.2	LANDSCAPE PLAN
	SHEET L1.3	LANDSCAPE PLAN
	SHEET L1.4	LANDSCAPE PLAN
	SHEET L1.5	LANDSCAPE PLAN
	SHEET L1.6	LANDSCAPE PLAN, SCHEDULE & DETAILS

THE RETREAT

AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

PRELIMINARY
PLAT
CITY OF SURPRISE, AZ

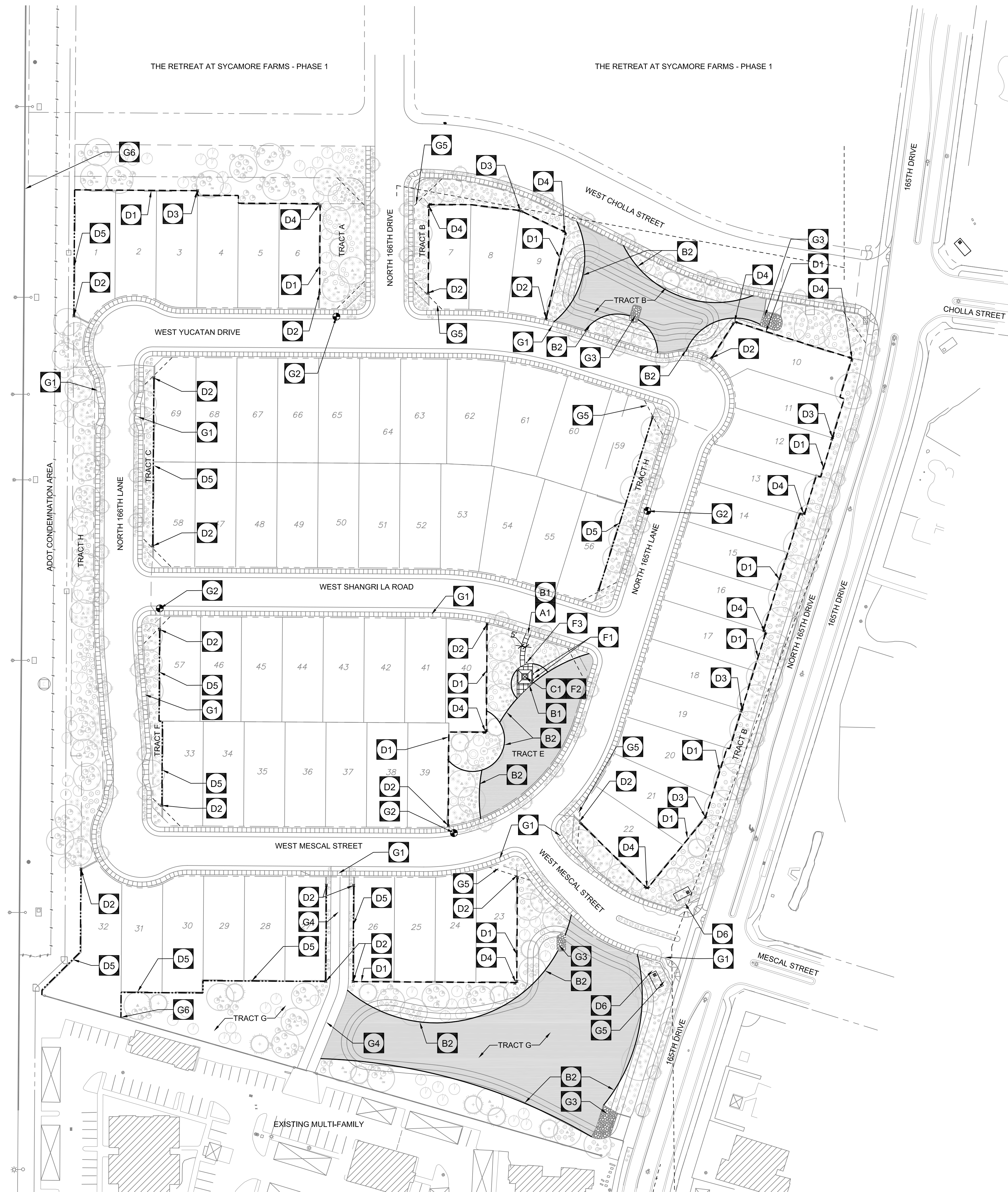


DATE:	DECEMBER 2013
PROJECT:	070
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	PRELIMINARY PLAT
REVISIONS:	

SHEET TITLE:
OVERALL
COVER SHEET

SHEET NUMBER:

C1.0



WALL, WALK & AMENITY PLAN KEYNOTES

SECTION A: JOINTS

- A1 PROVIDE EXPANSION JOINT WIDOWEL AT EXISTING CONCRETE EDGE. PROTECT EXISTING CONCRETE WALK. SEE DETAIL 1, SHEET H1.1

SECTION B: CAST-IN-PLACE

- B1 CONCRETE PAVEMENT, COLOR: GRAY
FINISH: MEDIUM BROOM. SEE DETAIL 1, SHEET H1.1
B2 CONCRETE HEADER/MOW CURB
SEE DETAIL 2, SHEET H1.1

SECTION C: STRUCTURES

- C1 PICNIC PAVILION -
SEE DETAIL 3, SHEET H1.1

SECTION D: WALLS

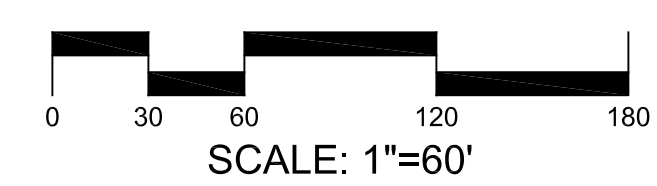
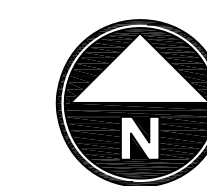
- D1 COMMUNITY THEME WALL
SEE DETAIL 4, SHEET H1.1
D2 COMMUNITY THEME WALL END COLUMN -
SEE DETAIL 5, SHEET H1.1
D3 COMMUNITY THEME WALL COLUMN -
SEE DETAIL 6, SHEET H1.1
D4 COMMUNITY THEME WALL COLUMN ON
CORNER - SEE DETAIL 6, SHEET H1.1
D5 COMMUNITY SUB-DIVISION CMU WALL -
SEE DETAIL 7, SHEET H1.1
D6 ENTRY MONUMENT - SEE DETAIL 8,
SHEET H1.1

SECTION F: SITE AMENITIES/FURNISHINGS

- F1 IRON MTN. FORGE BBQ MODEL 216-X; SURFACE
MOUNT. SEE DETAIL 9, SHEET H1.1
F2 PEDESTAL MOUNT PICNIC TABLE TO MATCH
EXISTING ON SITE - SEE DETAIL 9, SHEET H1.1
F3 TRASH RECEPTACLE TO MATCH EXISTING ON SITE
SEE DETAIL 10, SHEET H1.1

SECTION G: MISC.

- G1 5'-0" CONCRETE SIDEWALK, FOR
REFERENCE ONLY - SEE CIVIL PLANS
G2 FIRE HYDRANT MIN. 5' CLEAR & FLAT AROUND
HYDRANT, NO PLANTINGS BETWEEN HYDRANT & CURB
PLANS
G3 DRAINAGE OUTLET - FOR REFERENCE ONLY SEE CIVIL
PLANS
G4 FIRE ACCESS ROAD
G5 SIGHT VISIBILITY TRIANGLE - PER CITY OF SURPRISE
STANDARD DETAIL 4-02
G6 TIE WALL TO EXISTING WALL



THE RETREAT

AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

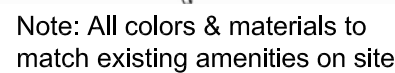
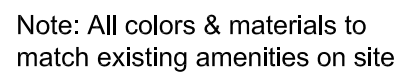
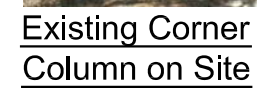
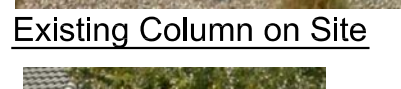
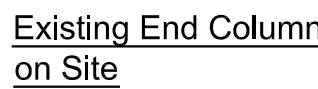
PRELIMINARY
PLAT
CITY OF SURPRISE, AZ



DATE:	DECEMBER 2013
PROJECT:	070
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VERSION:	PRELIMINARY PLAT
REVISIONS:	

SHEET TITLE:
OVERALL WALL,
WALK & AMENITY PLAN

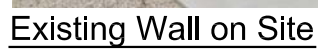
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H1.0



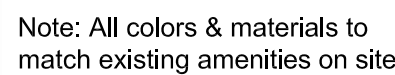
2 Picnic Pavilion



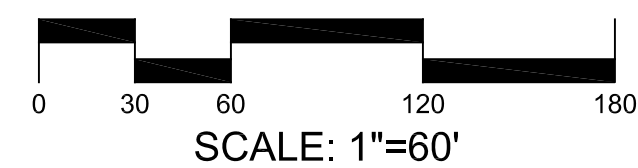
Community Theme Wall



Community Subdivision CMU Wall



16 Trash Receptacle



THE RETREAT

AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

PRELIMINARY
PLAT
CITY OF SURPRISE, AZ



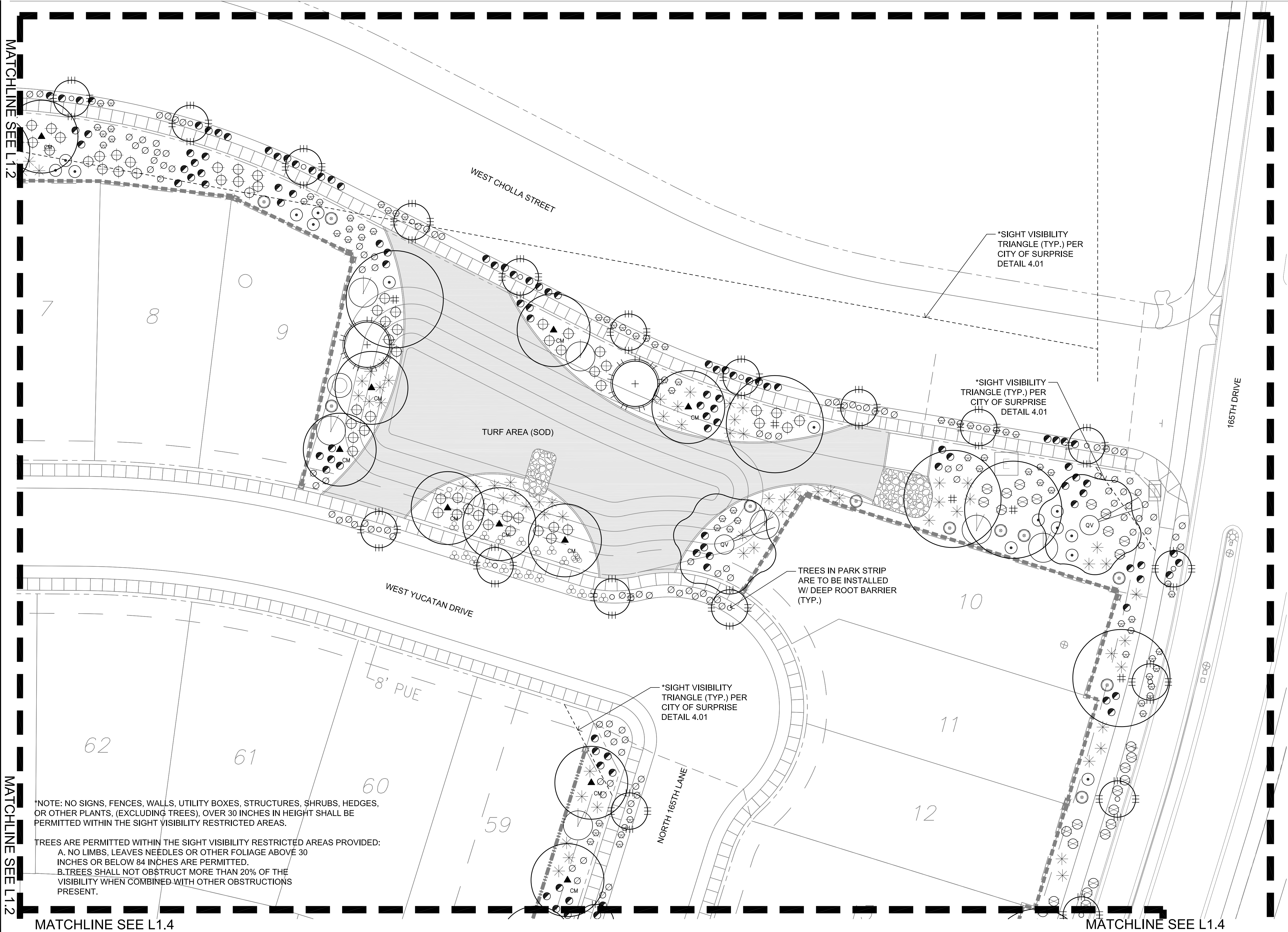
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DRAWN BY: MP
REVIEW BY: EL
VERSION: PRELIMINARY PLAT
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SHEET TITLE:
OVERALL
LANDSCAPE PLAN

SHEET NUMBER:
L1.0

MATCHLINE SEE L1.2

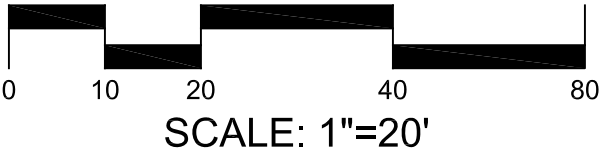
MATCHLINE SEE L1.2



Plant Schedule

SYMBOL	BOTANICAL/COMMON NAME
TREES	
#	Dalbergia sissoo Rosewood
▲	Prosopis chilensis (Hybrid) Thornless Chilean Mesquite
○	Chilopsis linearis Desert Willow
EVERGREEN TREES	
+	Pinus elarica Afghan Pine
◊	Quercus virginiana Heritage Live Oak
EVERGREEN SHRUBS	
◊	Lantana x 'New Gold' New Gold Lantana
●	Lantana montevidensis Trailing Purple Lantana
LARGE SHRUBS 7-15' SPREAD	
◊	Dodonaea viscosa Green Hopseed Bush
○	Caesalpinia mexicana Mexican Bird of Paradise
MEDIUM SHRUBS 5-7' SPREAD	
◊	Larrea tridentata Creosote Bush
◊	Nerium oleander 'Petite Pink' Petite Pink Oleander
SMALL SHRUBS 2-5' SPREAD	
●	Calliandra californica Baja Fairy Duster
◊	Convolvulus cneorum Silver Bush Morning Glory
◊	Ruellia brittoniana Mexican Petunia
PERENNIALS/SUCCULENTS	
◊	Hesperaloe parviflora Red Yucca
GRASSES	
*	Muhlenbergia rigens Deer Grass
TURF	
■	Cynodon Dactylon 'Mid-Iron' 'Mid-Iron' Bermuda Grass
GROUNDCOVERS	
⊕	Dalea greggii Trailing indigo bush

KEY MAP



THE RETREAT

AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

PRELIMINARY
PLAT
CITY OF SURPRISE, AZ



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VERSION:	PRELIMINARY PLAT
REVISIONS:	

SHEET TITLE:
LANDSCAPE
PLAN

SHEET NUMBER:

L1.1

Plant Schedule

SYMBOL	BOTANICAL/COMMON NAME
TREES	
#	Dalbergia sissoo Rosewood
▲	Prosopis chilensis (Hybrid) Thornless Chilean Mesquite
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+	Pinus elarica Afghan Pine
○	Quercus virginiana Heritage Live Oak
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○	Lantana x 'New Gold' New Gold Lantana
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LARGE SHRUBS 7-15' SPREAD	
○	Dodonaea viscosa Green Hopseed Bush
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⊗	Ruellia brittoniana Mexican Petunia
PERENNIALS/SUCCULENTS	
⊗	Hesperaloe parviflora Red Yucca
GRASSES	
*	Muhlenbergia rigens Deer Grass
TURF	
■	Cynodon Dactylon 'Mid-Iron' 'Mid-Iron' Bermuda Grass
GROUNDCOVERS	
⊕	Dalea greggii Trailing indigo bush

KEY MAP



MATCHLINE SEE L1.3

ADOT CONDEMNATION AREA

BOB STUMP MEMORIAL PARKWAY

NORTH 166TH LANE

WEST YUCATAN DRIVE

NORTH 166TH DRIVE

*SIGHT VISIBILITY
TRIANGLE (TYP.) PER
CITY OF SURPRISE
DETAIL 4.01

8' PUE

*NOTE: NO SIGNS, FENCES, WALLS, UTILITY BOXES, STRUCTURES, SHRUBS, HEDGES,
OR OTHER PLANTS, (EXCLUDING TREES), OVER 30 INCHES IN HEIGHT SHALL BE
PERMITTED WITHIN THE SIGHT VISIBILITY RESTRICTED AREAS.

TREES ARE PERMITTED WITHIN THE SIGHT VISIBILITY RESTRICTED AREAS PROVIDED:
A. NO LIMBS, LEAVES NEEDLES OR OTHER FOLIAGE ABOVE 30
INCHES OR BELOW 84 INCHES ARE PERMITTED.
B. TREES SHALL NOT OBSTRUCT MORE THAN 20% OF THE
VISIBILITY WHEN COMBINED WITH OTHER OBSTRUCTIONS
PRESENT.

MATCHLINE SEE L1.3

*SIGHT VISIBILITY
TRIANGLE (TYP.) PER
CITY OF SURPRISE
DETAIL 4.01

SIGHT VISIBILITY
TRIANGLE (TYP.)

MATCHLINE SEE L1.1

MATCHLINE SEE L1.1

THE RETREAT

AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

PRELIMINARY
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CITY OF SURPRISE, AZ



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SHEET TITLE:
LANDSCAPE
PLAN

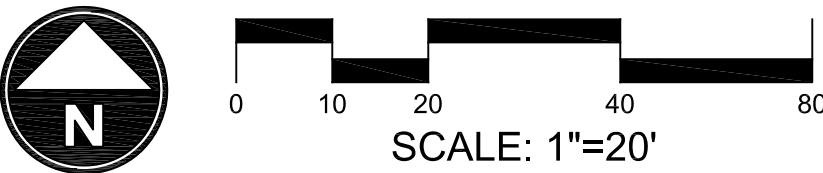
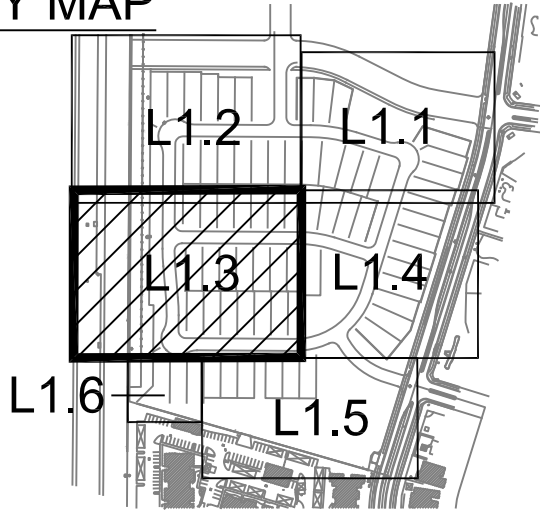
SHEET NUMBER:

L1.2

Plant Schedule

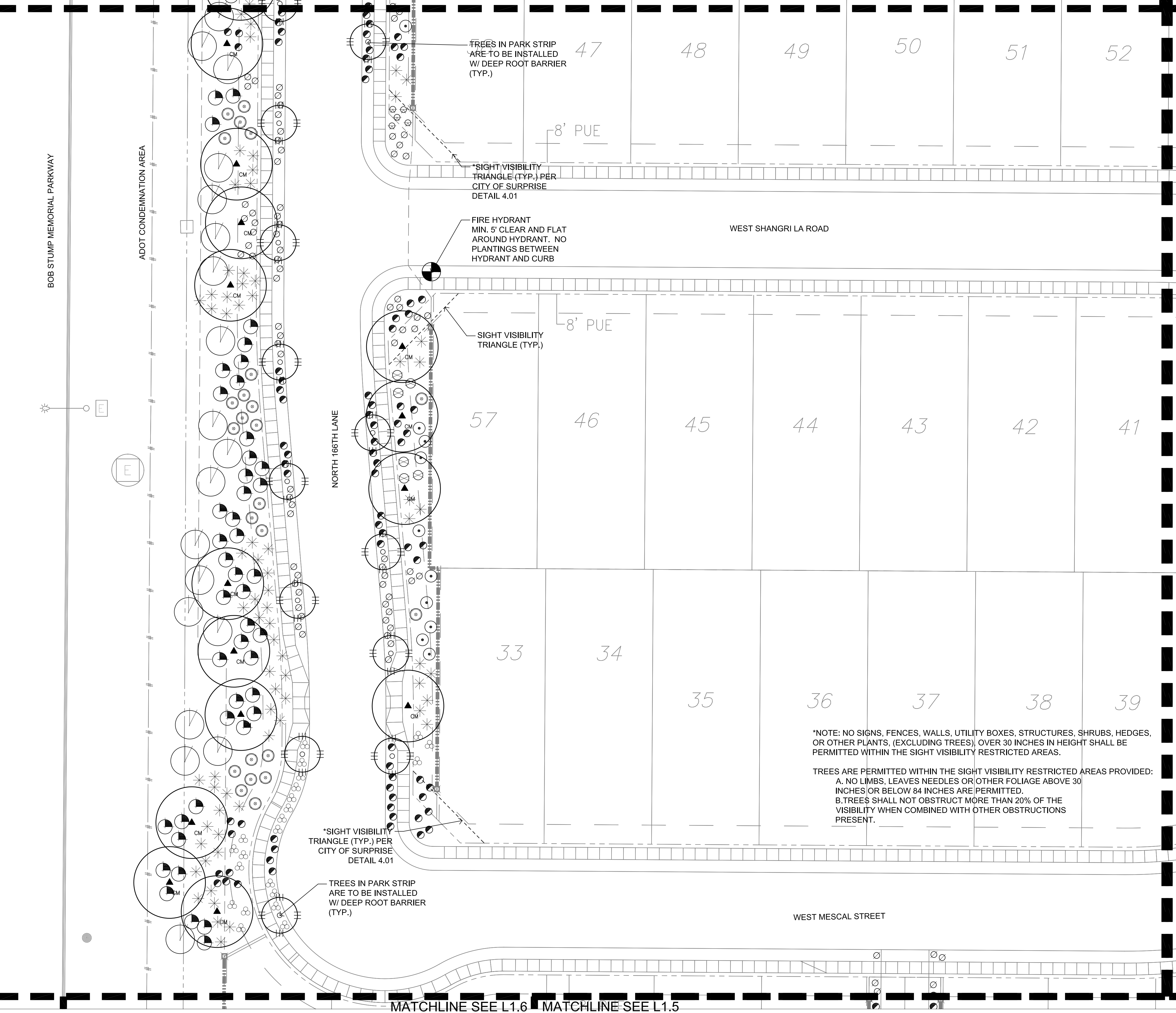
SYMBOL	BOTANICAL/COMMON NAME
TREES	
	Dalbergia sissoo Rosewood
	Prosopis chilensis (Hybrid) Thornless Chilean Mesquite
	Chilopsis linearis Desert Willow
EVERGREEN TREES	
	Pinus elarica Afghan Pine
	Quercus virginiana Heritage Live Oak
EVERGREEN SHRUBS	
	Lantana x 'New Gold' New Gold Lantana
	Lantana montevidensis Trailing Purple Lantana
LARGE SHRUBS 7-15' SPREAD	
	Dodonaea viscosa Green Hopseed Bush
	Caesalpinia mexicana Mexican Bird of Paradise
MEDIUM SHRUBS 5-7' SPREAD	
	Larrea tridentata Creosote Bush
	Nerium oleander 'Petite Pink' Petite Pink Oleander
SMALL SHRUBS 2-5' SPREAD	
	Calliandra californica Baja Fairy Duster
	Convolvulus cneorum Silver Bush Morning Glory
	Ruellia brittoniana Mexican Petunia
PERENNIALS/SUCCULENTS	
	Hesperaloe parviflora Red Yucca
GRASSES	
	Muhlenbergia rigens Deer Grass
TURF	
	Cynodon Dactylon 'Mid-Iron' 'Mid-Iron' Bermuda Grass
GROUNDCOVERS	
	Dalea greggii Trailing indigo bush

KEY MAP



MATCHLINE SEE L1.2

MATCHLINE SEE L1.2



TREES IN PARK STRIP
ARE TO BE INSTALLED
W/ DEEP ROOT BARRIER
(TYP.)

47 48 49 50 51 52

8' PUE

*SIGHT VISIBILITY
TRIANGLE (TYP.) PER
CITY OF SURPRISE
DETAIL 4.01

FIRE HYDRANT
MIN. 5' CLEAR AND FLAT
AROUND HYDRANT. NO
PLANTINGS BETWEEN
HYDRANT AND CURB

WEST SHANGRI LA ROAD

SIGHT VISIBILITY
TRIANGLE (TYP.)

8' PUE

57 46 45 44 43 42 41

57 46 45 44 43 42 41

33 34 35 36 37 38 39

33 34 35 36 37 38 39

*NOTE: NO SIGNS, FENCES, WALLS, UTILITY BOXES, STRUCTURES, SHRUBS, HEDGES,
OR OTHER PLANTS, (EXCLUDING TREES), OVER 30 INCHES IN HEIGHT SHALL BE
PERMITTED WITHIN THE SIGHT VISIBILITY RESTRICTED AREAS.

TREES ARE PERMITTED WITHIN THE SIGHT VISIBILITY RESTRICTED AREAS PROVIDED:
A. NO LIMBS, LEAVES NEEDLES OR OTHER FOLIAGE ABOVE 30
INCHES OR BELOW 84 INCHES ARE PERMITTED.
B. TREES SHALL NOT OBSTRUCT MORE THAN 20% OF THE
VISIBILITY WHEN COMBINED WITH OTHER OBSTRUCTIONS
PRESENT.

*SIGHT VISIBILITY
TRIANGLE (TYP.) PER
CITY OF SURPRISE
DETAIL 4.01

TREES IN PARK STRIP
ARE TO BE INSTALLED
W/ DEEP ROOT BARRIER
(TYP.)

WEST MESCAL STREET

MATCHLINE SEE L1.6 MATCHLINE SEE L1.5

MATCHLINE SEE L1.4

MATCHLINE SEE L1.4

THE RETREAT

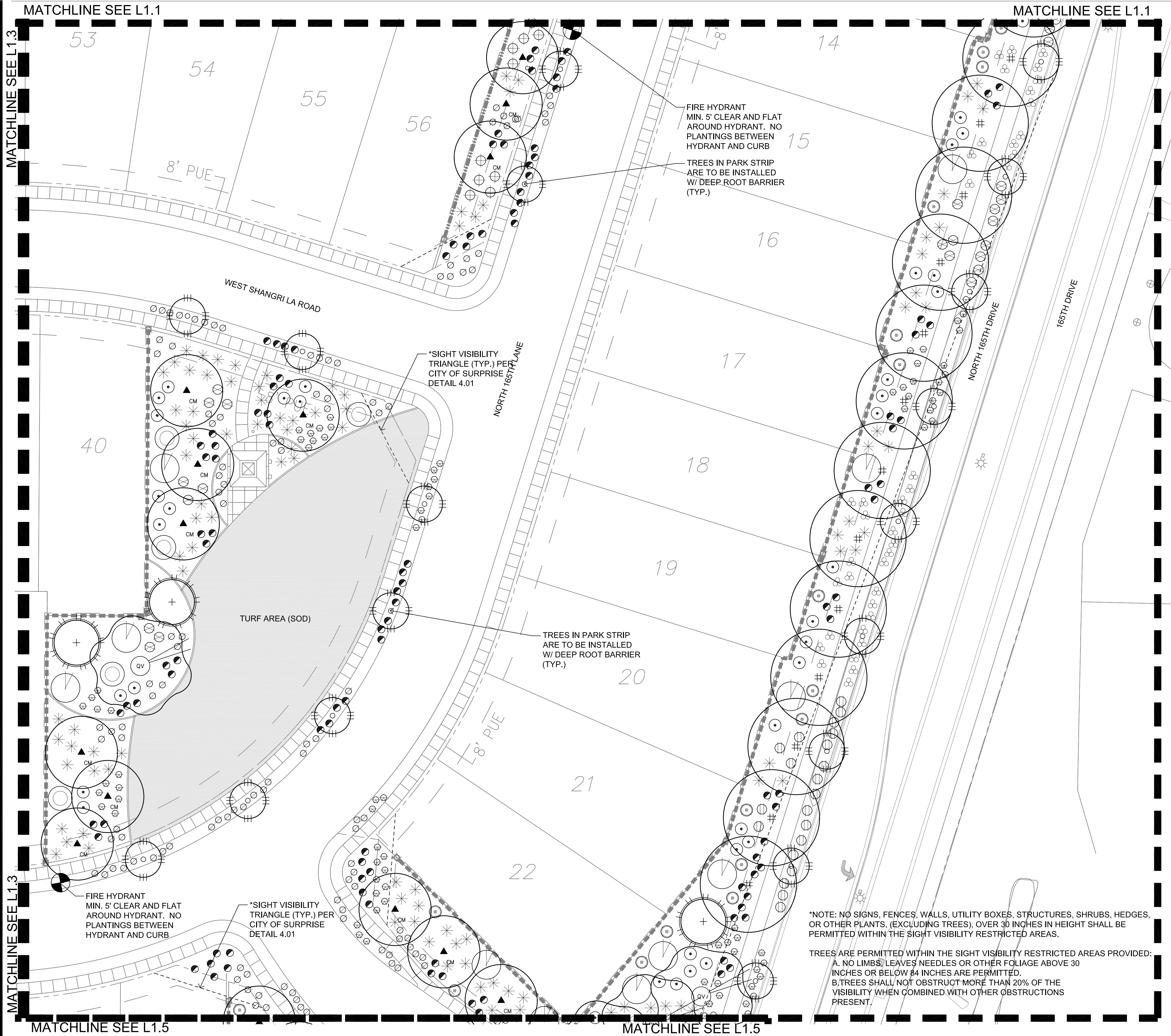
AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

PRELIMINARY
PLAT
CITY OF SURPRISE, AZ

LANGVARDT
DESIGN GROUP LLC
2114 NORTH 166TH AVENUE, SUITE 100
SCOTTSDALE, AZ 85257
(480) 344-1100

Call at least two full working days
before you begin excavation.
ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
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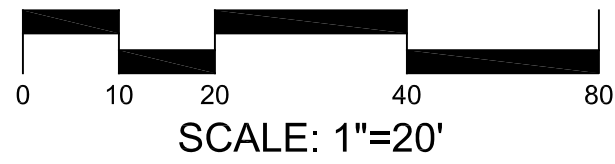
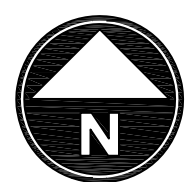
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PROJECT:	070
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	PRELIMINARY PLAT
REVISIONS:	
SHEET TITLE:	LANDSCAPE PLAN
SHEET NUMBER:	L1.3



Plant Schedule

SYMBOL	BOTANICAL/COMMON NAME
TREES	
#	Dalbergia sissoo Rosewood
▲	Prosopis chilensis (Hybrid) Thornless Chilean Mesquite
○	Chilopsis linearis Desert Willow
EVERGREEN TREES	
+	Pinus elarica Afghan Pine
○	Quercus virginiana Heritage Live Oak
EVERGREEN SHRUBS	
○	Lantana x 'New Gold' New Gold Lantana
●	Lantana montevidensis Trailing Purple Lantana
LARGE SHRUBS 7-15' SPREAD	
○	Dodonaea viscosa Green Hopseed Bush
○	Caesalpinia mexicana Mexican Bird of Paradise
MEDIUM SHRUBS 5-7' SPREAD	
○	Larrea tridentata Creosote Bush
○	Nerium oleander 'Petite Pink' Petite Pink Oleander
SMALL SHRUBS 2-5' SPREAD	
○	Calliandra californica Baja Fairy Duster
○	Convolvulus cneorum Silver Bush Morning Glory
○	Ruellia brittoniana Mexican Petunia
PERENNIALS/SUCCULENTS	
○	Hesperaloe parviflora Red Yucca
GRASSES	
*	Muhlenbergia rigens Deer Grass
TURF	
■	Cynodon Dactylon 'Mid-Iron' 'Mid-Iron' Bermuda Grass
GROUNDCOVERS	
○	Dalea greggii Trailing indigo bush

KEY MAP



THE RETREAT

AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

PRELIMINARY
PLAT
CITY OF SURPRISE, AZ

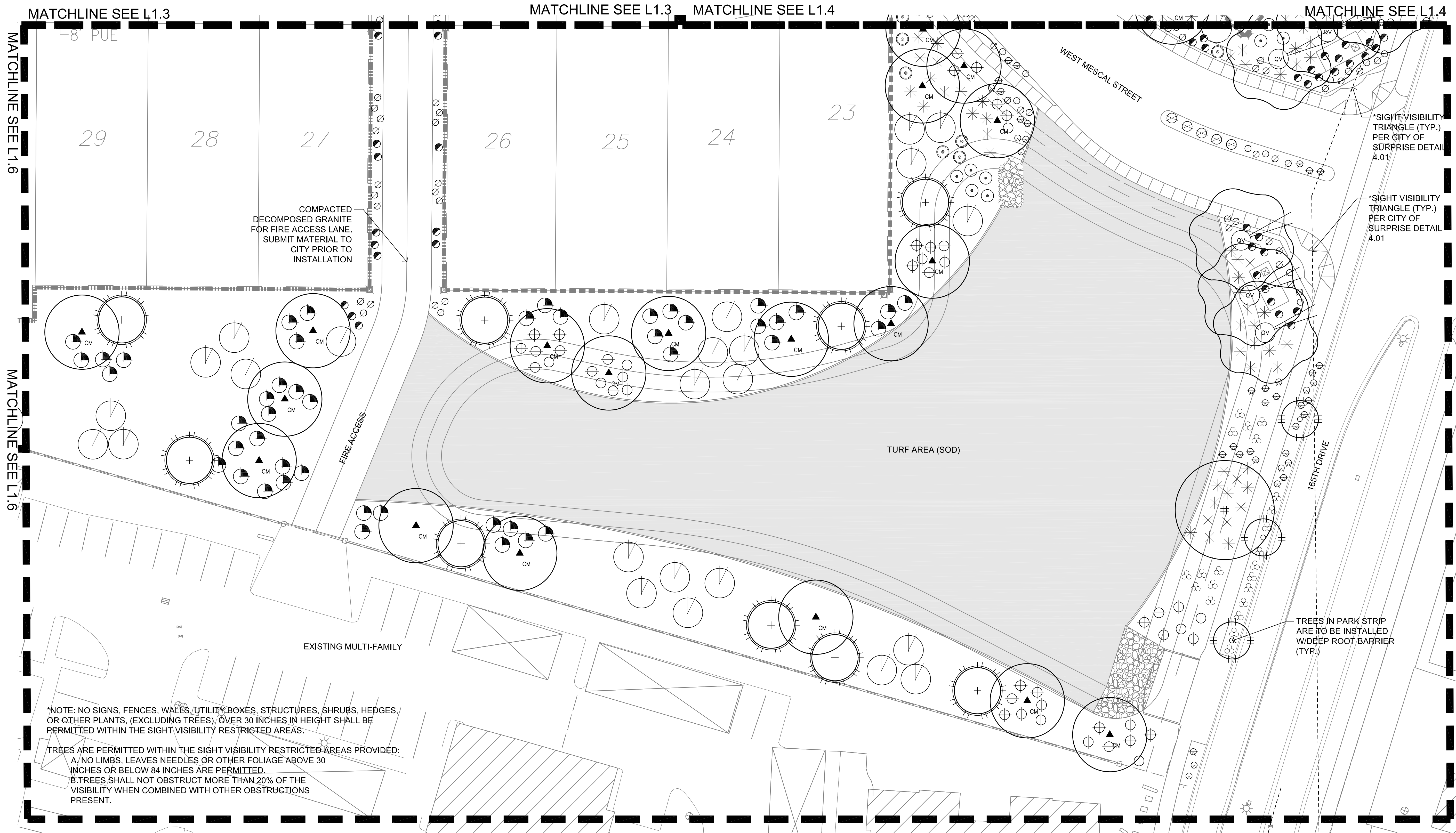


DATE:	DECEMBER 2013
PROJECT:	070
DRAWN BY:	MP
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VERSION:	PRELIMINARY PLAT
REVISIONS:	

SHEET TITLE:
LANDSCAPE
PLAN

SHEET NUMBER:

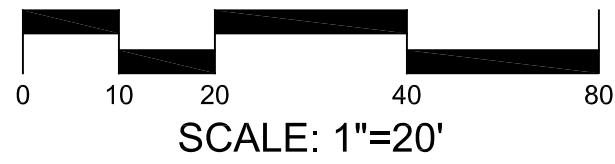
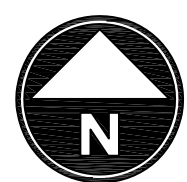
L1.4



Plant Schedule

SYMBOL	BOTANICAL/Common Name		
TREES			
#	Dalbergia sissoo Rosewood	○	EVERGREEN SHRUBS
▲	Prosopis chilensis (Hybrid) Thornless Chilean Mesquite	●	Lantana x 'New Gold' New Gold Lantana
○	Chilopsis linearis Desert Willow	◐	Lantana montevidensis Trailing Purple Lantana
EVERGREEN TREES			
+	Pinus elarica Afghan Pine	◑	LARGE SHRUBS 7-15' SPREAD
⊙	Quercus virginiana Heritage Live Oak	◒	Dodonaea viscosa Green Hopseed Bush
		◓	Caesalpinia mexicana Mexican Bird of Paradise
		◔	MEDIUM SHRUBS 5-7' SPREAD
		◕	Larrea tridentata Creosote Bush
		◖	Nerium oleander 'Petite Pink' Petite Pink Oleander
		◗	
		◘	SMALL SHRUBS 2-5' SPREAD
		◙	Calliandra californica Baja Fairy Duster
		◚	Convolvulus cneorum Silver Bush Morning Glory
		◛	Ruellia brittoniana Mexican Petunia
		◜	PERENNIALS/SUCCULENTS
		◝	Hesperaloe parviflora Red Yucca
		◞	GRASSES
		◟	Muhlenbergia rigens Deer Grass
		◠	TURF
		◡	Cynodon Dactylon 'Mid-Iron' 'Mid-Iron' Bermuda Grass
		◢	GROUNDCOVERS
		◣	Dalea greggii Trailing indigo bush

KEY MAP



THE RETREAT

AT SYCAMORE FARMS - LANDSCAPE PLANS
PARCEL 12, PHASE 2

PRELIMINARY
PLAT
CITY OF SURPRISE, AZ



DATE: DECEMBER 2013

PROJECT: 070

DRAWN BY: MP

REVIEW BY: EL

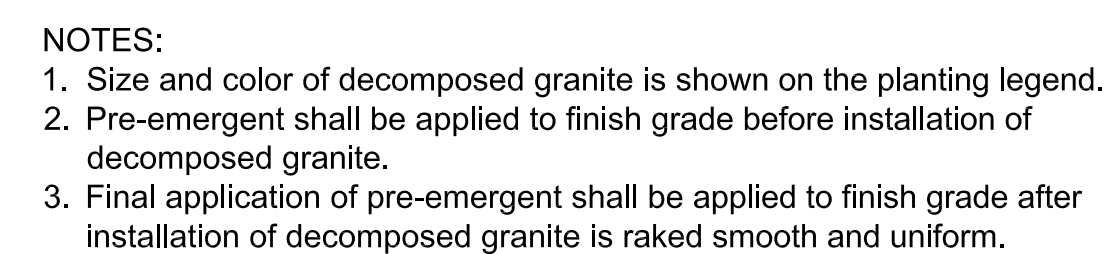
VERSION: PRELIMINARY PLAT

REVISIONS:

SHEET TITLE:
LANDSCAPE
PLAN

SHEET NUMBER:

L1.5



Not to Scale



2 Not to Scale



Not to Scale

SHRUB PLANTING NOTES:

1. Fill plant pit with water, if water does not percolate in 24 hours, refer to hardpan tree planting detail and notify owners representative.
2. Position plant for "best side" view and orient sunburn susceptible plants per original rotation.
3. Score the rootball, make a vertical cut 1/4-1/2 inch deep four times around sides and twice across the bottom.
4. Top of rootball shall be flush with or 1" above soil grade.



Not to Scale



Not to Scale

MEDIUM SHRUBS 5-7' SPREAD

	Larrea tridentata Creosote Bush	5 Gal.
	Nerium oleander 'Petite Pink' Petite Pink Oleander	5 Gal.

SMALL SHRUBS 2-5' SPREAD

SMALL STRODS 2 1/2" SPREAD		
	Calliandra californica Baja Fairy Duster	5 Gal.
	Convolvulus cneorum Silver Bush Morning Glory	5 Gal.
	Ruellia brittoniana Mexican Petunia	5 Gal.

PERENNIALS/SUCCULENTS

	Hesperaloe parviflora Red Yucca	5 Gal.
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GRASSES

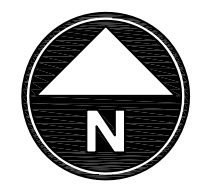
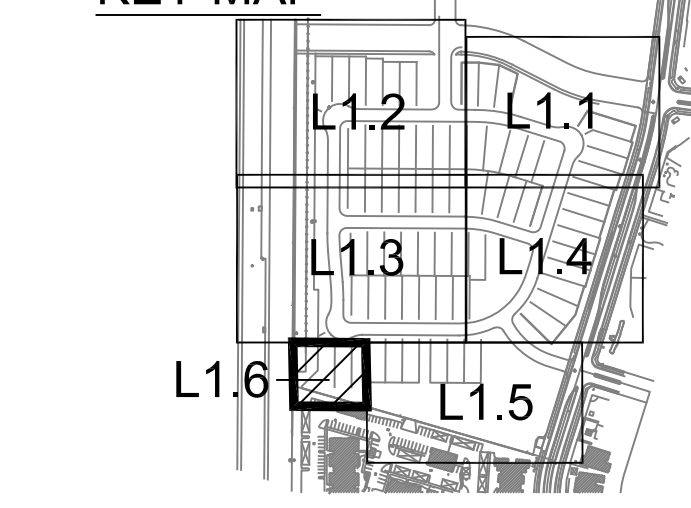
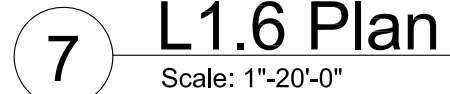
GRASSES		
✱	Muhlenbergia rigens Deer Grass	5 Gal.

TURF

	Cynodon Dactylon 'Mid-Iron'	Sod
	'Mid-Iron' Bermuda Grass	

GROUNDCOVERS

	Dalea greggii	1 Gal.
	Trailing indigo bush	



SCALE: 1"=20'

DATE:	DECEMBER 2013
PROJECT:	070
DRAWN BY:	MP
REVIEW BY:	EL
VERSION:	PRELIMINARY PLAT
REVISIONS:	

SHEET TITLE:
**LANDSCAPE DETAILS
SCHEDULE & PLAN**

SHEET NUMBER

L1.6



CITY OF SURPRISE
Planning and Zoning Commission

March 6, 2014 @ 6:00:00 PM

Back Print

Board Meeting Date:	March 6, 2014	Contact Person:	Christina Ramirez, Community & Economic Development
Submitting Department:	CD Boards and Commissions	District:	Internal
Staff Recommendations:	Approve		

Consent	Regular	Public Hearing	x	Report/Discussion
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Agenda Wording:

Consideration and action on the funding recommendations for Public Service Activities for the Community Development Block Grant Program Year 2014-15.

Motion:

I move to award the Public Service Activities for the Community Development Block Grant Program Year 2014-15 as follows: (commissioner recommendation)

Background:

As an entitlement city, Surprise receives a yearly allotment of Community Development Block Grant (CDBG) funding from the U.S. Department of Housing and Urban Development (HUD). Per grant guideline, the city has the ability to designate up to 15% of the grant award to fund eligible public services with the intent of serving low to moderate-income persons within the City of Surprise.

Financial Impact Statement:

100% is funded by the Community Development Block Grant so there is no impact to city funds.

ATTACHMENTS:

Click to download

- ☐ [Staff Report](#)
- ☐ [Evaluation](#)
- ☐ [Rubric](#)

External Attachment Links:

Meeting Requirements:

Powerpoint x Video White Board Other x

Presentation Speaker Names (spelling and titles for TV captions):



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

Date: March 6, 2014

To: Planning and Zoning Commission Members

From: Jeffrey J. Mihelich, Community Development Director
Christina Ramirez, Neighborhood Services Supervisor
Alicia Rubio, Neighborhood Services Coordinator

Re: CDBG-Funded Public Service Activities

Introduction

As an entitlement city, Surprise receives a yearly allotment of Community Development Block Grant (CDBG) funding from the U. S. Department of Housing and Urban Development (HUD). Per grant guidelines, the city has the ability to designate up to 15% of the grant award to fund eligible public services with the intent of serving low- to moderate-income persons within the City of Surprise.

Today's Planning and Zoning Commission meeting is aimed at assisting the Commission with recommending public services to be funded to City Council from the pool of applicants. Upon approval by City Council, the CDBG Public Services Activities will be submitted to HUD as part of the Annual Action Plan 2014-15.

Background

CDBG Public Service Activities can be carried out by either city departments or qualified nonprofit organizations that are interested in providing services that address one or more of the public service needs targeted in the city's Consolidated Plan. CDBG public service funds can be used to provide a variety of public services, such as child care, health services, job training, youth services, and recreation activities for low- to moderate-income individuals and families.

According to HUD regulations, CDBG funds may be used to provide public services (including labor, supplies, materials and other costs), provided the public service is:

- A new service or a quantifiable increase in the level of a service (for city-initiated projects only).
- Serve low- to moderate-income persons in the City of Surprise through area benefit or serving a particular clientele like seniors or homeless persons.

Funding Limit

CDBG Public Service funding is limited to 15% of the annual CDBG allocation for the program year (PY). For example, the CDBG allocation for City of Surprise for the PY 2013-14 was \$512,181, thus the funding available to award to any and all applications would not exceed \$76,827. Funding from HUD for PY 2014-15 is not yet determined but it is estimated that we will receive approximately \$76,827. Recommendation today will be based on this preliminary amount.

Previous Actions

Last year the city awarded funding to four area service providers, to include:

- St. Mary's Food Bank was awarded \$19,975 to provide emergency food assistance,
- Benevilla was awarded \$16,134 to provide adult day care, preschool and food delivery assistance
- Arizona Charter Academy was awarded \$13,829 to provide a literacy camp to area youths.
- Surprise Summer Youth Employment was awarded \$26,889 to provide youth job training.

Updated Actions

The Request for Application for CDBG Public Service Activities for PY 2014-15 was released on December 23, 2013. Applications were due January 23, 2014. Staff has evaluated the eligible applications as per the scoring rubric (Attachment 1) approved by the Planning and Zoning Commission.

Staff's funding recommendations are as follows:

St. Mary's Food Bank	\$20,000
ABIL	\$34,558
CASS	\$ 8,000
Benevilla	\$14,269
Total Public Service Funding	\$76,827
Total (anticipated) CDBG allocation	\$512,181

Future Actions

- City Council Workshop: April 1, 2014
- City Council Public Hearing and approval April 15, 2014
- Submission to HUD as part of Annual Action Plan 2013-14 by May 15, 2014.

Recommendations

Approval of Public Service funding recommendations.



Applicant	Project Name	Project Description	Awarded Points (100)	Remarks
Arizona Bridge to Independent Living (ABIL)	Surprise Program for Home Accessibility (SPHA)	Provide handicap modifications to senior homeowners \$34,558		High priority need in Consolidated Plan.
St. Mary's Food Bank Alliance	Emergency Food Boxes	Provide emergency food to 7,500 Surprise residents. Funding requested = \$ 20,000		Existing project. \$8.45/unit cost
Central Arizona Shelter Services, Inc. (CASS)	Regional Emergency Shelter for Single Adults and Families with Children	Services to homeless persons. 365 shelter nights for 40 Surprise clients = \$8,000		Not a high priority in Consolidated Plan, but a high priority with Council. Need to assure participants are Surprise residents.
Benevilla	Intergenerational family support center/information and referral services	Services to youth/seniors/families. 1,545 possible units of service. Funding requested = \$ 24,997		Home delivered meals, adult day and child day care assistance. Past performance issues with timely expenditure of funding.
Gotta Run	Track Accessibility Program	Newly formed local running club providing a safe and structured environment for local runners. \$2,350		Difficult to assure program beneficiaries meet funding requirements, to include intake and income verification. Assure non-profit designation.
Paradise Honors High School	P.R.E.P	Sports, recreational and educational programs for children and teenagers that have severe disabilities/special needs. \$50,000		Difficult to assure program beneficiaries meet funding requirements, to include intake and income verification.

NOTE: Scoring panel consisted of 3 individual reviewers.

[illegible]



CITY OF SURPRISE
Planning and Zoning Commission

March 6, 2014 @ 6:00:00 PM

Back Print

Board Meeting Date:	March 6, 2014	Contact Person:	Christina Ramirez, Community & Economic Development
Submitting Department:	CD Boards and Commissions	District:	Citywide
Staff Recommendations:	Approve		

Consent	Regular	Public Hearing	x	Report/Discussion
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Agenda Wording:

Consideration and action on the 2013-2014 Community Development Block Grant Annual Action Plan funding recommendations.

Motion:

I move to recommend to the City Council that they adopt the 2013-2014 Community Development Block Grant Annual Action Plan funding recommendations.

Background:

CDBG Administration and Street Improvement Projects are carried out by city departments. These services address one or more of the safety and quality of life priorities in the city's Consolidated Plan.

Financial Impact Statement:

This program is 100% funded through the Community Development Block Grant Fund and does not impact city funds.

ATTACHMENTS:

Click to download

☐ [Staff Report](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	White Board	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

Christina Ramirez, Neighborhood Services Supervisor



COMMUNITY AND ECONOMIC DEVELOPMENT

Date: March 6, 2014

To: Planning and Zoning Commission Members

From: Jeffrey J. Mihelich, Assistant City Manager
Christina Ramirez, Neighborhood Services Supervisor
Alicia Rubio, Neighborhood Services Coordinator

Re: CDBG-Funded Administration and Street Improvements

Introduction

As an entitlement city, Surprise receives a yearly allotment of Community Development Block Grant (CDBG) funding from the U. S. Department of Housing and Urban Development (HUD). Per grant guidelines, the city has the ability to designate up to 85% of the grant award to fund eligible administrative, housing and public improvement services with the intent of serving low- to moderate-income persons within the City of Surprise.

Today's Planning and Zoning Commission meeting is aimed at assisting the Commission in deciding if proposed projects meet grant criteria while filling community needs. Once the recommendation is determined, it will be forwarded to Council for consideration. Upon approval by City Council, the CDBG Administration, Housing and Public Improvement Activities will be submitted to HUD as part of the Annual Action Plan 2014-15.

Background

CDBG administration and street improvement activities are carried out by city departments. These improvements address the transportation infrastructure improvements needs identified in the city's Consolidated Plan. CDBG administration and street improvements will be used to implement projects that will improve the safety and quality of life of the residents living within the Original Town Site of Surprise. Although the Consolidated Plan lists Street Improvements as a priority, Surprise wanted to more specifically list street improvement in the form of road reconstruction as the project being considered today.

According to HUD regulations, CDBG funds may be used to provide Street Improvements (including labor, supplies, materials, project management and other costs), provided the service is:

- Serve low- to moderate-income persons in the City of Surprise through area benefit or serving a particular clientele like seniors, youth and families.

Funding Limit

CDBG Administration and Street Improvement related funding is limited to 80% of the annual CDBG allocation for the program year (PY). For example, the CDBG allocation for City of Surprise for the PY 2013-14 was \$512,181, thus the funding available to award for such

projects is approx. \$409,745. Funding from HUD for PY 2014-15 is not yet determined. Recommendation today will be based on the preliminary amount of \$512,000. Therefore the Commission is making project recommendations on a possible amount of \$409,600.

Previous Actions

Past Administration, Rehabilitation and Public Improvements funding levels have been as follow:

2010

- Administration set aside was \$52,162 to cover city staff salaries
- The City's Emergency Repair program was awarded \$270,498 to emergency repair services.

2011

- Administration set aside was \$81,374 to cover city staff salaries
- The City's Emergency Repair program was awarded \$292,089 to emergency repair services

2012

- Administration set aside was \$89,817 to cover city staff salaries
- The City's Emergency Repair program was awarded \$291,907 to emergency repair services

2013

- Administration set aside was \$102,436 to cover city salaries and grant implementation expenses
- The City's Emergency Repair program was awarded \$ 245,847 to emergency repair services
- City Park Improvements was awarded \$87,071 for improvements to Bicentennial Park

Updated Actions

Staff's funding recommendations are as follows:

Administration	\$102,400
Salaries, supplies, compliance needs	
Street Improvement Project	\$332,800
Reconstruction of residential streets Within the Original Town Site up to 5,943 linear feet	
Public Service Set-Aside (15%)	\$ 76,800
Total CDBG Anticipated Funding	<u>\$512,000</u>

Future Actions

- City Council Workshop: April 1, 2014
- City Council Public Hearing and approval April 15, 2014
- Submission to HUD as part of Annual Action Plan 2014-15 by May 15, 2014.

Recommendations

Approval of administration and street improvement funding recommendations.



CITY OF SURPRISE
Planning and Zoning Commission

March 6, 2014 @ 6:00:00 PM

[Back](#) [Print](#)

Board Meeting Date:	March 6, 2014	Contact Person:	Nichole McCarty, Community & Economic Development
Submitting Department:	CD Boards and Commissions	District:	Citywide
Staff Recommendations:	No Action		

Consent	Regular	Public Hearing	Report/Discussion
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Agenda Wording:

Presentation regarding the Form Based Code Working Group update.

Motion:

Discussion only

Background:

At the direction of City Council, the Form Based Code (FBC) Working Group has met monthly since mid-August to research Form Based Codes and analyze how one could help improve development in the City of Surprise.

Financial Impact Statement:

N/A

ATTACHMENTS:

Click to download

☐ [Staff Report](#)

External Attachment Links:

Meeting Requirements:

Powerpoint	x	Video	White Board	Other	x
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Presentation Speaker Names (spelling and titles for TV captions):

Nichole McCarty, Planner, Community & Economic Development



COMMUNITY AND ECONOMIC DEVELOPMENT

Date: March 6, 2014

To: Planning and Zoning Commission

From: Jeffrey J. Mihelich, Assistant City Manager
Nichole McCarty, Planner II
nichole.mccarty@surpriseaz.gov 623-222-3137

Re: Form Based Code Working Group Update

Summary

At the direction of City Council, the Form Based Code (FBC) Working Group has met monthly since mid-August to research Form Based Codes and analyze how one could help improve development in the City of Surprise. The group would like to share with the Planning and Zoning Commission and the public their progress to date.

The working group received supportive feedback from the City Council when they were given an update in December 2013. At that time direction was given to continue our research and to start drafting a Form Based Code for the City of Surprise.

Summary of Work Group Meetings and Tasks

The working group defined their role and purpose as the following:

- Study and learn the principles of Form Based Code
- Research best practices and examples
- Analyze potential alternatives for Surprise
- Educate City Council, other Boards and Commissions, and the public

The group has spent time discussing and comparing several examples of development with before (conventional zoning) and after (Form Based Code). Additionally, research has been conducted by the group to analyze Form Based codes that have been implemented in similar sized communities across the nation. The working group also compared different methods for writing the code (i.e. citywide, corridors, SmartCode, overlays, etc.). The group plans to continue conducting research and to work with other communities who are experienced in utilizing Form Based Code.

Next Steps

The Form Based Code Working Group is currently in the process of drafting the code and will be providing the City Council and Planning and Zoning Commission with regular updates over the next year.